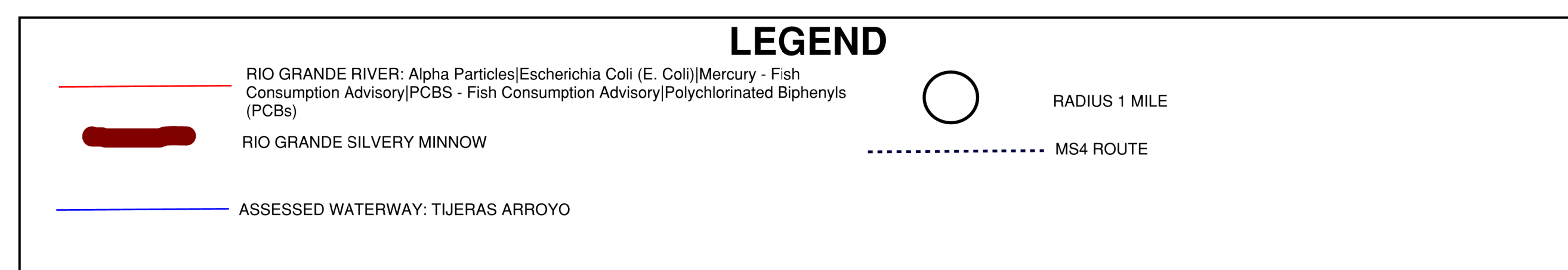
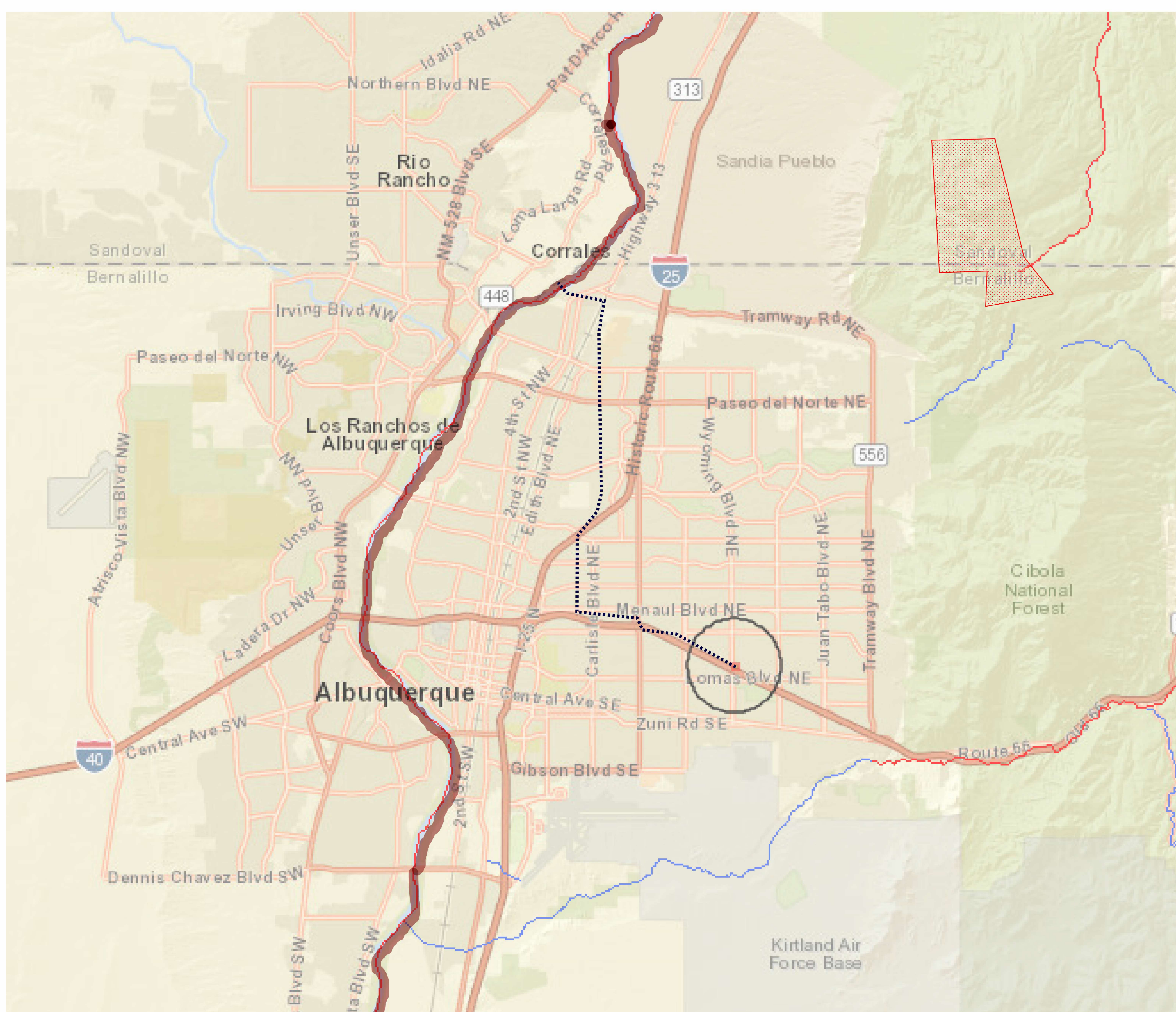


