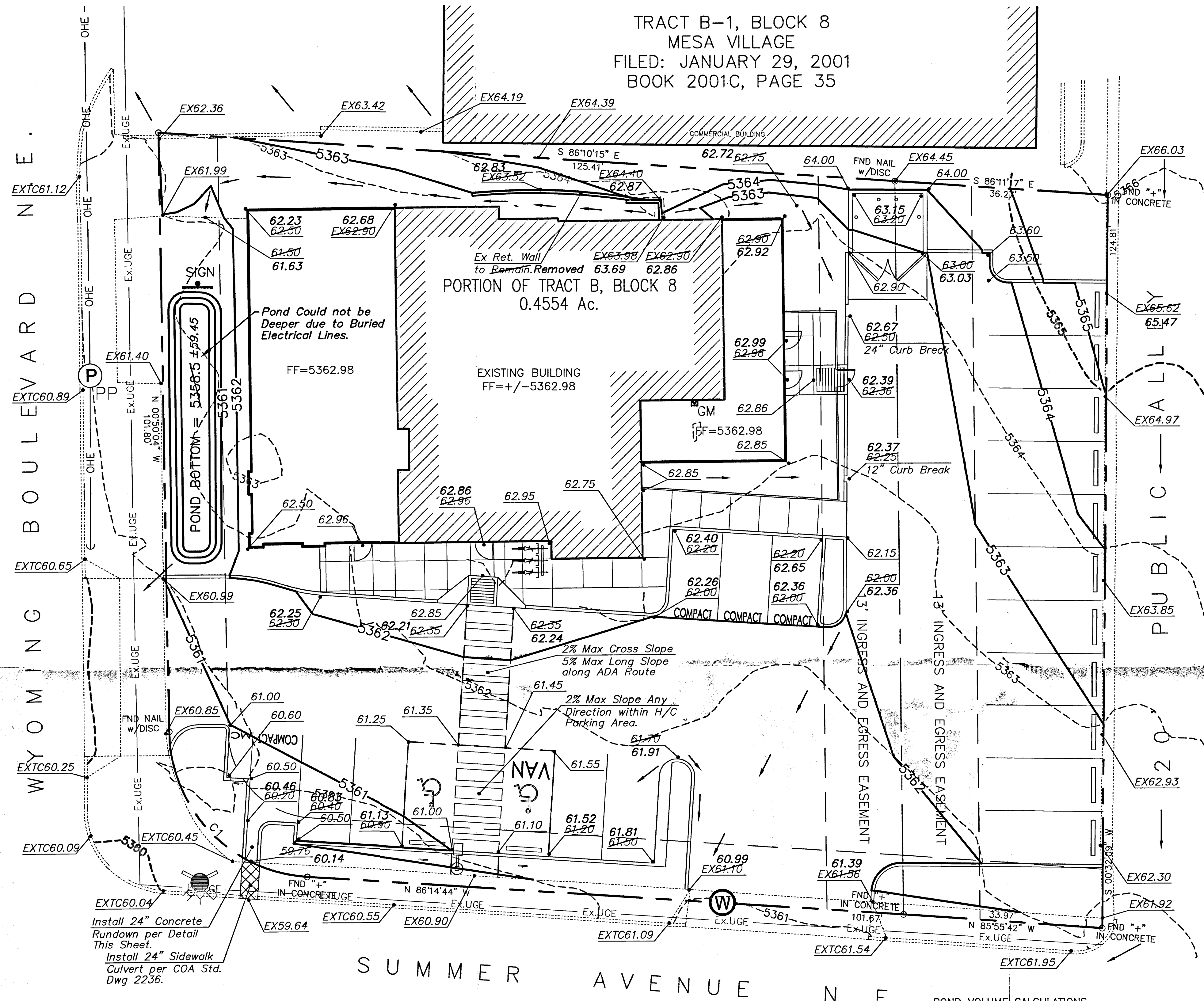
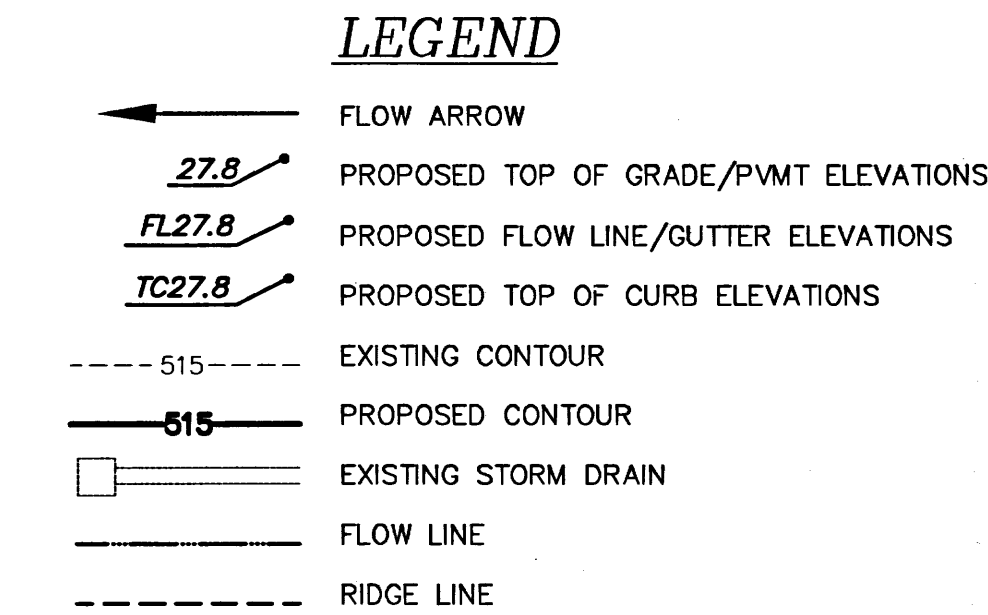


TRACT B-1, BLOCK 8
MESA VILLAGE
FILED: JANUARY 29, 2001
BOOK 2001C, PAGE 35



CAUTION - NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a final drainage management plan for the proposed building expansion of TLC Animal Hospital located at 1300 Wyoming Blvd NE in Albuquerque, NM. The project consists of demolition of the existing parking lot, construction of two building additions, and a new parking lot with associated landscaped areas. The existing curb cuts along Wyoming and Summer will remain. The site contains approximately 0.4554 acres.

EXISTING HYDROLOGIC CONDITIONS

The site is currently developed and 90.3% impervious per the Impervious Area calculations on this sheet. Surrounding streets and infrastructure are in place. The site slopes from east to west in a sheet flow condition and drains to both Summer Ave. and Wyoming Blvd. Per the basin calculations table this sheet, the site currently discharges 2.22 cfs (3,730 CF) during the 100-Yr, 6-Hr Storm. Analysis for these and all drainage calculations were performed using the COA DPM Section 22.2, released June 1997.

PROPOSED HYDROLOGIC CONDITIONS

The site will continue to drain to Summer Ave and Wyoming Blvd in a sheet flow condition. There is an increase in landscaped area on the site which decreases the total impervious area to 84.3% per the basin calculations table this sheet, the proposed site will discharge 2.17 cfs (3,624 CF) during the 100-Yr, 6-Hr Storm, which is a reduction of 0.05 cfs (106 CF).

FIRST FLUSH CALCULATIONS

The first flush volume impervious area is 16,720 SF (Impervious Area) * 0.34" / 12" = 474 cubic feet. The pond provided contains +/- 585.5 cubic feet which is sufficient to contain the first flush. The pond will discharge onto the sidewalk at the north end of the existing curb cut.

CONCLUSION

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and meets city requirements. With this submittal, we are requesting approval of this plan for Grading Permit, Building Permit, and SO-19 Approval.

IMPERVIOUS AREA CALCULATIONS

EXISTING SITE CONDITIONS		PROPOSED SITE CONDITIONS	
PERVIOUS AREA:	1,921 SF	PERVIOUS AREA:	3,117 SF
IMPERVIOUS AREA:	17,916 SF	IMPERVIOUS AREA:	16,720 SF
TOTAL SITE AREA:	19,837 SF	TOTAL SITE AREA:	19,837 SF
% IMPERVIOUS =	9.68%	% IMPERVIOUS =	15.71%

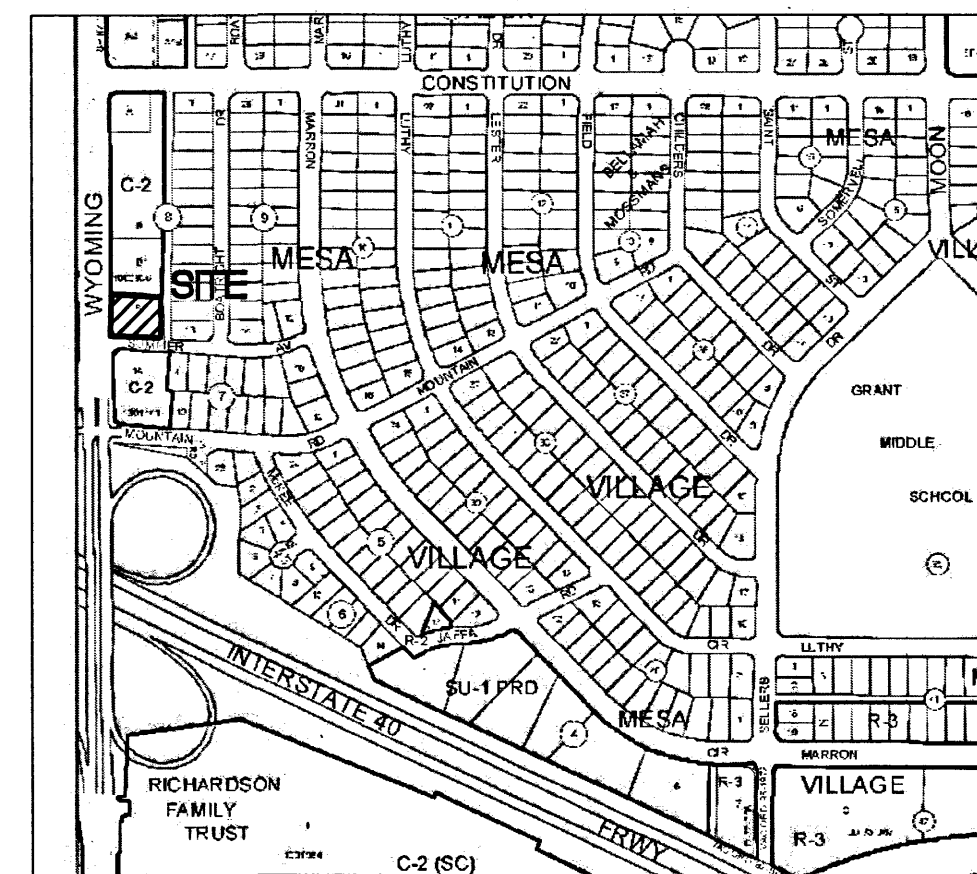
**Private Drainage Facilities within City Right-of-Way
Notice to Contractor
(Special Order 19 ~ "SO-19")**

- An excavation permit will be required before beginning any work within City Right-of-Way.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" (or (505) 250-1999) for the location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to traffic/street use.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets shall be performed on a 24-hour basis.

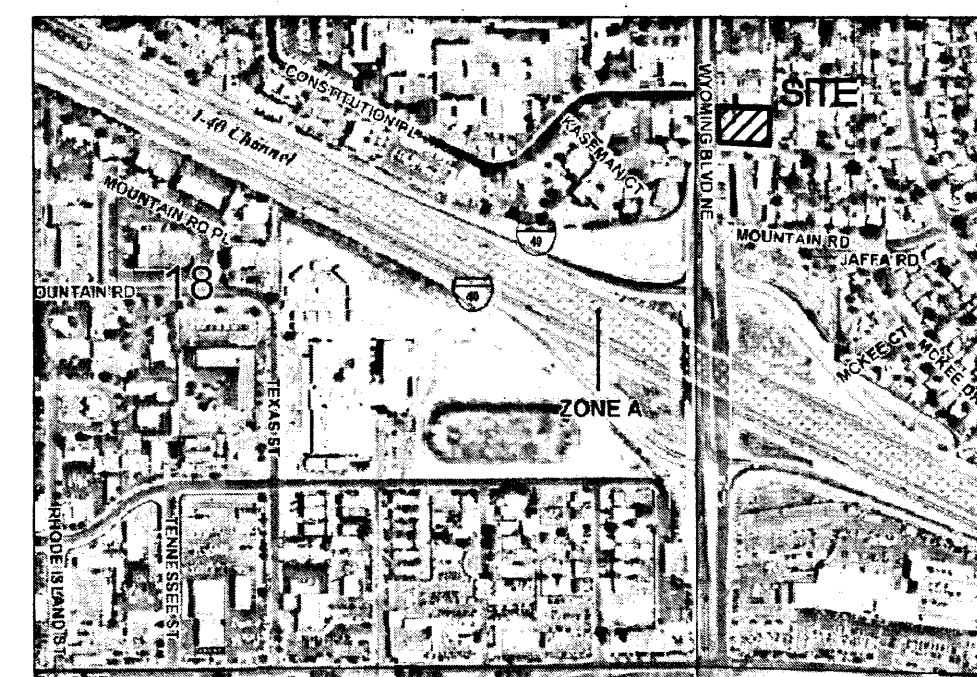
CITY INSPECTOR APPROVAL

Signature

Date



VICINITY MAP - Zone Atlas J-20-Z



FIRM MAP 35001C0358H

Per Firm Map 35001C0358H, dated Aug 16, 2012, the site is not located in the Floodplain.

