

# CITY OF ALBUQUERQUE



July 14, 2008

Tyler J. Ashton, P.E.  
**Wilson & Company, Inc.**  
4900 Lang Ave. NW  
Albuquerque, NM 87109

Re: Bellehaven Elementary Student Drop-Off & Pick-Up Lane, 8701 Princess Jeanne NE,  
Traffic Circulation Layout Engineer's Stamp dated 7-02-08 (J-20/D035)

Mr. Ashton,

The TCL submittal received 7-02-08 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Albuquerque

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

New Mexico 87103

www.cabq.gov

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003)

PROJECT TITLE: Bellehaven Elementary Student Drop-Off & Pick up Lane ZONE J-20-Z J-20/0035

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ W \_\_\_\_\_

LEGAL DESCRIPTION: POR IN NW1/4 COMP POR OF BELLEHAVEN ADD CONT 6.820 AC

CITY ADDRESS: 8701 Princess Jeanne NE, Albuquerque, NM 87112

ENGINEERING FIRM: Wilson & Company Inc., E&A CONTACT: Tyler Ashton, PE

ADDRESS: 4900 Lang Ave. NW PHONE: (505) 348-4121

CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: APS FACILITIES DESIGN & CONSTRUCTION CONTACT: David Ritchey

ADDRESS: 915 Oak street PHONE: 505-848-8876

CITY, STATE: Albuquerque, NM ZIP CODE: 87106

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: - CONTACT: -

ADDRESS: - PHONE: -

CITY, STATE: - ZIP CODE: -

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, REQUIRES TCL OR EQUAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEERS CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB, APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATION OF OCCUPANCY (PERM.)
- ☐ CERTIFICATION OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY: TCL Approval)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