CASSANDRA DURKIN  
CPESC 9212

DRAWN BY: C. DURKIN		CONSTRUCTION ACTIVITIES: NEW CONSTRUCTION		<b>COVER PAGE</b>	
CHECKED BY:	SCHEDULE: 12 MONTHS FROM START	ESCP	OWNER NAME	MALIK HASAN 919-619-2443 ACCOUNTS@NUVUEPHARMA.COM	
ORIGINAL DATE: 02/29/2024	AREA OF DISTURBANCE: 1.25 ACRES	PROJECT SIZE: 1.25 ACRES	OPERATOR NAME	HARRISON BUILDING 949-278-1727 HARRISONBUILDINGINC@HOTMAIL.COM	
REVISED BY: C. DURKIN	AFTER HOURS CONTACT: PATRICK AUDENIS 949-278-1727	MAP DATUM: GOOGLE EARTH AND CITY OF ABQ	PROJECT NAME	1171 JAFFA RD NE	
REVISED DATE: 03/05/2024	OTHER:	DATA APPROXIMATE FOR ILLUSTRATIVE PURPOSES ONLY	COORDINATES	13S 358743.95 m E, 3884252.86 m N	

FIGURE:  
1



DRAWN BY: C. DURKIN		CONSTRUCTION ACTIVITIES: NEW CONSTRUCTION		VICINITY MAP OF IMPAIRED WATERS AND ENDANGERED SPECIES	
CHECKED BY:	SCHEDULE: 12 MONTHS FROM START	ESCP	OWNER NAME	MALIK HASAN 919-619-2443 ACCOUNTS@NUVUEPHARMA.COM	
ORIGINAL DATE: 02/29/2024	AREA OF DISTURBANCE: 1.25 ACRES	PROJECT SIZE: 1.25 ACRES	OPERATOR NAME	HARRISON BUILDING 949-278-1727 HARRISONBUILDINGINC@HOTMAIL.COM	
REVISED BY: C. DURKIN	AFTER HOURS CONTACT: PATRICK AUDENIS 949-278-1727	MAP DATUM: GOOGLE EARTH AND CITY OF ABQ	PROJECT NAME	1171 JAFFA RD NE	
REVISED DATE: 03/05/2024	OTHER:	DATA APPROXIMATE FOR ILLUSTRATIVE PURPOSES ONLY	COORDINATES	13S 358743.95 m E, 3884252.86 m N	

PROJECT INPUTS

PROJECT OWNER:  
MALIK HASAN - NOI NMR10069N

PHONE NUMBER:  
919-619-2443

EMAIL:  
ACCOUNTS@NUVUEPHARMA.COM

PROJECT OPERATOR:  
HARRISON BUILDING

PHONE NUMBER:  
949-278-9909

EMAIL:  
HARRISONBUILDINGINC@HOTMAIL.COM

Project/Site Information

Project/Site Name: [1171 Jaffa Rd NE](#)

Project/Site Address

Address Line 1: [1171 Jaffa Rd NE](#)

Address Line 2: City: [Albuquerque](#)

ZIP/Postal Code: [87112](#) State: [NM](#)

County or Similar Division: [Bernalillo](#)

Latitude/Longitude: [35.091147°N, 106.549782°W](#)

Latitude/Longitude Data Source: [Map](#) Horizontal Reference Datum: [WGS 84](#)

Project Start Date: [02/01/2024](#) Project End Date: [11/29/2024](#) Estimated Area to be Disturbed: [1.25](#)

Types of Construction Sites:

- Commercial

Will there be demolition of any structure built or renovated before January 1, 1980? No

Will you be discharging dewatering water from your site? No

Was the pre-development land use used for agriculture? No

Are there other operators that are covered under this permit for the same project site? No

Have earth-disturbing activities commenced on your project/site? Yes

Is your project an "emergency-related project"? No

Is your project/site located on federally recognized Indian Country lands? No

Is your project/site located on a property of religious or cultural significance to an Indian tribe? No

Report - Conservation Planning

Soil properties and interpretations for conservation planning. The surface mineral horizon properties are displayed. Organic surface horizons are not displayed.

Bernalillo County and Parts of Sandoval and Valencia Counties, New Mexico

Map symbol and soil name	Pct. of map unit	Slope RV	USLE Slope Length ft.	Runoff	T Factor	WEI	WEG	Erosion	Drainage	NIRR LCC	Hydrologic Group	Surface					
												Depths in.	Kf Factor	Frag-ments RV	Sand RV	Silt RV	Clay RV
EtC-Embudo-Tijeras complex, 0 to 9 percent slopes																	
Embudo	50	3.0	160	Very low	3	56	5	—	Well drained	7e	A	0 - 3	.24	25	68	21	10
Tijeras	35	5.0	160	Medium	5	56	5	—	Well drained	7c	B	0 - 3	.28	22	70	16	12

CITY OF ALBUQUERUQE STANDARD NOTES

ESC Plan Standard Notes (2023-06-16)