NOTICE TO CONTRACTORS

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- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1988 UPDATE NO. 8.
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- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR S/T FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

Wooten Engineering
4700 Lincoln NE, Suite 111
Albuquerque, NM 87109
Ph: 505.980.3560

DRAINAGE CERTIFICATION

I, JEFFREY T. WOOTEN, NMPE 16892, OF THE FIRM WOOTEN ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/29/14. THE RECORD INFORMATION EDITED INTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TIM MARTINEZ, NMPS 13982. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 5/15/15 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCUPANCY (FINAL C.O.).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

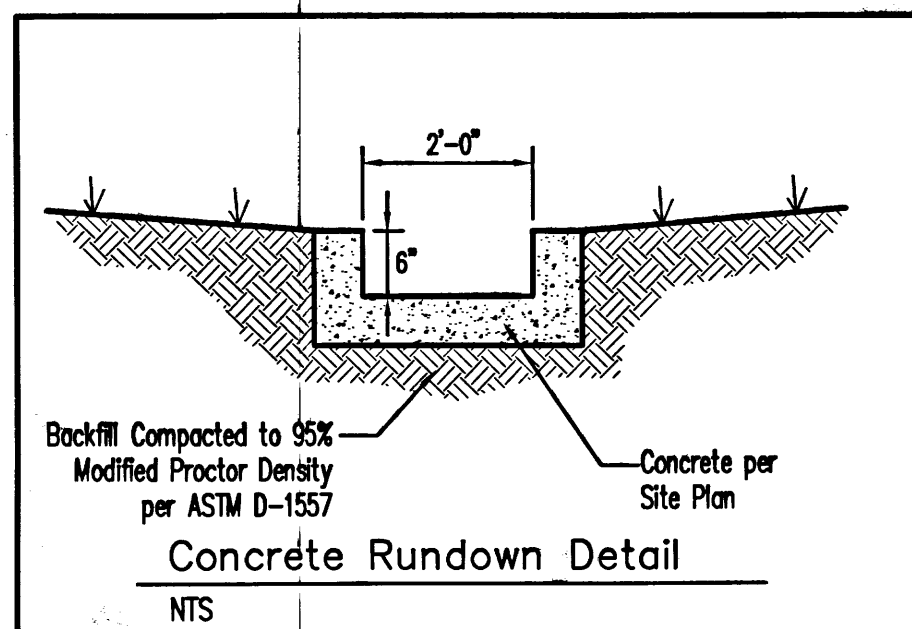
JEFFREY T. WOOTEN, NMPE 16892

5/27/15

POND VOLUME CALCULATIONS

CONTOUR ELEVATION	AREA (SF)	VOLUME (CF)
5359.00	197 SF	244.0 CF
5360.00	291 SF	341.5 CF
5361.00	392 SF	585.5 CF
TOTAL		

NOTE: THE ABOVE POND VOLUMES SHALL BE VERIFIED AS PART OF THE DRAINAGE CERTIFICATION AND WILL BE REQUIRED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



Existing TLC Animal Hospital Drainage Calculations										
This table is based on the COA DPM Section 22.2, Zone: B										
BASIN	Area (SQ. FT.)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CF)	WTE (inches)	V(100) 360 (CF)
Existing Site	19837	0.46	0.0%	0.0%	9.7%	90.3%	4.87	2.22	2.26	3730
TOTAL	19837	0.46						2.22		3730

Proposed TLC Animal Hospital Drainage Calculations										
Ultimate Development Conditions Basin Data Table										
This table is based on the COA DPM Section 22.2, Zone: B										
BASIN	Area (SQ. FT.)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CF)	WTE (inches)	V(100) 360 (CF)
Proposed Site	19837	0.46	0.0%	0.0%	15.7%	84.3%	4.77	2.17	2.19	3624
TOTAL	19837	0.46						2.17		3624

revision

by

date

rev

rev

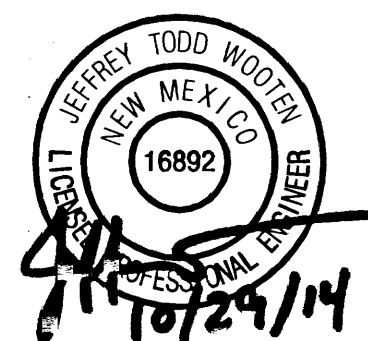
rev

rev

rev

Mullen Heller
Architecture P.C.

924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144[p]
505 268 4244 [f]



job number

2014043

drawn by

thw

project manager

Jeffrey Wooten, P.E.

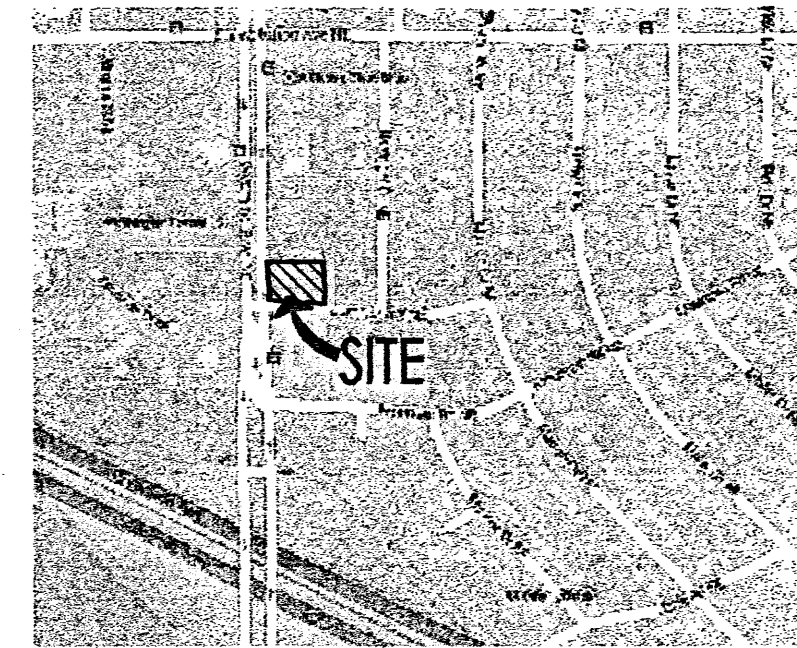
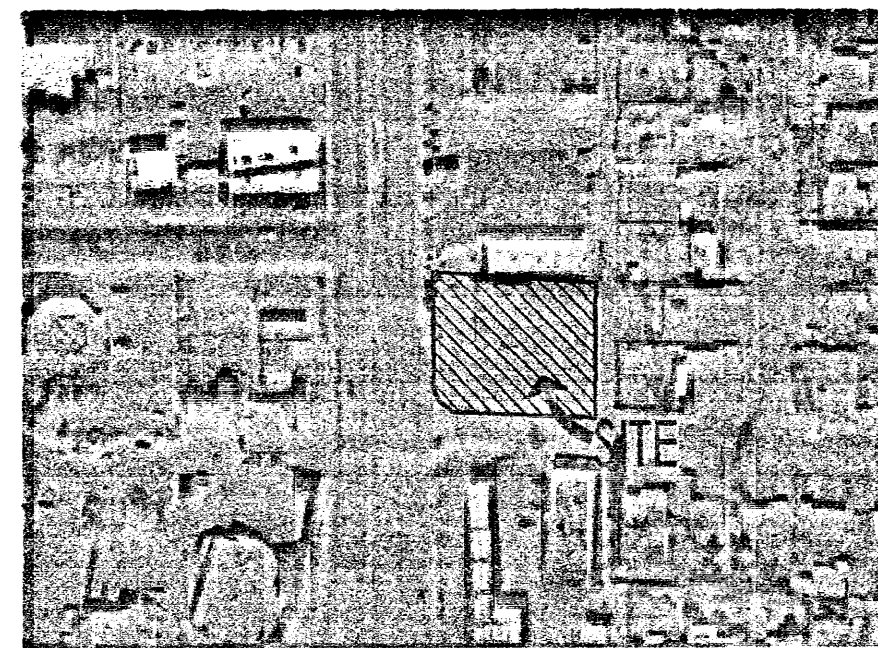
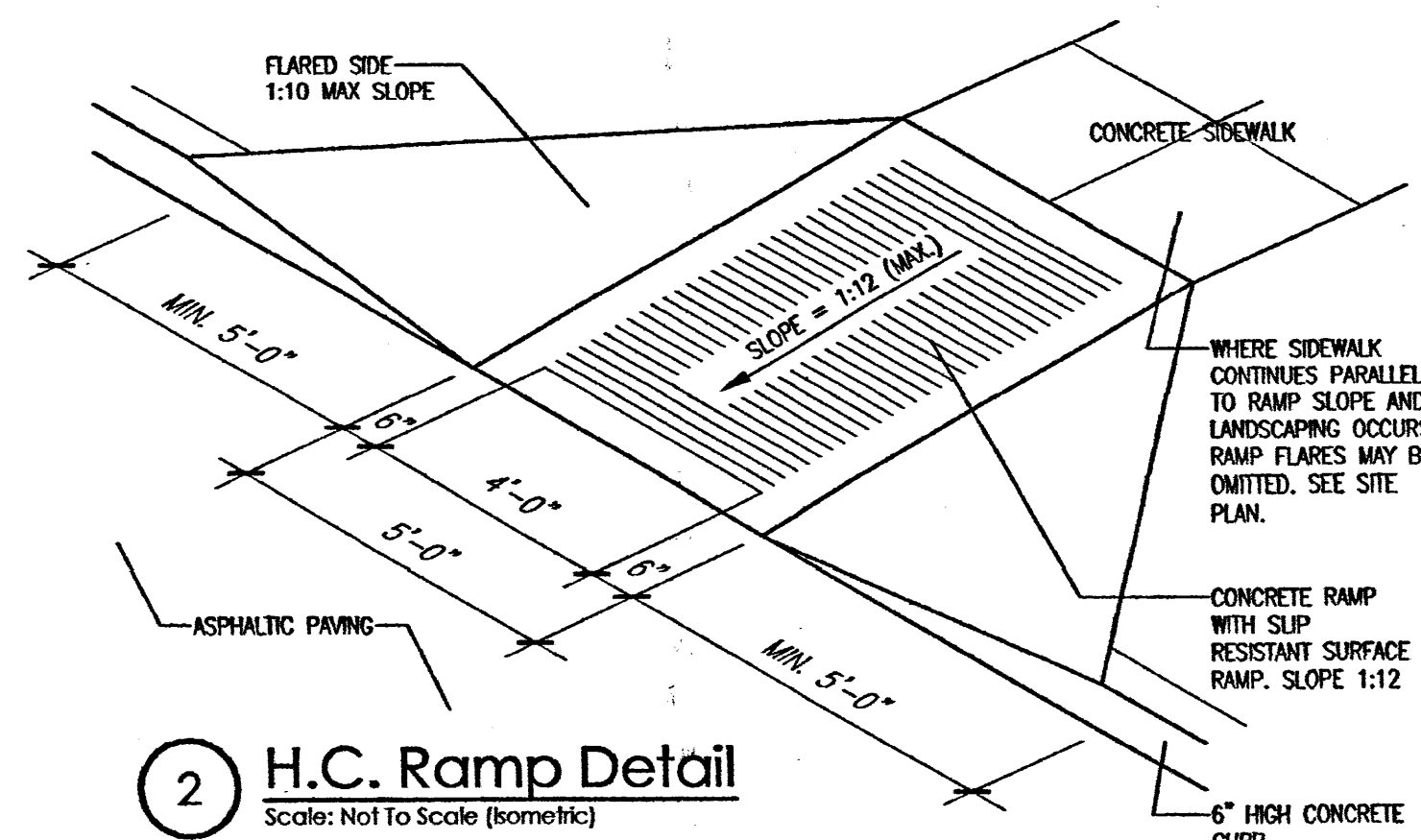
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10/24/14