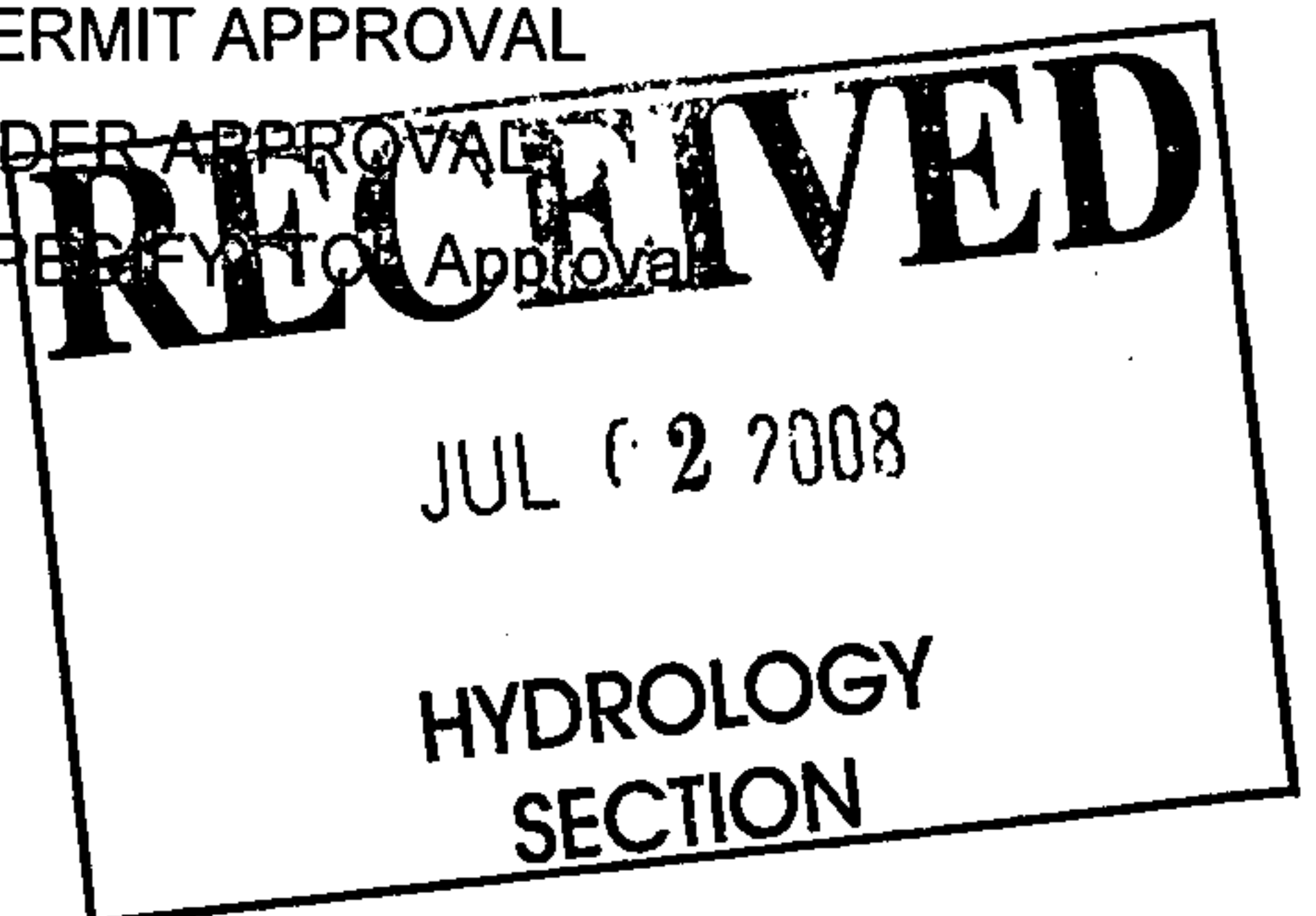
- ☐ YES
- ☒ NO

Date Submitted: 07/02/08

By: Tyler J. Ashton

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



June 27, 2008

Tyler Ashton, PE  
Wilson & Co.  
4900 Lang Ave NE  
Albuquerque, NM 87109

**Re: Bellehaven Elem School Student Drop-off Grading and Drainage Plan**  
**Engineer Stamp date 6-4-08 (J20/D35)**

Dear Mr. Ashton,

PO Box 1293

Based on information provided in your submittal dated 6-4-08, the above referenced plan is approved for Grading and Paving Permit.

Albuquerque

If you have any questions about my comments, you can contact me at 924-3986.

NM 87103

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

*Bradley L. Bingham*

Bradley L. Bingham, PE  
Principal Engineer, Planning Dept  
Development and Building Services

C: file



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003)

PROJECT TITLE: Bellehaven Elementary Student Drop-Off & Pick up Lane ZONE J-20-Z J-2010035  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ W \_\_\_\_\_

LEGAL DESCRIPTION: POR IN NW1/4 COMP POR OF BELLEHAVEN ADD CONT 6.820 AC  
CITY ADDRESS: 8701 Princess Jeanne NE, Albuquerque, NM 87112

ENGINEERING FIRM: Wilson & Company Inc., E&A CONTACT: Tyler Ashton, PE  
ADDRESS: 4900 Lang Ave. NW PHONE: (505) 348-4121  
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: APS FACILITIES DESIGN & CONSTRUCTION CONTACT: David Ritchey  
ADDRESS: 915 Oak street PHONE: 505-848-8876  
CITY, STATE: Albuquerque, NM ZIP CODE: 87106

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: - CONTACT: -  
ADDRESS: - PHONE: -  
CITY, STATE: - ZIP CODE: -

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, REQUIRED OR EQUAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEERS CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERTIFICATION (DRB, APPR. SITE PLAN)  
☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ SIDEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATION OF OCCUPANCY (PERM.)  
☐ CERTIFICATION OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