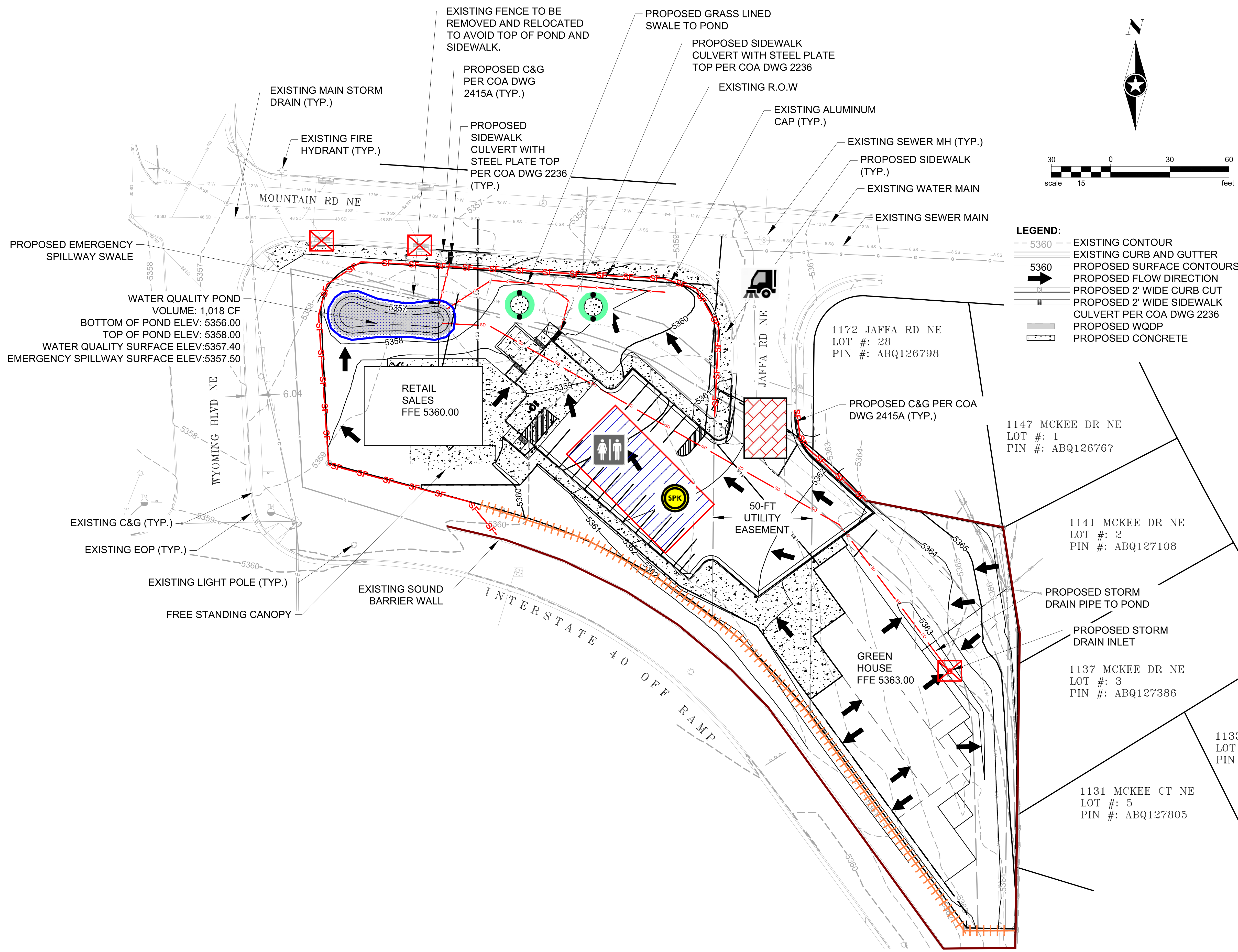
- All Erosion and Sediment Control (ESC) work on these plans, except as otherwise stated or provided hereon shall be permitted, constructed, inspected, and maintained in accordance with:
  - The City Ordinance § 14-5-2-11, the ESC Ordinance,
  - The EPA's 2022 Construction General Permit (CGP), and
  - The City Of Albuquerque Construction BMP Manual.
- All BMP's must be installed prior to beginning any earth moving activities except as specified hereon in the Phasing Plan. Construction of earthen BMP's such as sediment traps, sediment basins, and diversion berms shall be completed and inspected prior to any other construction or earthwork. Self-inspection is required after installation of the BMPs and prior to beginning construction.
- Self-inspections - In accordance with City Ordinance § 14-5-2-11(C)(1), "at a minimum a routine self-inspection is required to review the project for compliance with the Construction General Permit once every 14 days and after any precipitation event of 1/4 inch or greater until the site construction has been completed and the site determined as stabilized by the city. Reports of these inspections shall be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
- Corrective action reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
- Final Stabilization and Notice of Termination (NOT) - In accordance with City Ordinance § 14-5-2-11(C)(1), self-inspections must continue until the site is "determined as stabilized by the city." The property owner/operator is responsible for determining when the "Conditions for Terminating CGP Coverage" per CGP Part 8.2 are satisfied and then for filing their Notice of Termination (NOT) with the EPA. Each operator may terminate CGP coverage only if one or more of the conditions in Part 8.2.1, 8.2.2, or 8.2.3 has occurred. After filing the NOT with the EPA, the property owner is responsible for requesting a Determination of Stabilization from the City.
- When doing work in the City right-of-way (e.g. sidewalk, drive pads, utilities, etc.) prevent dirt from getting into the street. If dirt is present in the street, the street should be swept daily or prior to a rain event or contractor induced water event (e.g. curb cut or water test).
- When installing utilities behind the curb, the excavated dirt should not be placed in the street.
- When cutting the street for utilities the dirt shall be placed on the uphill side of the street cut and the area swept after the work is complete. A wattle or mulch sock may be placed at the toe of the excavated dirt pile if site constraints do not allow placing the excavated dirt on the uphill side of the street cut.
- ESC Plans must show longitudinal street slope and street names. On streets where the longitudinal slope is steeper than 2.5%, wattles/mulch socks or j-hood silt fence shall be shown in the front yard swale or on the side of the street.