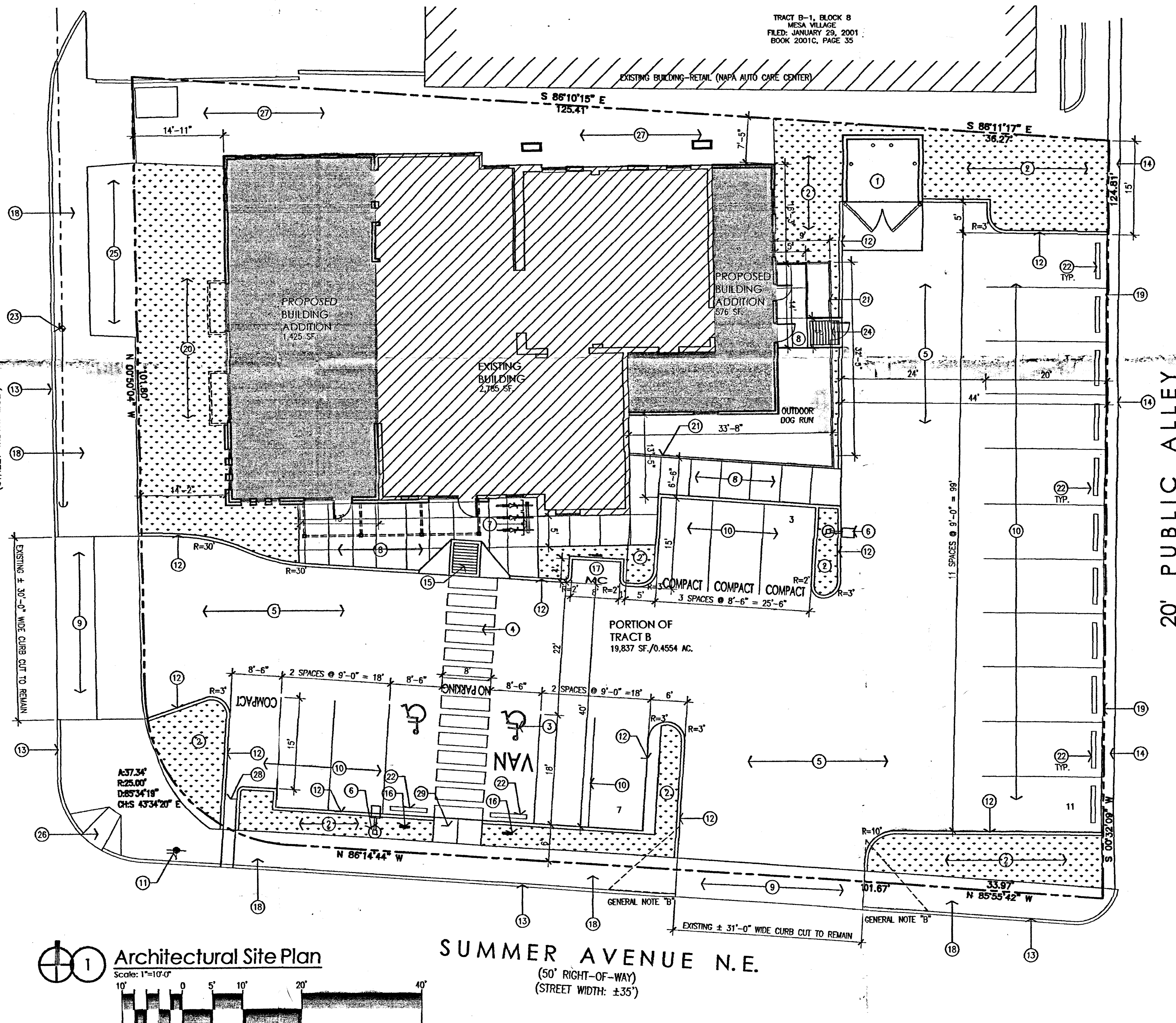
TLC Pet and Uptown Cat Hospitals
1300 Wyoming Boulevard, NE
Albuquerque, New Mexico 87112

Grading / Drainage Plan

sheet
C001



WYOMING BOULEVARD N.E.
(106'-0" RIGHT-OF-WAY)
(STREET WIDTH: ±82')



- KEYED NOTES:**
- [1] PROPOSED REFUSE ENCLOSURE WITH STUCCO FINISH TO MATCH BUILDING COLOR AND CONCRETE APRON.
 - [2] PROPOSED LANDSCAPING AREA.
 - [3] PROPOSED HANDICAP PAVEMENT SIGN.
 - [4] PROPOSED PAINTED HANDICAP ASYLE WITH 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-1-4.1.B NMCA 1978.
 - [5] PROPOSED ASPHALT RE-SURFACING OF EXISTING PAVING.
 - [6] PROPOSED SITE LIGHTING.
 - [7] PROPOSED BIKE RACK WITH 3 SPACES.
 - [8] PROPOSED CONCRETE SIDEWALK.
 - [9] EXISTING ENTRY DRIVEWAY TO REMAIN.
 - [10] PROPOSED PAINTED PARKING STRIPING.
 - [11] EXISTING FIRE HYDRANT TO BE REMAIN.
 - [12] PROPOSED 6" HIGH CONCRETE CURB.
 - [13] EXISTING CITY CURB AND GUTTER TO REMAIN.
 - [14] EXISTING VALLEY GUTTER TO REMAIN.
 - [15] PROPOSED HANDICAP RAMP. REFER TO 2/A001.
 - [16] PROPOSED HANDICAP PARKING SIGN. "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4C NMCA 1978. VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING.
 - [17] PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACE WITH SIGNAGE.
 - [18] EXISTING CONCRETE SIDEWALK TO REMAIN.
 - [19] EXISTING PROPERTY LINE.
 - [20] EXISTING LANDSCAPING TO REMAIN. REFER TO LANDSCAPING PLAN.
 - [21] 7' HIGH CHAINLINK FENCE DOG RUN ENCLOSURE.
 - [22] RELOCATED EXISTING CONCRETE PARKING BUMPERS.
 - [23] EXISTING POWER POLE AND ANCHOR.
 - [24] PROPOSED CONCRETE RAMP FOR DELIVERIES.
 - [25] EXISTING OFF-SITE LANDSCAPING TO REMAIN.
 - [26] EXISTING CONCRETE RAMP TO REMAIN.
 - [27] EXISTING PAVEMENT TO REMAIN.
 - [28] CONCRETE RUNDOWN REFER TO CIVIL.
 - [29] CONCRETE SIDEWALK CONNECTION TO EXISTING SIDEWALK. MAX SLOPE 1:12.

SITE DEVELOPMENT DATA:

LEGAL DESCRIPTION:
PORTION OF TRACT B, BLOCK 8
MESA VILLAGE
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO

EXISTING BUILDING ADDRESS:
1300 WYOMING BOULEVARD, N.E.
ALBUQUERQUE, NEW MEXICO 87112

LAND AREA:
0.4556 ACRES (19,845 SQ. FT.)

CURRENT ZONING:
C-2

ZONE ATLAS PAGE:
J-20-7

BUILDING AREAS:
EXISTING BUILDING 2,785 SF.
PROPOSED BUILDING ADDITIONS 2,001 SF.
TOTAL BUILDING BUILDING AREA 4,786 SF.

SITE DEVELOPMENT GENERAL NOTES:

- THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- NOT PUBLIC WORK IS ANTICIPATED FOR THIS PROJECT.

SITE DEVELOPMENT SITE LIGHTING NOTES:

- THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.
- SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.

PARKING CALCULATIONS:

4,786 SF./200 = 24 SPACES
TOTAL REQUIRED

TRANSIT REDUCTIONS:
24 SPACES RED'D x 15% REDUCTION = 3.6 SPACES
(PROXIMITY TO BUS STOP AND ROUTE 31 ± 98)
24 x 15% = 3.6 TOTAL SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED = 20 SPACES
TOTAL PARKING SPACES PROVIDED = 21 SPACES

15 REGULAR SPACES
4 COMPACT SPACE
2 HANDICAP VAN PARKING SPACE

COMPACT PARKING CALCULATION:
20 REG'D SPACES x 3.3% = 6.6 SPACES ALLOWED
TOTAL COMPACT SPACES = 4 SPACES PROVIDED

DISABLED PARKING REQUIREMENTS:
TOTAL DISABLED SPACES REQUIRED = 1 SPACE
TOTAL DISABLED SPACES PROVIDED = 1 SPACE

MOTORCYCLE REQUIREMENTS:
TOTAL MOTORCYCLE SPACES REQUIRED = 1 SPACE
TOTAL MOTORCYCLE SPACES PROVIDED = 1 SPACE

COMMERCIAL BICYCLE REQUIREMENTS:
1 BICYCLE SPACE FOR EACH 20 PARKING SPACES = 1 SPACE
21 PARKING SPACES/20 = 1 TOTAL SPACE REQUIRED

TOTAL BICYCLE SPACES REQUIRED = 1 SPACE
TOTAL BICYCLE SPACES PROVIDED = 3 SPACES

LANDSCAPING CALCULATIONS:

LAND AREA: 19,845 S.F.
TOTAL BUILDING AREA: 4,786 S.F.
NET LOT AREA: 15,059 S.F.

LANDSCAPING REQUIRED:
(15% OF NET LOT AREA)
15,059 SF./15% = 2,259 SF. REQUIRED

LANDSCAPING PROVIDED: 2,614 SF.

BUILDING SETBACKS:

FRONT: 10'-0"
SIDE: 5'-0"
REAR: 5'-0"

SETBACKS PER: ALBUQUERQUE COMPREHENSIVE ZONING CODE: C-2 WHICH REFERENCES 0-1 REQUIREMENTS (14-16-2-15) (1).

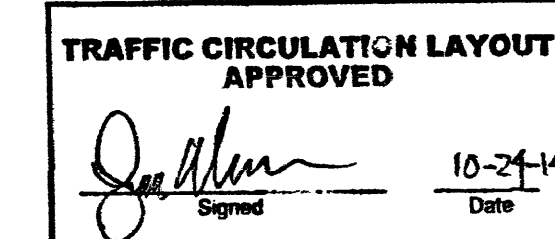
BUILDING HEIGHT:

MAXIMUM BUILDING HEIGHT: 26'-0"

STRUCTURE HEIGHT SHALL CONFORM TO THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE: C-2 WHICH REFERENCES 0-1 REQUIREMENTS (14-16-2-15) (1).

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

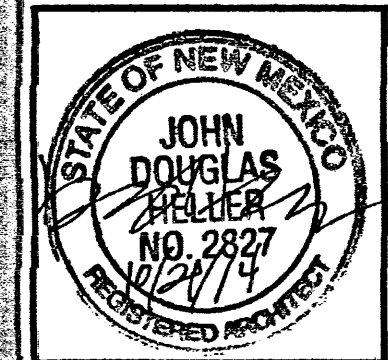
ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



Approved: [Signature]
10-24-14



Mullen Heller Architecture P.C.
924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144[p]
505 268 4244 [f]