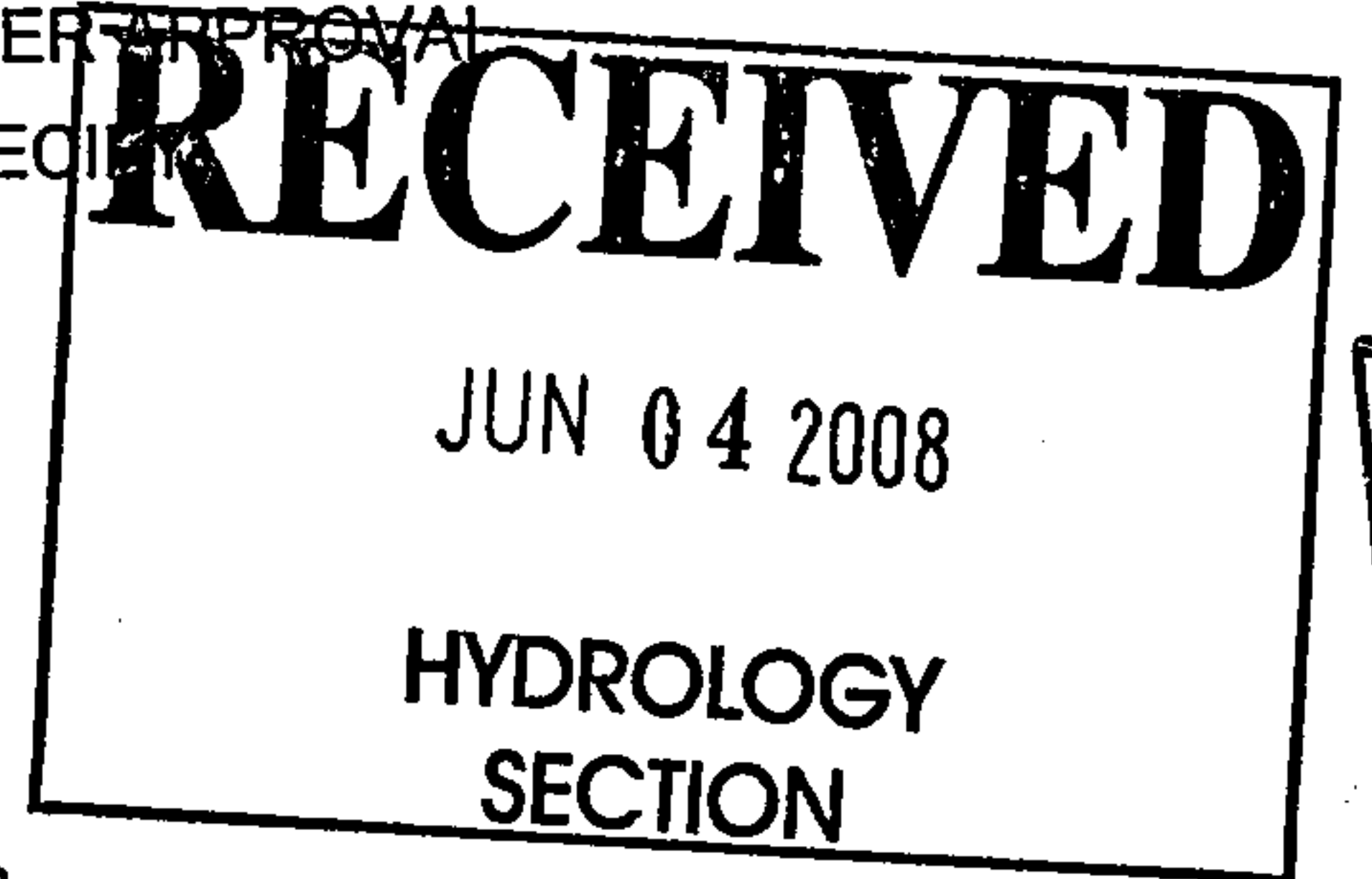
☐ YES  
☒ NO

Date Submitted: 06/04/08

By: Tyler J. Ashton

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



vicinity map  
PL. - ?  
D.P. Existing ?  
Remove markings @ field

Remove  
all markings

Remove  
all markings



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 21, 2000

Faizel M. Kassam, Reg. Professional Engineer,  
Wilson and Company,  
4900 Lang Avenue N. E.  
Albuquerque, New Mexico 87109

Re: Second T.C.L. Plan submittal for building permit approval for Bellehaven School Addition at 8701 Princess Jeanne Avenue N.E., Bellehaven Addition, Bellehaven Elementary School Tract and Block 8, Lots 2 - 4 and Block 13, Lots 1 - 3 [J-20/D035]. Engineer's stamp dated 12/21/99.