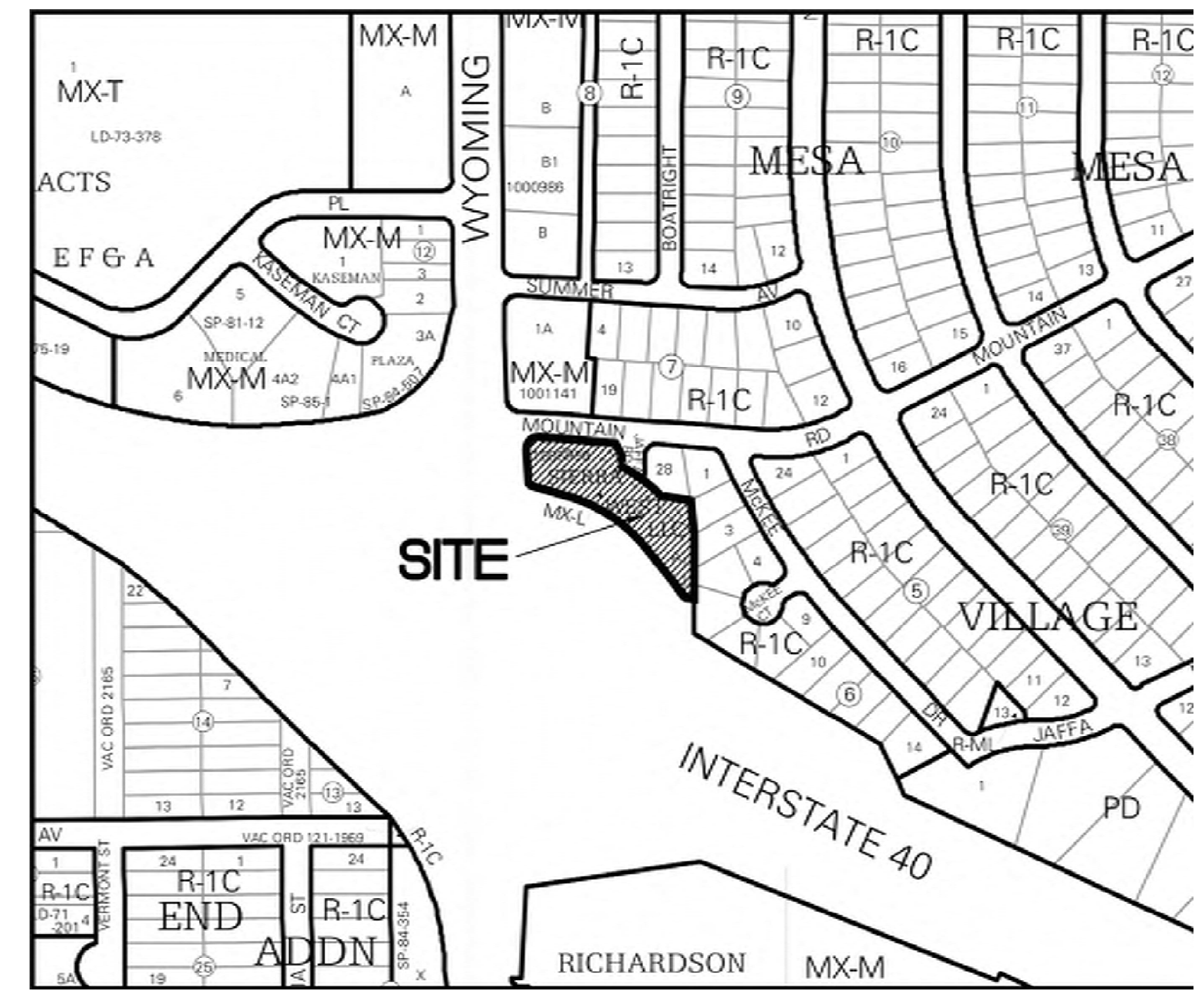
CASSANDRA DURKIN  
CPESC 9212

DRAWN BY: C. DURKIN	CONSTRUCTION ACTIVITIES: NEW CONSTRUCTION	<b>PROJECT INPUTS AND NOTES</b>	
CHECKED BY:	SCHEDULE: 12 MONTHS FROM START	ESCP	OWNER NAME MALIK HASAN 919-619-2443 ,ACCOUNTS@NUVUEPHARMA.COM
ORIGINAL DATE: 02/29/2024	AREA OF DISTURBANCE: 1.25 ACRES	PROJECT SIZE: 1.25 ACRES	OPERATOR NAME HARRISON BUILDING 949-278-1727 HARRISONBUILDINGINC@HOTMAIL.COM
REVISED BY: C. DURKIN	AFTER HOURS CONTACT: PATRICK AUDENIS 949-278-1727	MAP DATUM: GOOGLE EARTH AND CITY OF ABQ	PROJECT NAME 1171 JAFFA RD NE
REVISED DATE: 03/05/2024	OTHER:	DATA APPROXIMATE FOR ILLUSTRATIVE PURPOSES ONLY	COORDINATES 13S 358743.95 m E, 3884252.86 m N