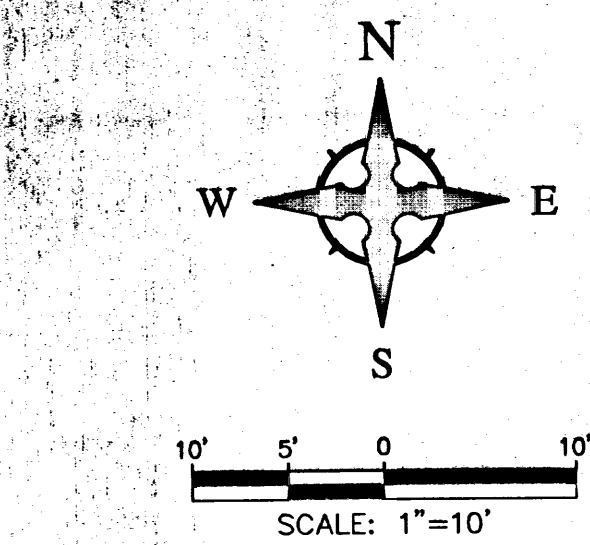
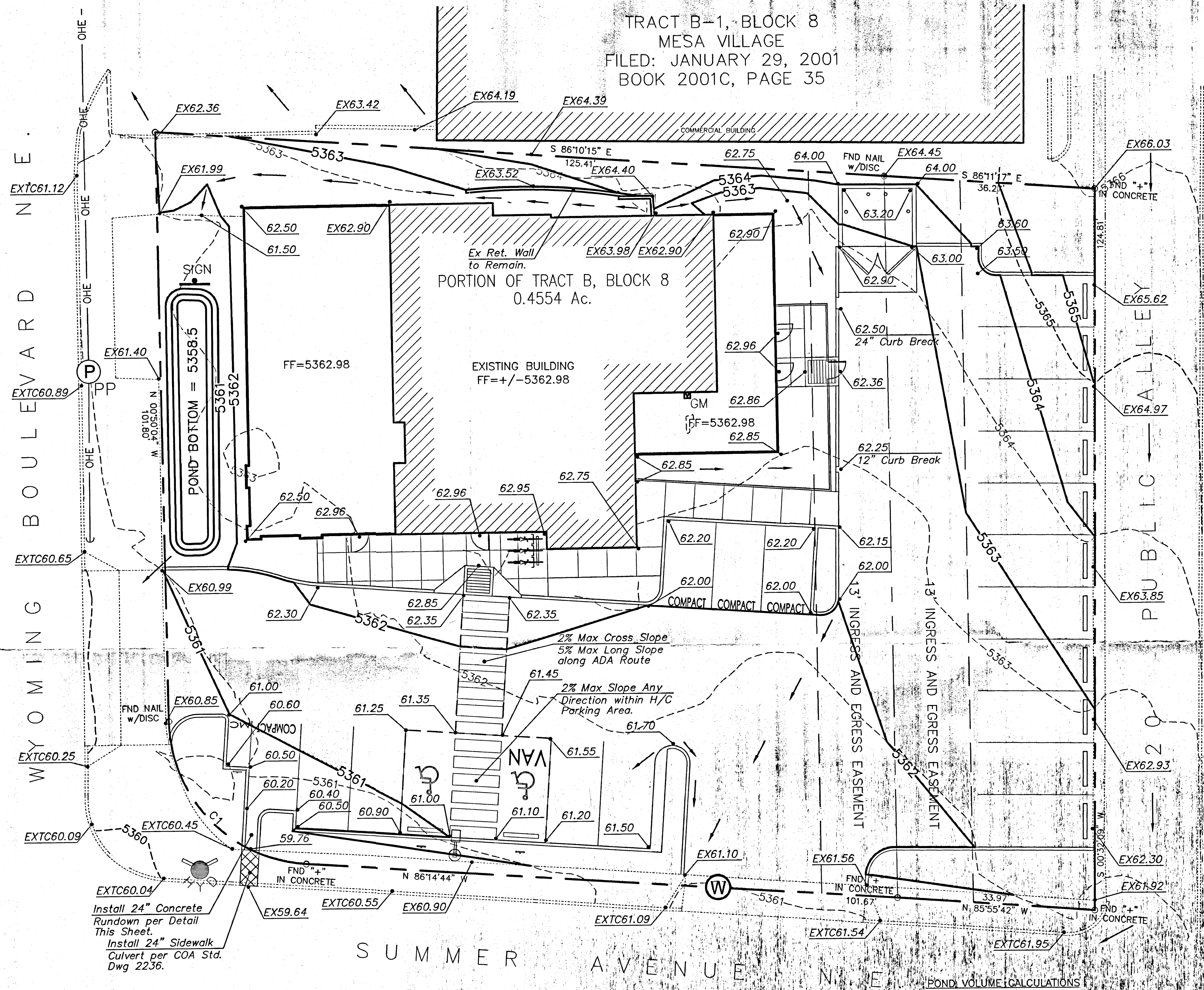


1417
msh
Job number
drawn by
project manager
date
Doug Heller, AIA
10/24/14

project title
TLC Pet and Uptown Cat Hospitals
1300 Wyoming Boulevard, N.E.
Albuquerque, New Mexico 87112

sheet title
Architectural Site Plan

sheet:
A001



LEGEND

FLOW ARROW

27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS

FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS

TC27.8 PROPOSED TOP OF CURB ELEVATIONS

515 EXISTING CONTOUR

515 PROPOSED CONTOUR

EXISTING STORM DRAIN

FLOW LINE

RIDGE LINE

DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a final drainage management plan for the proposed building expansion of TLC Animal Hospital located at 1300 Wyoming Blvd NE in Albuquerque, NM. The project consists of demolition of the existing parking lot, construction of two building additions, and a new parking lot with associated landscaped areas. The existing curb cuts along Wyoming and Summer will remain. The site contains approximately 0.4554 acres.

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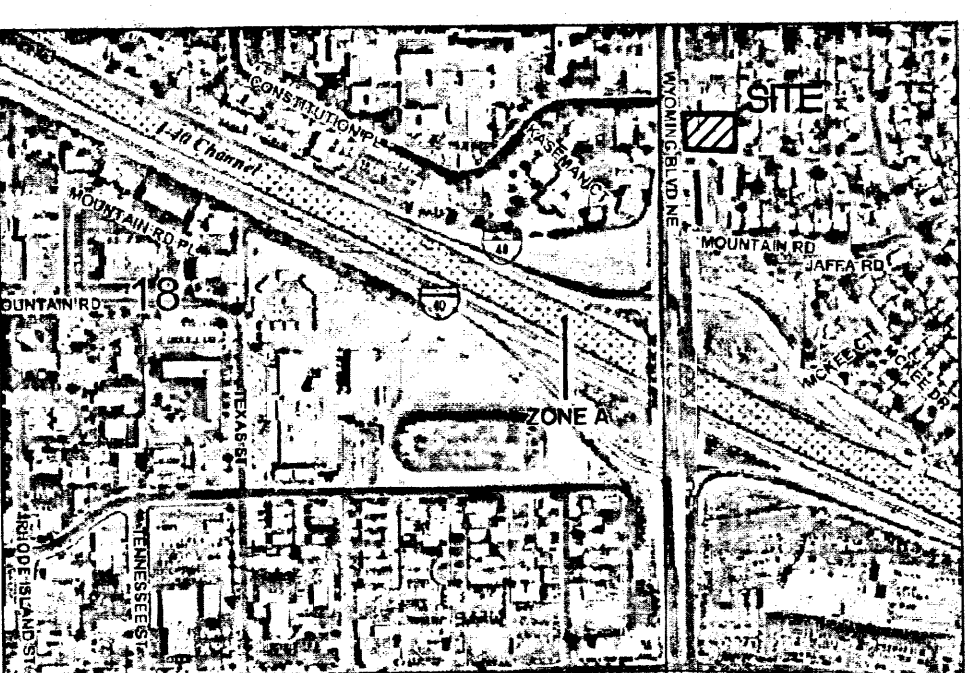
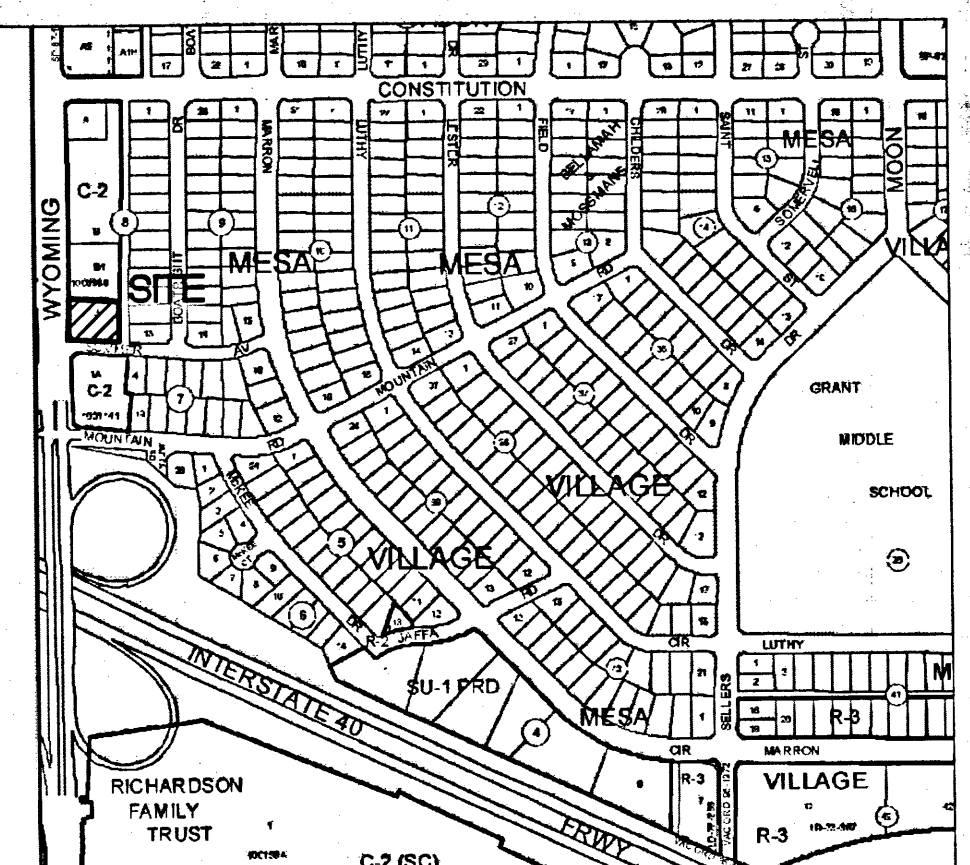
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IMPERVIOUS AREA	17,916 SF	341.5 CF
TOTAL SITE AREA	19,837 SF	585.5 CF
% IMPERVIOUS	9.68%	

PROPOSED SITE CONDITIONS

PERVIOUS AREA	AREA (SF)	VOLUME (CF)
PERVIOUS AREA	5,117 SF	65.2 CF
IMPERVIOUS AREA	16,720 SF	360.3 CF
TOTAL SITE AREA	21,837 SF	425.5 CF
% IMPERVIOUS	15.71%	



NOTICE TO CONTRACTORS

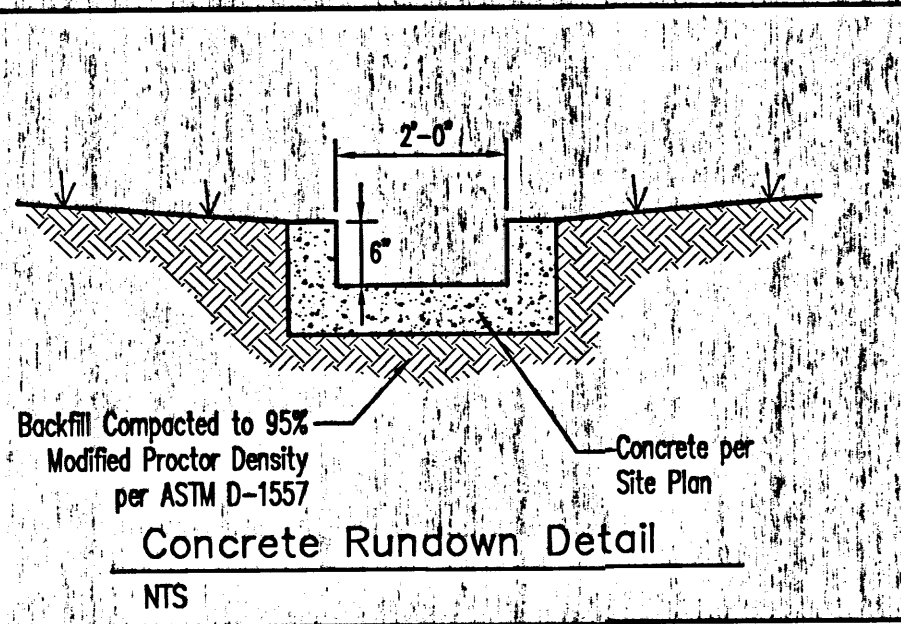
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2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOLOGICAL INVESTIGATION" AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM OR SILT FENCE AT THE PROPERTY LINES AND MATTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIAN, AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

Existing TLC Animal Hospital Drainage Calculations										
This table is based on the COA DPM Section 22.2, Zone 13										
BASIN	Area (SQ. FT.)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WTE (inches)	V(100)360 (CF)
Existing Site	19837	0.46	0.0%	0.0%	9.7%	90.3%	4.87	2.22	2.26	3730
TOTAL	19837	0.46					2.22			4327

Proposed TLC Animal Hospital Drainage Calculations										
Ultimate Development Conditions Basin Data Table										
This table is based on the COA DPM Section 22.2, Zone 13										
BASIN	Area (SQ. FT.)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WTE (inches)	V(100)360 (CF)
Proposed Site	19837	0.46	0.0%	0.0%	15.7%	84.3%	4.77	2.17	2.19	3624
TOTAL	19837	0.46					2.17			4181



NOTE: THE ABOVE POND VOLUMES SHALL BE VERIFIED AS PART OF THE DRAINAGE CERTIFICATION AND WILL BE REQUIRED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

Private Drainage Facilities within City Right-of-Way

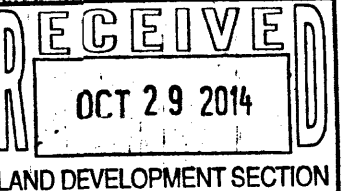
Notice to Contractor

(Special Order 19 "SO-19")

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" (or [505] 260-1990) for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.