FIGURE:  
**3**



- LEGEND:**
- 5360 - EXISTING CONTOUR
  - EXISTING CURB AND GUTTER
  - PROPOSED SURFACE CONTOURS
  - PROPOSED FLOW DIRECTION
  - PROPOSED 2' WIDE CURB CUT
  - PROPOSED 2' WIDE SIDEWALK
  - CULVERT PER COA DWG 2236
  - PROPOSED WQDP
  - PROPOSED CONCRETE



- LEGEND**
- UTM LOCATOR 13S 358743.95 m E, 3884252.86 m N
  - PB - PERIMETER BOUNDARY
  - SF - SILT FENCE
  - STAGING AREA
  - PORTABLE TOILET
  - TEMPORARY STOCKPILE
  - SPILL KIT
  - EXISTING WALL
  - INLET PROTECTION
  - WEIGHTED MULCH SOCK
  - FLOW DIRECTION
  - STREET SWEEPING AS NEEDED
  - STABILIZED ASPHALT ENTRANCE

<p>CASSANDRA DURKIN CPESC 9212</p>	DRAWN BY: C. DURKIN	CONSTRUCTION ACTIVITIES: NEW CONSTRUCTION	<b>WATER POLLUTION CONTROL DRAWING</b>		
	CHECKED BY:	SCHEDULE: 12 MONTHS FROM START	ESCP	OWNER NAME	MALIK HASAN 919-619-2443 ACCOUNTS@NUVUEPHARMA.COM
	ORIGINAL DATE: 02/29/2024	AREA OF DISTURBANCE: 1.25 ACRES	PROJECT SIZE: 1.25 ACRES	OPERATOR NAME	HARRISON BUILDING 949-278-1727 HARRISONBUILDINGINC@HOTMAIL.COM
	REVISED BY: C. DURKIN	AFTER HOURS CONTACT: PATRICK AUDENIS 949-278-1727	MAP DATUM: GOOGLE EARTH AND CITY OF ABQ	PROJECT NAME	1171 JAFFA RD NE
	REVISED DATE: 03/05/2024	OTHER:	DATA APPROXIMATE FOR ILLUSTRATIVE PURPOSES ONLY	COORDINATES	13S 358743.95 m E, 3884252.86 m N
					<b>FIGURE: 4</b>