CITY INSPECTOR APPROVAL

Signature _____ Date _____



Wooten Engineering

4700 Lincoln NE, Suite 111
Albuquerque, NM 87109
Ph: 505.980.3560

project title: TLC Pet and Uptown Cat Hospitals

sheet: C001

revision: _____

by: _____

date: _____

rev: _____

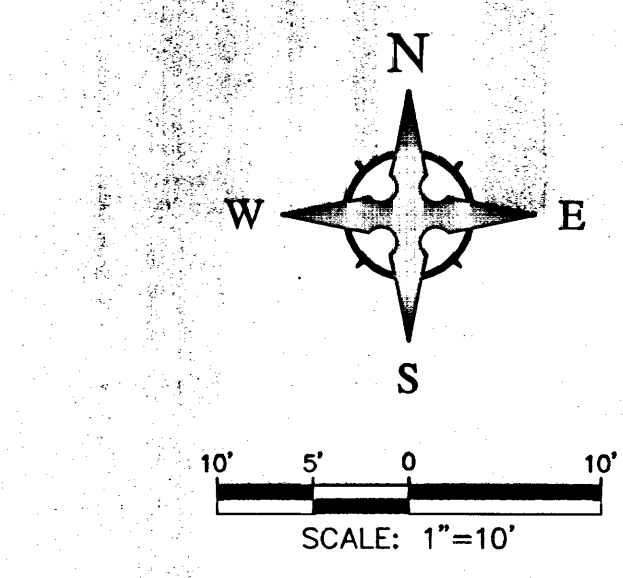
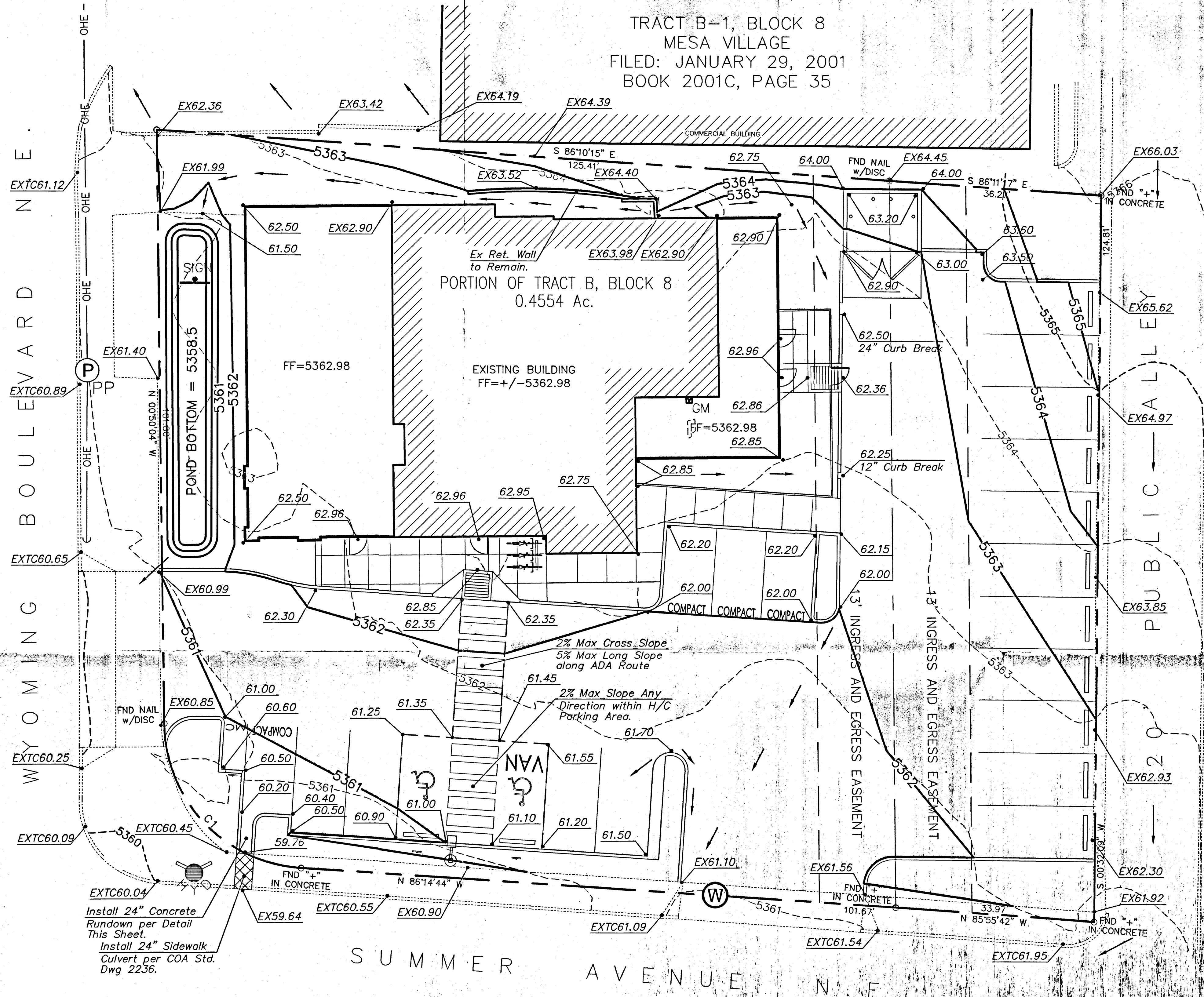
job number: 2014043

drawn by: jlw

project manager: Jeffrey Wooten, P.E.

date: 10/24/14

Grading / Drainage Plan



CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

- LEGEND**
- ← FLOW ARROW
 - 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
 - FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
 - TC27.8 PROPOSED TOP OF CURB ELEVATIONS
 - 515 EXISTING CONTOUR
 - 515 PROPOSED CONTOUR
 - EXISTING STORM DRAIN
 - FLOW LINE
 - RIDGE LINE

DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a final drainage management plan for the proposed building expansion of TLC Animal Hospital located at 1300 Wyoming Blvd NE in Albuquerque, NM. The project consists of demolition of the existing parking lot, construction of two building additions, and a new parking lot with associated landscaped areas. The existing curb cuts along Wyoming and Summer will remain. The site contains approximately 0.4554 acres.

EXISTING HYDROLOGIC CONDITIONS

The site is currently developed and 90.3% impervious per the Impervious Area calculations this sheet. Surrounding streets and infrastructure are in place. The site slopes from east to west in a sheet flow condition and drains to both Summer Ave. and Wyoming Blvd. Per the basin calculations table this sheet, the site currently discharges 2.22 cfs (3,730 CF) during the 100-yr, 6-Hr Storm. Analysis for these and all drainage calculations were performed using the COA DPM Section 22.2, released June 1997.

PROPOSED HYDROLOGIC CONDITIONS

The site will continue to drain to Summer Ave and Wyoming Blvd in a sheet flow condition. There is an increase in landscaped area on the site which decreases the total impervious area to 84.3%. Per the basin calculations table this sheet, the proposed site will discharge 2.17 cfs (3,624 CF) during the 100-yr, 6-Hr Storm, which is a reduction of 0.05 cfs (106 CF).

FIRST FLUSH CALCULATIONS

The first flush volume impervious area is 16,720 SF (Impervious Area) * 0.44" / 12 = 613 cubic feet. The pond provided contains +/- 732.5 cubic feet which is sufficient to contain the first flush. The pond will discharge onto the sidewalk at the north end of the existing curb cut.

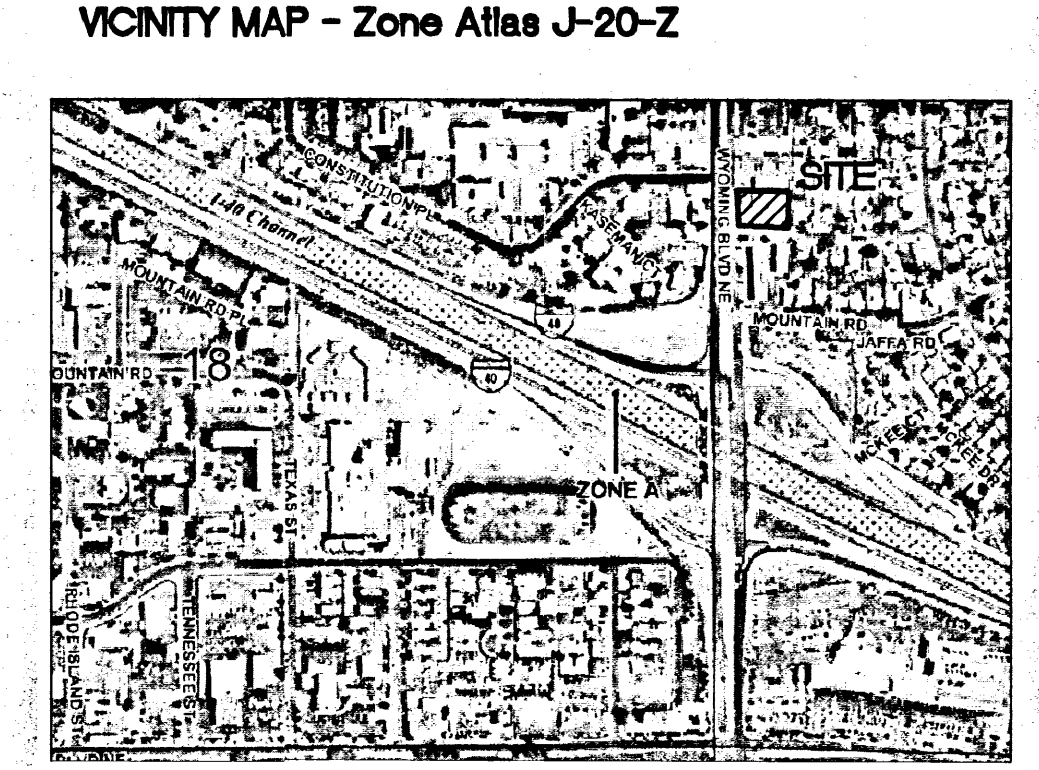
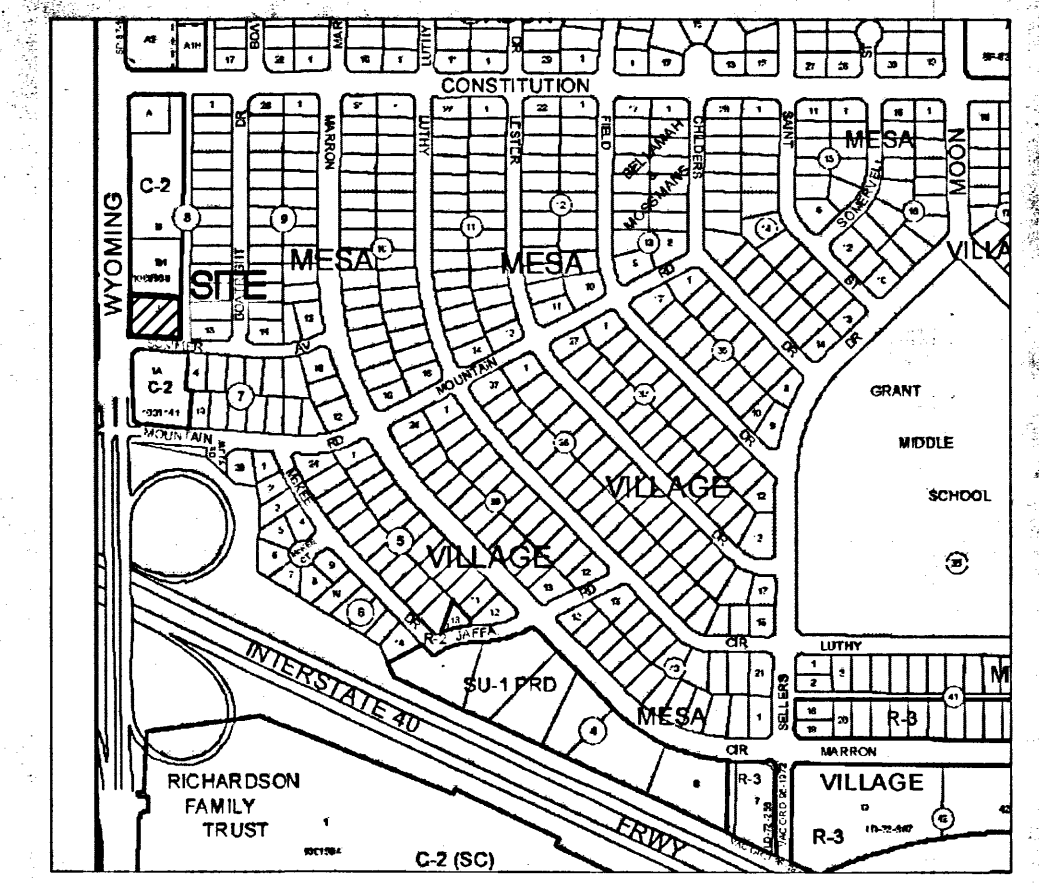
CONCLUSION

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and meets city requirements. With this submittal, we are requesting approval of this plan for Grading Permit and Building Permit.