**SILT FENCE**



**BMP Objectives**

- Sediment Control
- Sheet Flow Runoff Control
- Wind Erosion Control

**MULCH SOCK/STRAW WATTLE**



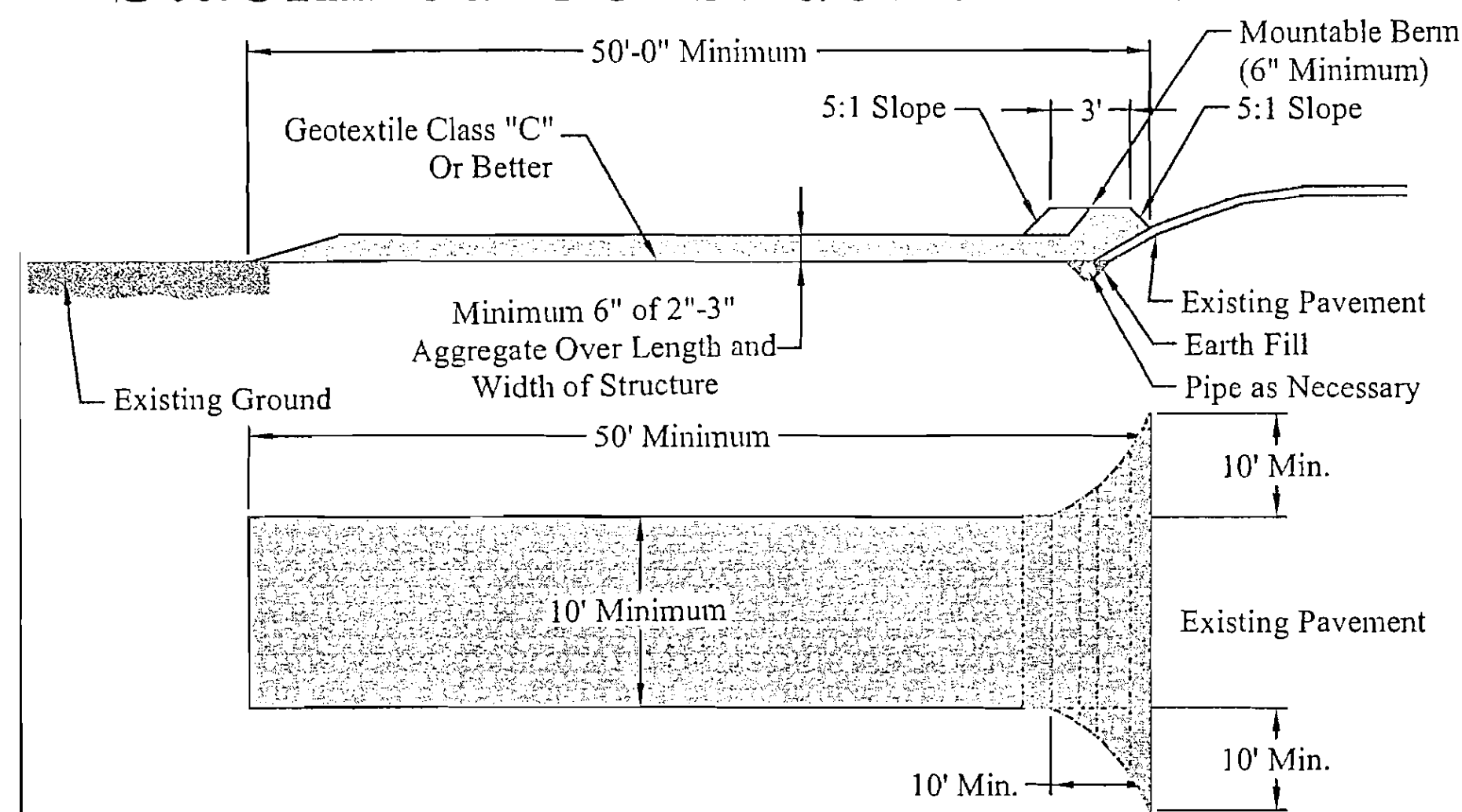
**BMP Objectives**

- Sediment Control
- Reduce Runoff Velocity
- Inlet Protection

**INLET PROTECTION**



**Stabilized Construction Entrance**



**CONSTRUCTION STAGING**

- 1: BMPs and Stormwater Pond
- 2: Infrastructure
- 3: Concrete Work and Structures
- 4: Landscaping
- 5: Final Stabilization

**BMP Objectives**

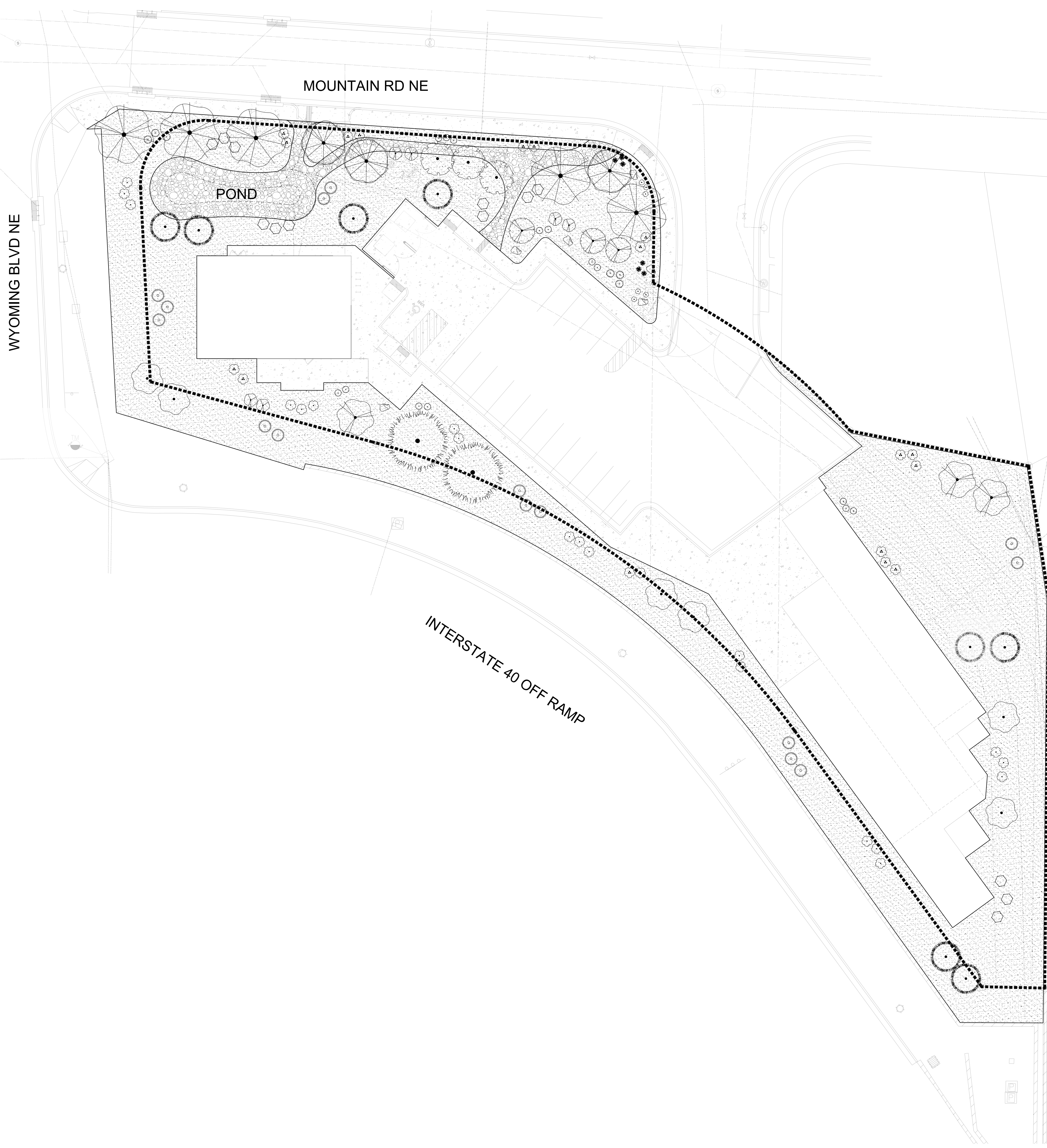
- Sediment Control
- Sheet Flow Runoff Control
- Wind Erosion Control