POND VOLUME CALCULATIONS

CONTOUR ELEVATION	AREA (SF)	VOLUME (CF)
5359.00	248 SF	306.5
5360.00	365 SF	426.0 CF
5361.00	487 SF	732.5 CF
TOTAL		1465.0

NOTE: THE ABOVE POND VOLUMES SHALL BE VERIFIED AS PART OF THE DRAINAGE CERTIFICATION AND WILL BE REQUIRED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

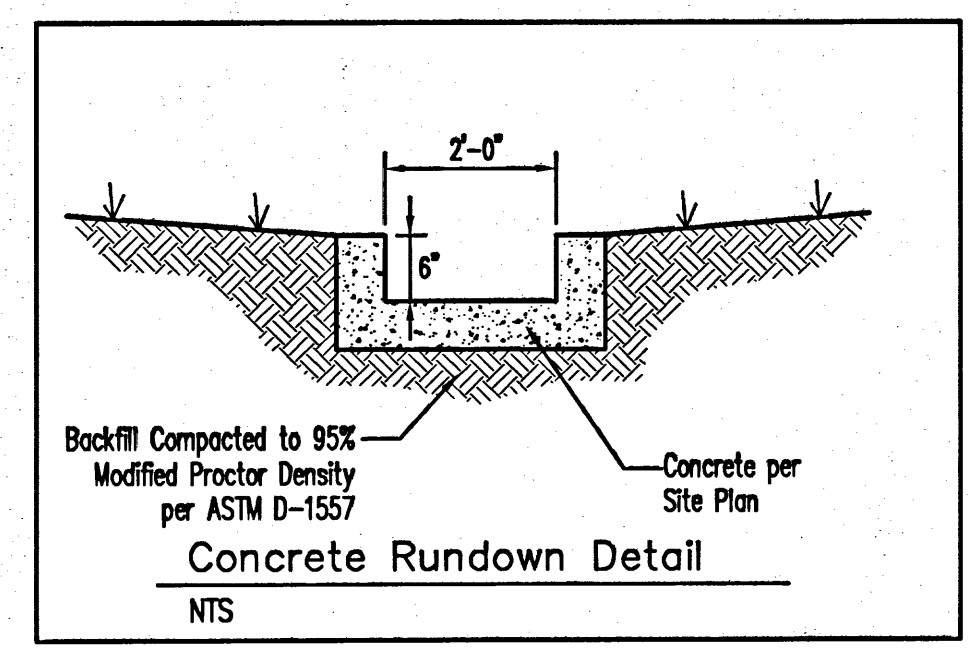


FIRM MAP 35001C0358H

Per FIRM Map 35001C0358H, dated Aug 16, 2012, the site is not located in the Floodplain.

- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 UPDATE NO. 8.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NM ONE CALL FOR LOCATION OF EXISTING UTILITIES. (NM ONE CALL = "811")
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- GRADING NOTES**
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
 - THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
 - ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOLOGICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
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IMPERVIOUS AREA CALCULATIONS

EXISTING SITE CONDITIONS

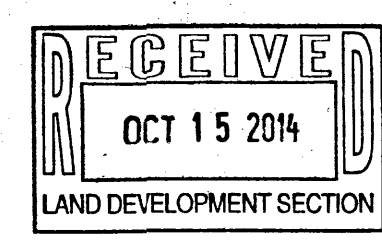
PERVIOUS AREA: 1,921 SF
 IMPERVIOUS AREA: 17,916 SF
 TOTAL SITE AREA: 19,837 SF
 % IMPERVIOUS = 90.3%

PROPOSED SITE CONDITIONS

PERVIOUS AREA: 3,117 SF
 IMPERVIOUS AREA: 16,720 SF
 TOTAL SITE AREA: 19,837 SF
 % IMPERVIOUS = 84.3%

Existing TLC Animal Hospital Drainage Calculations										
This table is based on the COA DPM Section 22.2, Zone 3										
BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WTE (inches)	V(100)360 (CF)
			A	B	C	D				
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TOTAL	19837	0.46						2.22		3730

Proposed TLC Animal Hospital Drainage Calculations										
Ultimate Development Conditions Basin Data Table										
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Wooten Engineering

4700 Lincoln NE, Suite 111
 Albuquerque, NM 87109
 Ph: 505.980.3560

project title
TLC Pet and Uptown Cat Hospitals
1300 Wyoming Boulevard, NE.
Albuquerque, New Mexico 87112

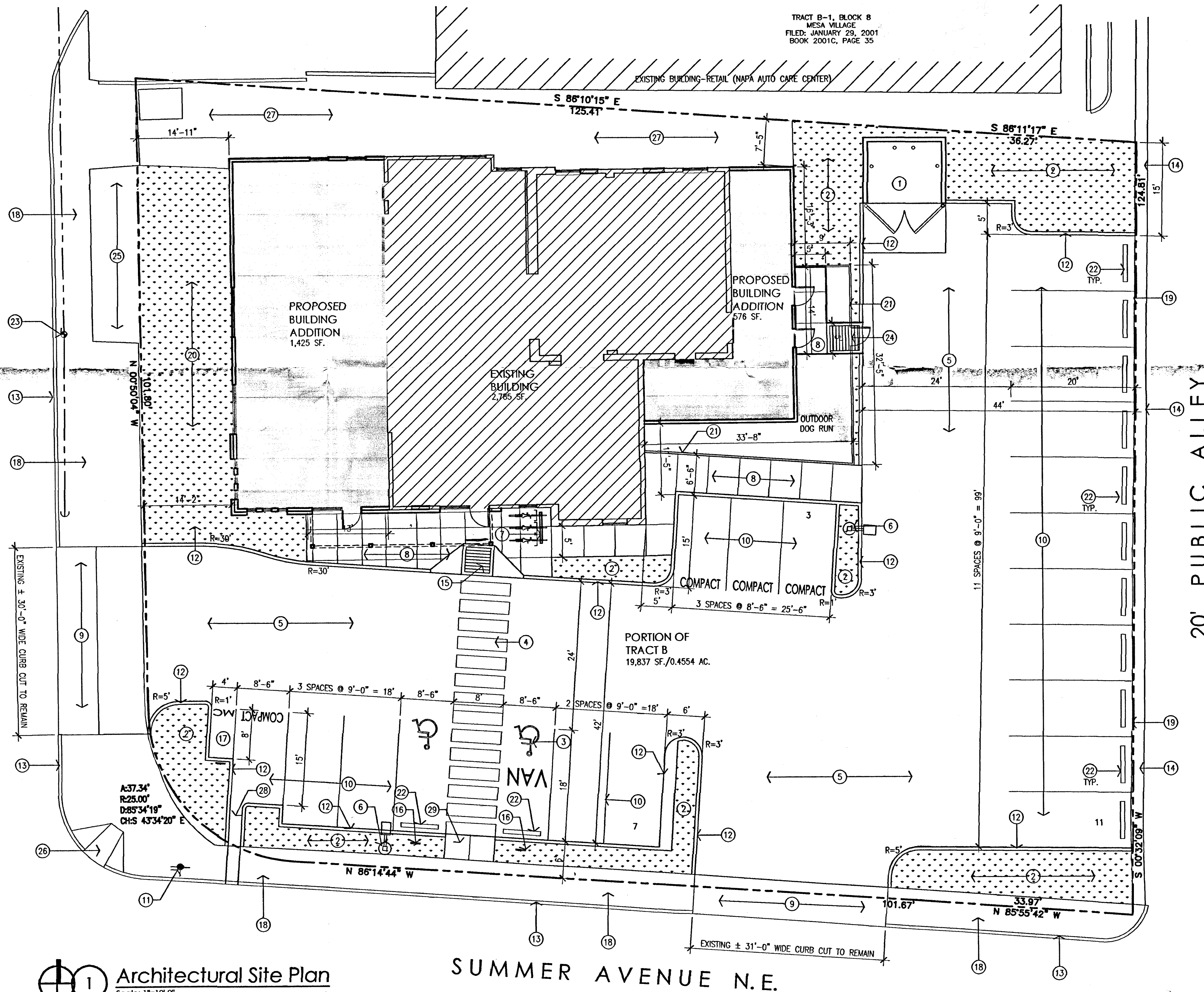
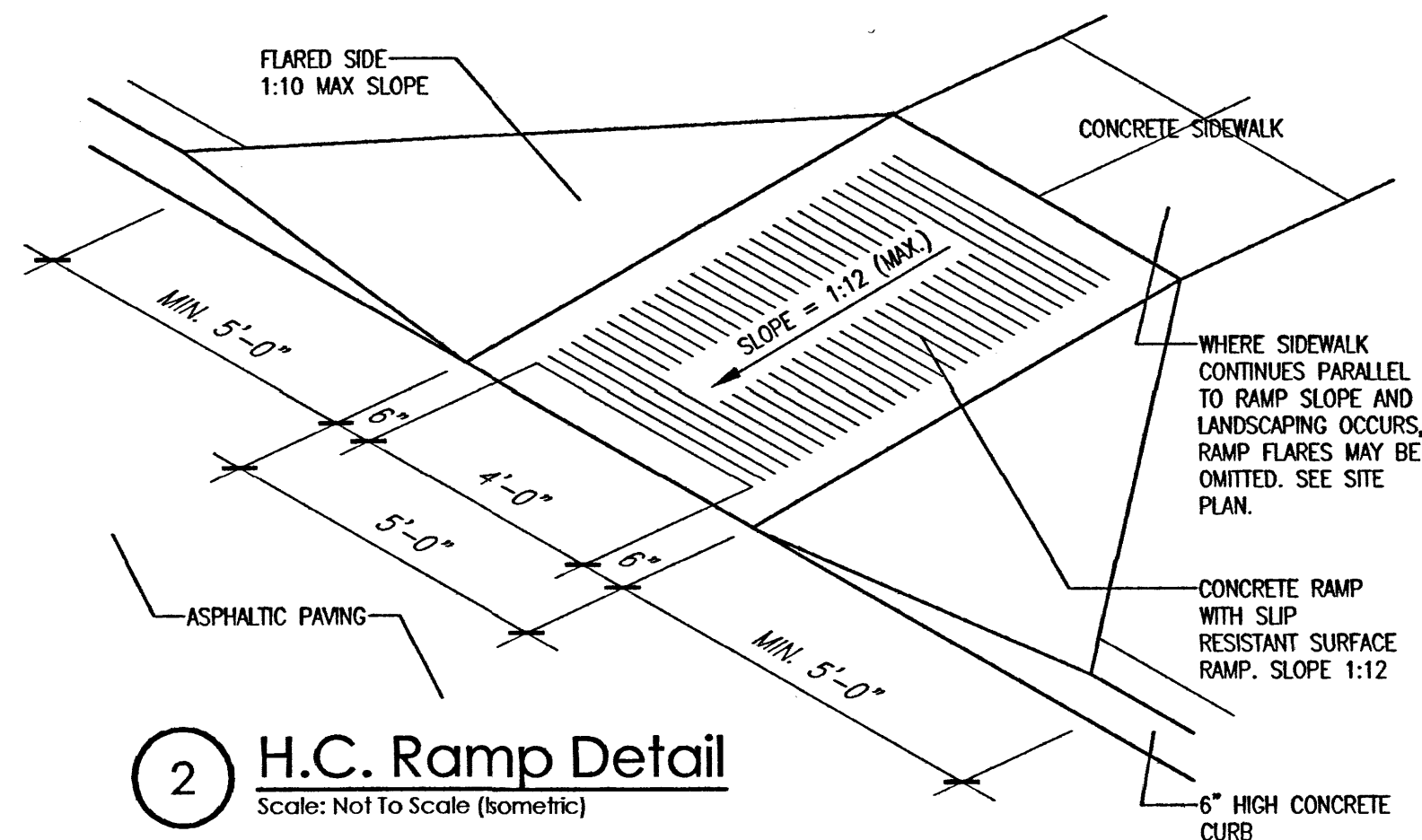
sheet title
Grading / Drainage Plan

revision
by
date
rev
date

2014/03
JW
Jeffrey Wooten, P.E.
project manager
10/24/14

job number
2014043

sheet
C001



KEYED NOTES:

- [1] PROPOSED REFUSE ENCLOSURE WITH STUCCO FINISH TO MATCH BUILDING COLOR AND CONCRETE APRON.
- [2] PROPOSED LANDSCAPING AREA.
- [3] PROPOSED HANDICAP PAVEMENT SIGN.
- [4] PROPOSED PAINTED HANDICAP AISLE.
- [5] PROPOSED ASPHALT PAVING.
- [6] PROPOSED SITE LIGHTING. TOTAL HEIGHT NOT TO EXCEED 16'-0" TALL.
- [7] PROPOSED BIKE RACK WITH 3 SPACES.
- [8] PROPOSED CONCRETE SIDEWALK.
- [9] EXISTING ENTRY DRIVEWAY TO REMAIN.
- [10] PROPOSED PAINTED PARKING STRIPING.
- [11] EXISTING FIRE HYDRANT TO BE REMAIN.
- [12] PROPOSED CONCRETE CURB. SEE GRADING & DRAINAGE PLAN.
- [13] EXISTING CITY CURB AND GUTTER TO REMAIN.
- [14] EXISTING VALLEY GUTTER TO REMAIN.
- [15] PROPOSED HANDICAP RAMP. REFER TO 2/A001.
- [16] PROPOSED HANDICAP PARKING SIGN. "VAN" WHERE NOTED.
- [17] PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACE WITH SIGNAGE.
- [18] EXISTING CONCRETE SIDEWALK TO REMAIN.
- [19] EXISTING PROPERTY LINE.
- [20] EXISTING LANDSCAPING TO REMAIN. REFER TO LANDSCAPING PLAN.
- [21] 7' HIGH CHAINLINK FENCE DOG RUN ENCLOSURE.
- [22] RELOCATED EXISTING CONCRETE PARKING BUMPERS.
- [23] EXISTING POWER POLE AND ANCHOR.
- [24] PROPOSED CONCRETE RAMP FOR DELIVERIES.
- [25] EXISTING OFF-SITE LANDSCAPING TO REMAIN.
- [26] EXISTING CONCRETE RAMP TO REMAIN.
- [27] EXISTING PAVEMENT TO REMAIN.
- [28] CONCRETE RUNDOWN REFER TO CIVIL.
- [29] CONCRETE SIDEWALK CONNECTION TO EXISTING SIDEWALK. MAX SLOPE 1:12.

SITE DEVELOPMENT DATA:

LEGAL DESCRIPTION:
PORTION OF TRACT B, BLOCK 8
MESA VILLAGE
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO

LAND AREA:
0.4556 ACRES (19,845 SQ. FT.)

CURRENT ZONING:
C-2

ZONE ATLAS PAGE:
J-20-Z

BUILDING AREAS:
EXISTING BUILDING 2,785 SF.
PROPOSED BUILDING ADDITIONS 2,001 SF.
TOTAL BUILDING BUILDING AREA 4,786 SF.

SITE DEVELOPMENT GENERAL NOTES:

- [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- [C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.

SITE DEVELOPMENT SITE LIGHTING NOTES:

- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- [B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16 FEET MAXIMUM.
- [C] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.
- [D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.

PARKING CALCULATIONS:

4,786 SF./200 = 24 SPACES
TOTAL REQUIRED

TRANSIT REDUCTIONS:

24 SPACES REQ'D x 15% REDUCTION =
(PROXIMITY TO BUS STOP AND ROUTE 31 & 98)
24 x 15% = 3.6 TOTAL SPACES REQUIRED
TOTAL PARKING SPACES REQUIRED = 20 SPACES
TOTAL PARKING SPACES PROVIDED = 21 SPACES

15 REGULAR SPACES
4 COMPACT SPACE
2 HANDICAP VAN PARKING SPACE

COMPACT PARKING CALCULATION:

20 REQ'D SPACES x 33% = 7 SPACES ALLOWED
TOTAL COMPACT SPACES = 4 SPACES PROVIDED

DISABLED PARKING REQUIREMENTS:

TOTAL DISABLED SPACES REQUIRED = 1 SPACE
TOTAL DISABLED SPACES PROVIDED = 1 SPACE

MOTORCYCLE REQUIREMENTS:

TOTAL MOTORCYCLE SPACES REQUIRED = 1 SPACE
TOTAL MOTORCYCLE SPACES PROVIDED = 1 SPACE

COMMERCIAL BICYCLE REQUIREMENTS:

1 BICYCLE SPACE FOR EACH 20 PARKING SPACES =
21 PARKING SPACES/20 = 1 TOTAL SPACE REQUIRED

TOTAL BICYCLE SPACES REQUIRED = 1 SPACE
TOTAL BICYCLE SPACES PROVIDED = 3 SPACES

LANDSCAPING CALCULATIONS:

LAND AREA: 19,845 S.F.
TOTAL BUILDING AREA: 4,786 S.F.
NET LOT AREA: 15,059 S.F.

LANDSCAPING REQUIRED:

(15% OF NET LOT AREA)
15,059 SF./15% = 2,259 SF. REQUIRED
LANDSCAPING PROVIDED: 2,614 SF.

BUILDING SETBACKS:

FRONT: 10'-0"
SIDE: 5'-0"
REAR: 5'-0"

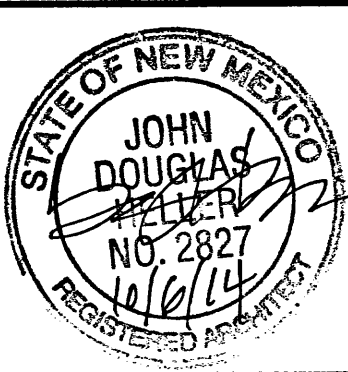
SETBACKS PER: ALBUQUERQUE COMPREHENSIVE
ZONING CODE: C-2 WHICH REFERENCES O-1
REQUIREMENTS (14-16-2-15) (E).

BUILDING HEIGHT:

MAXIMUM BUILDING HEIGHT: 26'-0"
STRUCTURE HEIGHT SHALL CONFORM TO THE CITY
OF ALBUQUERQUE COMPREHENSIVE ZONING CODE:
C-2 WHICH REFERENCES O-1 REQUIREMENTS
(14-16-2-15) (C).