CASSANDRA DURKIN  
CPESC 9212

DRAWN BY: C. DURKIN	CONSTRUCTION ACTIVITIES: NEW CONSTRUCTION	<b>CONSTRUCTION STAGING AND EROSION &amp; SEDIMENT CONTROLS</b>		
CHECKED BY:	SCHEDULE: 12 MONTHS FROM START	ESCP	OWNER NAME	MALIK HASAN 919-619-2443 ACCOUNTS@NUVUEPHARMA.COM
ORIGINAL DATE: 02/29/2024	AREA OF DISTURBANCE: 1.25 ACRES	PROJECT SIZE: 1.25 ACRES	OPERATOR NAME	HARRISON BUILDING 949-278-1727 HARRISONBUILDINGINC@HOTMAIL.COM
REVISED BY: C. DURKIN	AFTER HOURS CONTACT: PATRICK AUDENIS 949-278-1727	MAP DATUM: GOOGLE EARTH AND CITY OF ABQ	PROJECT NAME	1171 JAFFA RD NE
REVISED DATE: 03/05/2024	OTHER:	DATA APPROXIMATE FOR ILLUSTRATIVE PURPOSES ONLY	COORDINATES	13S 358743.95 m E, 3884252.86 m N

FIGURE:  
**5**



### SITE DATA

GROSS LOT AREA 48,999 SF  
 BUILDING AREA 2,400 SF  
 NET LOT AREA (NET.) 46,599 SF

**LANDSCAPE AREA (LAN.)**  
 REQUIRED 6,990 SF (15% OF NET.)  
 PROPOSED 30,732 SF (66% OF NET.)

**VEGETATION COVERAGE (VEG.)**  
 REQUIRED 5,243 SF (75% OF LAN.)  
 PROPOSED 24,139 SF (345% OF LAN.)

**GROUND-LEVEL PLANTS COVERAGE**  
 REQUIRED 1,311 SF (25% OF VEG.)  
 PROPOSED 1,775 SF (34% OF VEG.)

**STREET TREES (1 PER 25 LF)**  
 REQUIRED 11  
 PROPOSED 11

**PARKING LOT TREES (1 PER 10 PARKING SPACES)**  
 REQUIRED 2  
 PROPOSED 2

**TOTAL**  
 REQUIRED 13 TREES  
 PROPOSED 34 TREES

- GENERAL NOTES:**
1. MAINTENANCE OF THE LANDSCAPE AND IRRIGATION PROVIDED BY THE PROPERTY OWNER.
  2. THE LANDSCAPE PLAN IS DESIGNED TO MEET ALL CITY OF ALBUQUERQUE, AND IDO REQUIREMENTS.
  3. PLANT MATERIALS AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ACCEPTABLE IN 'CLEAR SIGHT' AREAS.
  4. THE LANDSCAPE PLAN IS DESIGNED TO COMPLY WITH THE GENERAL IDO LANDSCAPING REGULATIONS (SECTION 14-16-5-6) INCLUDING PROVISION OF A MINIMUM OF 75% LIVE GROUND COVERAGE, MEASURED AT MATURITY, OF ALL REQUIRED LANDSCAPE AREAS, AND A MINIMUM OF 25% REQUIRED VEGETATIVE COVERAGE OF GROUND LEVEL PLANTS.

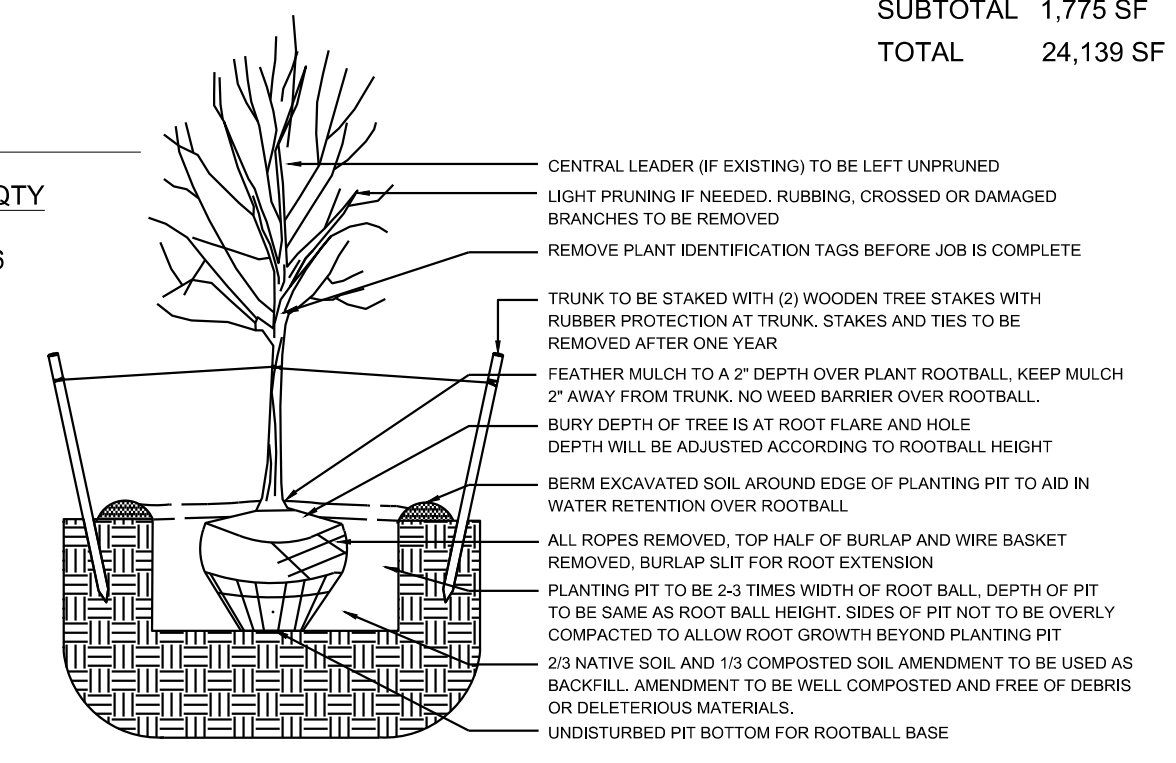
- PLANTINGS NOTES:**
1. ALL PLANTINGS WILL BE UNDER WARRANTY BY CONTRACTOR FOR 1 YEAR.
  2. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPE, IDO, AND WATER WASTE ORDINANCE.
  3. THERE IS NO NEW TURF USED IN THE DESIGN OF THE LANDSCAPE.
  4. THE R.O.W. (WHEN DEDICATED TO THE PUBLIC) SHALL BE MAINTAINED BY THE PROPERTY OWNER. THE PLAN SHALL FOLLOW THE COA DESIGN GUIDELINES FOR STREET TREES UNLESS OBSTRUCTED BY UTILITY EASEMENTS.
  5. ALL LANDSCAPE AREAS SHALL BE COVERED WITH MULCH. USE GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC.
  6. WHERE MULCH IS ADJACENT TO THE CONCRETE, FINISH GRADE OF MULCH SHALL BE APPROXIMATELY 1/2" BELOW THE TOP OF CONCRETE.
  7. PLANTINGS IN CLEAR SIGHT TRIANGLE NOT TO OBSTRUCT LINE OF VISION FROM 3' HEIGHT TO 8' HEIGHT.

### PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	3	CHILOPSIS LINEARIS / DESERT WILLOW	25 GAL	20' X 25'	491
	6	FORESTIERA NEOMEXICANA / NEW MEXICAN PRIVET	24" BOX	15' X 15'	177
	3	FRAXINUS AMERICANA 'AUTUMN PURPLE' / AUTUMN PURPLE ASH	2" B&B	45' X 30'	707
	5	PISTACIA CHINENSIS / CHINESE PISTACHE	2" B&B	60' X 60'	2826
	3	PYRUS CALLERYANA 'CLEVELAND SELECT' / CLEVELAND SELECT PEAR	2" B&B	25' X 15'	177
	3	VITEX AGNUS-CASTUS / CHASTE TREE	24" BOX	20' X 20'	314
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	8	JUNIPERUS MONOSPERMA / ONESEED JUNIPER	15 GAL	20' X 10'	79
	2	PINUS ELДАРICA / AFGHAN PINE	6"	40' X 25'	491
		SUBTOTAL			22,364 SF
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	6	CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH' / FERNBUSH	5 GAL	5' X 6'	28
	14	SALVIA GREGGII / AUTUMN SAGE CHERRY	5 GAL	2' X 3'	7
DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	18	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	3' X 4'	13
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	19	ARTEMISIA FILIFOLIA / SAND SAGEBRUSH	5 GAL	4' X 4'	13
	15	CERCOCARPUS INTRICATUS / LITTLE LEAF MOUNTAIN MAHOGONY	5 GAL	6' X 6'	28
	6	ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	5 GAL	3' X 4'	13
	13	FALLUGIA PARADOXA / APACHE PLUME	5 GAL	6' X 7'	38
FLOWERING PLANTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	6	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	1 GAL	2' X 2'	3
	6	NEPETA X FAASSENII 'SELECT BLUE' / CATMINT	1 GAL	1' X 2'	3
		SUBTOTAL			1,775 SF
		TOTAL			24,139 SF

### MATERIAL SCHEDULE

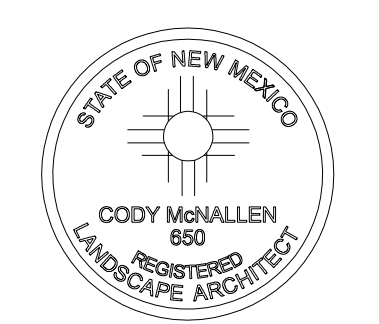
SYMBOL	DESCRIPTION	QTY
	LARGE BOULDER	6
	MOUNTAINAIR BROWN 7/8" GRAVEL	
	2-4" BLUE SAIS COBBLE	



1 TREE PLANTING DETAIL

**YELLOWSTONE**  
LANDSCAPE

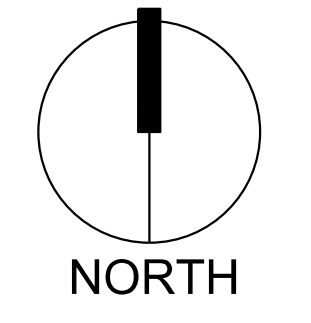
www.yellowstonelandscape.com  
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 505.898.9615  
 design@yellowstonelandscape.com



Date: 7/5/2023  
 Revisions:  
 ▲  
 ▲  
 ▲  
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Drawn by: PL  
 Reviewed by: MH

**NuVue Pharma**  
 140 & Wyoming  
 Albuquerque, New Mexico



Scale: 1" = 20'

Sheet Title:  
**Landscape Plan**

Sheet Number:  
**LS-01**

2:50 PM 7/5/2023 11:52:12 AM DWG 1:0 PDF 4:3  
 2:50 PM 7/5/2023 11:52:12 AM DWG 1:0 PDF 4:3  
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