revision
by
date
rev

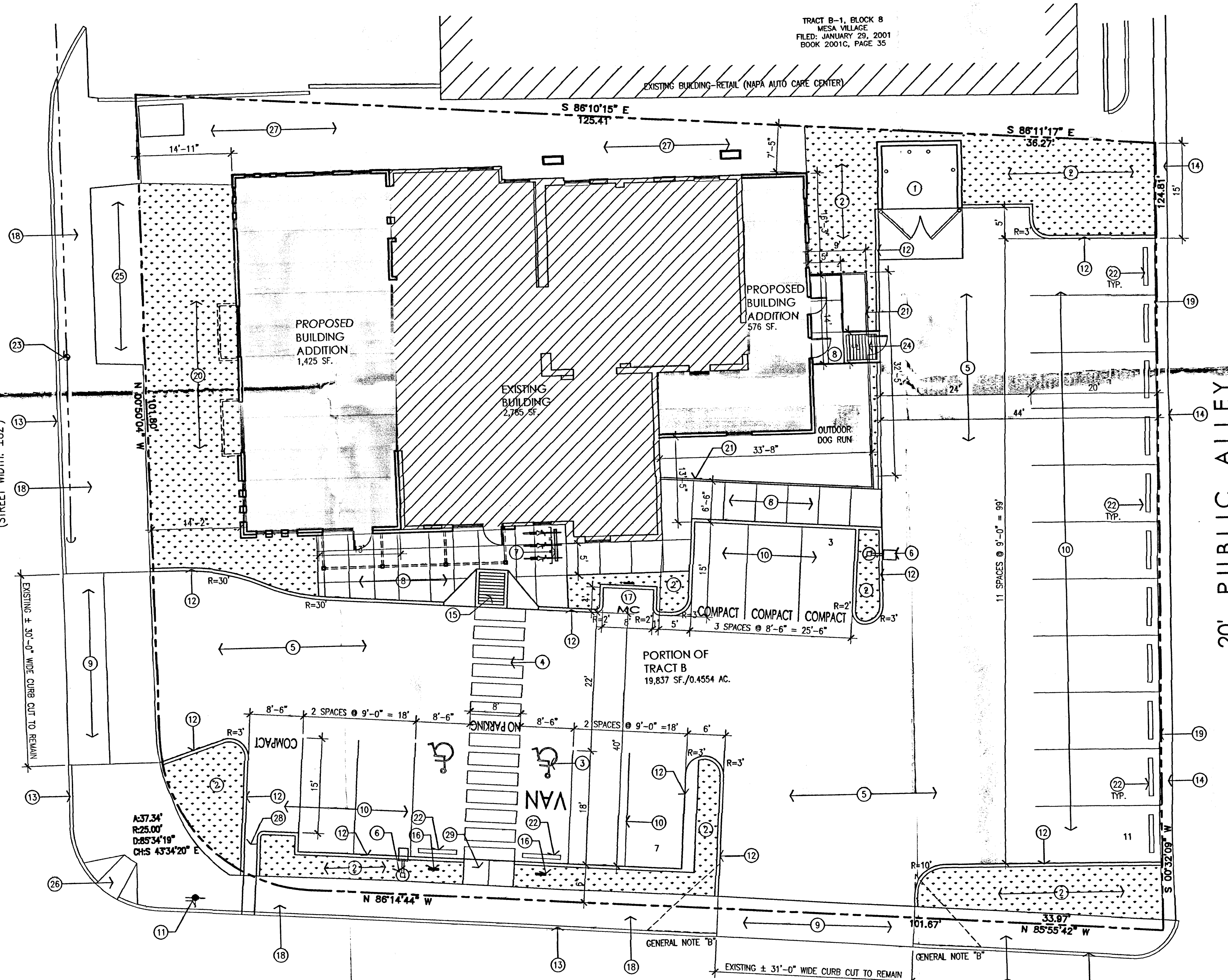
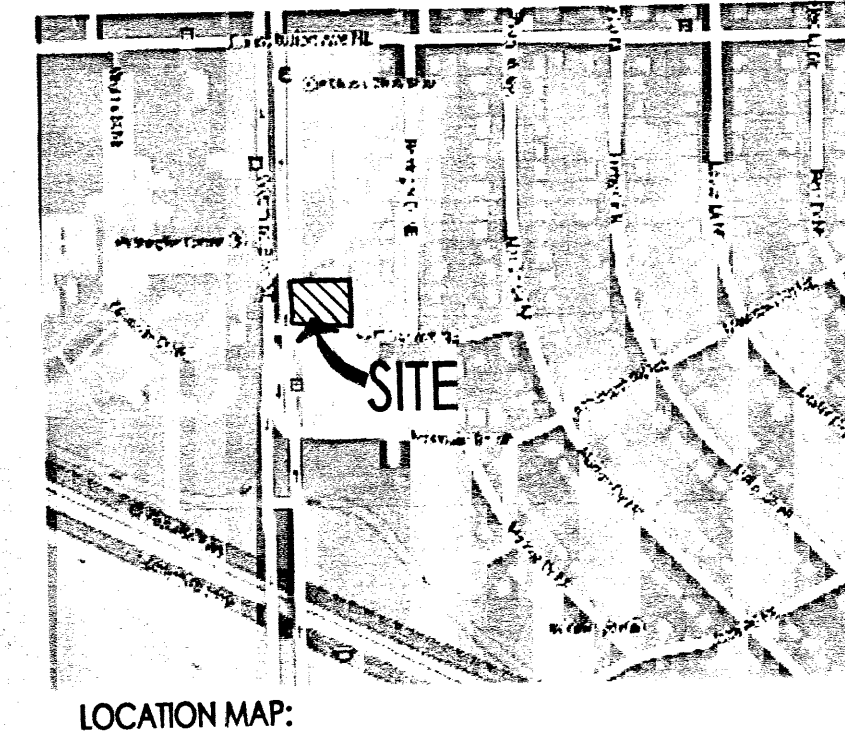
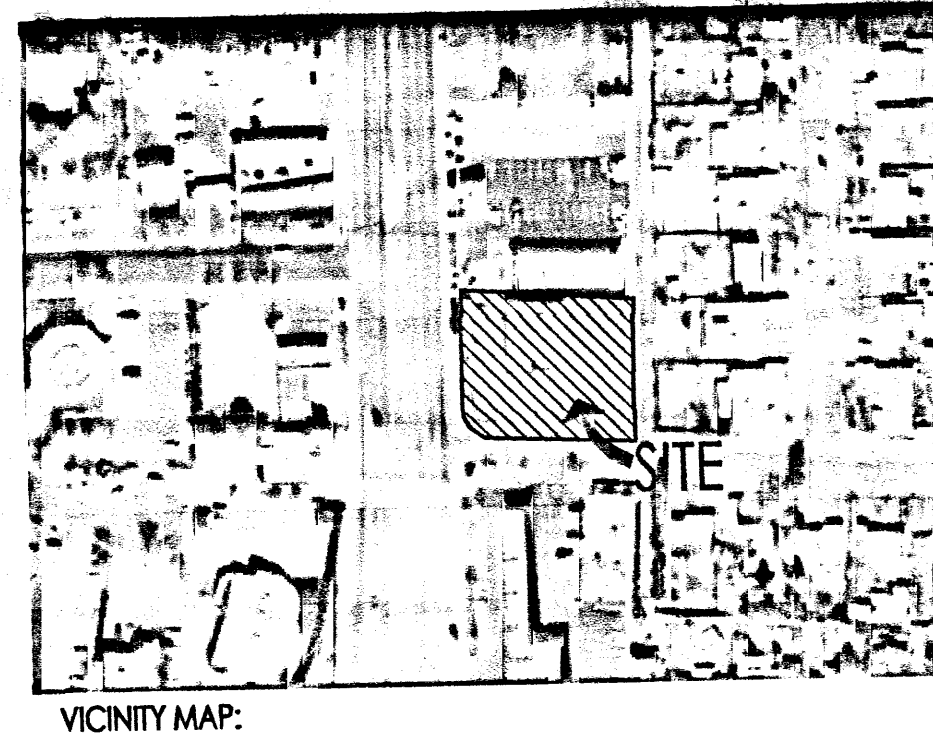
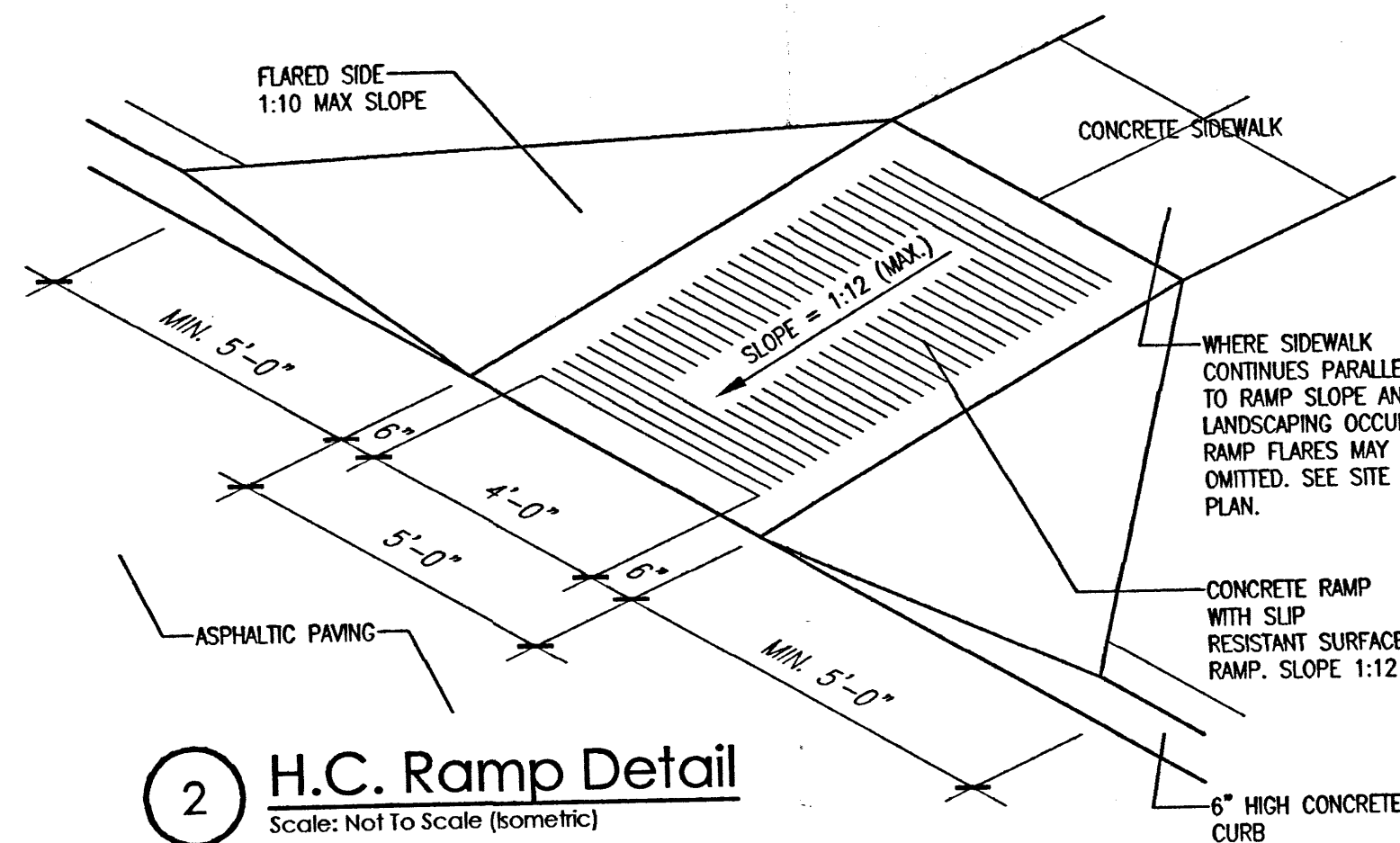
Mullen Heller
Architecture P.C.
924 Park Avenue SW
Suite B
Albuquerque, NM 87102
505 268 4144(p)
505 268 4244 (f)



project title	14-17	mws	10/24/14
job number		drawn by	
drawn by		project manager	
project manager		date	

project title
TLC Pet and Uptown Cat Hospitals
1300 Wyoming Boulevard, NE.
Albuquerque, New Mexico 87112
sheet title
Architectural Site Plan

sheet
A001



- KEYED NOTES:**
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 - [2] PROPOSED LANDSCAPING AREA.
 - [3] PROPOSED HANDICAP PAVEMENT SIGN.
 - [4] PROPOSED PAINTED HANDICAP AISLE WITH 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-1-4.1.8 NMSA 1978.
 - [5] PROPOSED ASPHALT RE-SURFACING OF EXISTING PAVING.
 - [6] PROPOSED SITE LIGHTING.
 - [7] PROPOSED BIKE RACK WITH 3 SPACES.
 - [8] PROPOSED CONCRETE SIDEWALK.
 - [9] EXISTING ENTRY DRIVEWAY TO REMAIN.
 - [10] PROPOSED PAINTED PARKING STRIPING.
 - [11] EXISTING FIRE HYDRANT TO BE REMAIN.
 - [12] PROPOSED 6" HIGH CONCRETE CURB.
 - [13] EXISTING CITY CURB AND GUTTER TO REMAIN.
 - [14] EXISTING VALLEY GUTTER TO REMAIN.
 - [15] PROPOSED HANDICAP PARKING SIGN, "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING.
 - [16] PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACE WITH SIGNAGE.
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ALBUQUERQUE, NEW MEXICO 87112

LAND AREA:
0.4556 ACRES (19,845 SQ. FT.)

CURRENT ZONING:
C-2

ZONE ATLAS PAGE:
J-20-2

BUILDING AREAS:

EXISTING BUILDING	2,765 SF.
PROPOSED BUILDING ADDITIONS	2,001 SF.
TOTAL BUILDING BUILDING AREA	4,766 SF.

SITE DEVELOPMENT GENERAL NOTES:

- [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- [C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- [D] NOT PUBLIC WORK IS ANTICIPATED FOR THIS PROJECT.

SITE DEVELOPMENT SITE LIGHTING NOTES:

- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- [B] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.
- [C] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.

PARKING CALCULATIONS:

4,766 SF./200 = 24 SPACES
TOTAL REQUIRED

TRANSIT REDUCTIONS:

24 SPACES REQ'D x 15% REDUCTION =
(PROXIMITY TO BUS STOP AND ROUTE 31 & 98)
24 x 15% = 3.6 TOTAL SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED = 20 SPACES

TOTAL PARKING SPACES PROVIDED = 21 SPACES

15 REGULAR SPACES
4 COMPACT SPACE
2 HANDICAP/VAN PARKING SPACE

COMPACT PARKING CALCULATION:

20 REQ'D SPACES x 33% = 6.6 SPACES ALLOWED
TOTAL COMPACT SPACES = 4 SPACES PROVIDED

DISABLED PARKING REQUIREMENTS:

TOTAL DISABLED SPACES REQUIRED = 1 SPACES
TOTAL DISABLED SPACES PROVIDED = 1 SPACES

MOTORCYCLE REQUIREMENTS:

TOTAL MOTORCYCLE SPACES REQUIRED = 1 SPACE
TOTAL MOTORCYCLE SPACES PROVIDED = 1 SPACE

COMMERCIAL BICYCLE REQUIREMENTS:

1 BICYCLE SPACE FOR EACH 20 PARKING SPACES =
21 PARKING SPACES/20 = 1.05 TOTAL SPACE REQUIRED

TOTAL BICYCLE SPACES REQUIRED = 1 SPACE
TOTAL BICYCLE SPACES PROVIDED = 3 SPACES

LANDSCAPING CALCULATIONS:

LAND AREA: 19,845 S.F.
TOTAL BUILDING AREA: 4,766 S.F.
NET LOT AREA: 15,059 S.F.

LANDSCAPING REQUIRED:

(15% OF NET LOT AREA)
15,059 SF./15% = 2,259 SF. REQUIRED
LANDSCAPING PROVIDED: 2,614 SF.

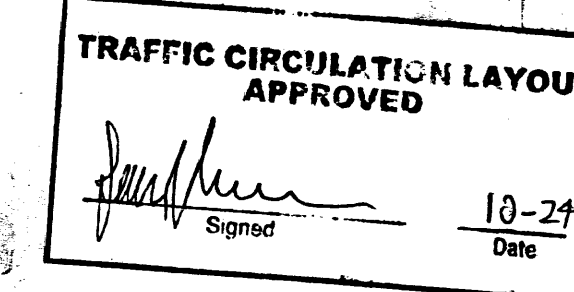
BUILDING SETBACKS:

FRONT: 10'-0"
SIDE: 5'-0"
REAR: 5'-0"

SETBACKS PER: ALBUQUERQUE COMPREHENSIVE
ZONING CODE: C-2 WHICH REFERENCES O-1
REQUIREMENTS (14-16-2-15) (C).

BUILDING HEIGHT:

MAXIMUM BUILDING HEIGHT: 26'-0"
STRUCTURE HEIGHT SHALL CONFORM TO THE CITY
OF ALBUQUERQUE COMPREHENSIVE ZONING CODE:
C-2 WHICH REFERENCES O-1 REQUIREMENTS
(14-16-2-15) (C).



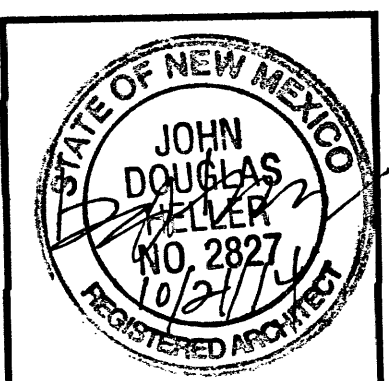
ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
AND ARE NOT TRUNCATED DUMES.

Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.

Approved 10-25-14

revision
by
date
rev

**Mullen Heller
Architecture P.C.**
924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144(p)
505 268 4244 (f)



14-17
mvs
Douglas Heller, AIA
project manager
date 10/24/14

project title
TLC Pet and Uptown Cat Hospitals
1300 Wyoming Boulevard, NE.
Albuquerque, New Mexico 87112
sheet title
Architectural Site Plan

sheet
A001