J  
Dear Mr. Kassam,

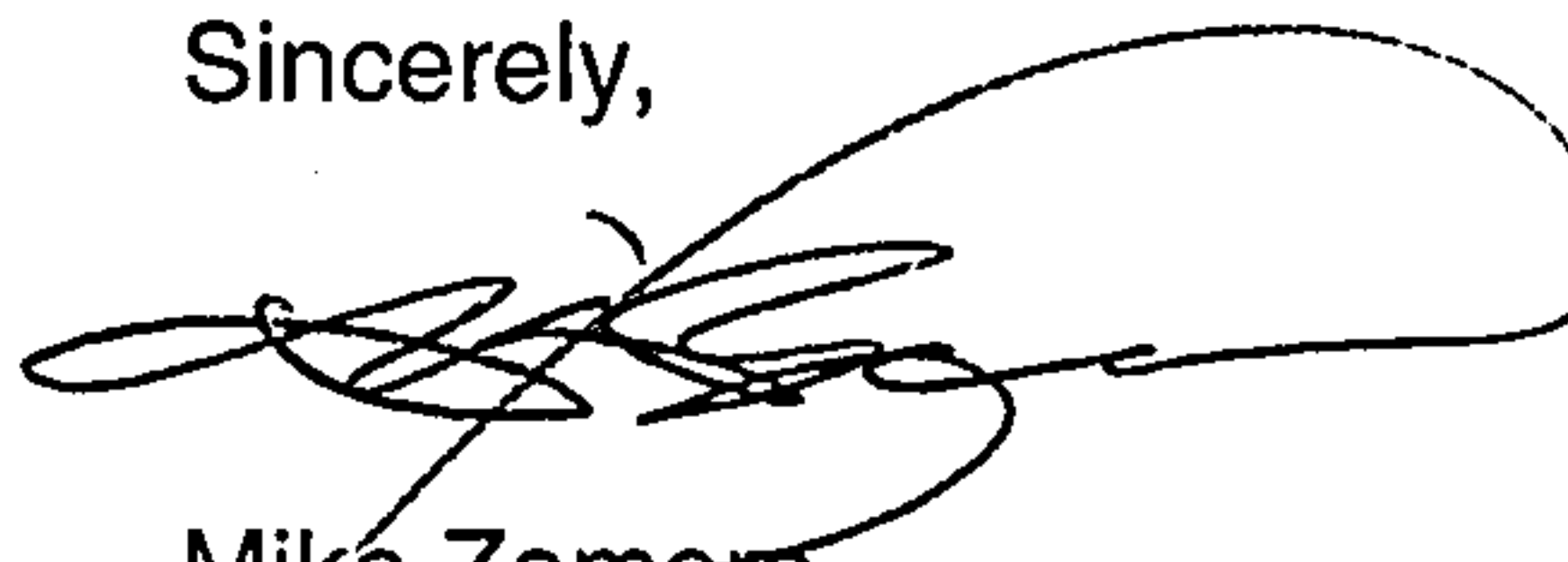
The location referenced above requires further modification to the T.C.L. prior to Building Permit release as stated on the attached comments and marked up Site Plan.

All comments that have been addressed are checked(**BOLD**) and placed at the end of the list. Some comments have not been completely addressed. Portions that have been addressed are checked. Capitalized comments are needs for approval. Bold "X" voids that comment that is a portion of that group. At second group of comments, unresolved comments are underlined.

The first red-lined copy still has unaddressed comments, some are duplicated on the new markup. Please address these issues.

Please provide revised T.C.L., along with all marked up copies and comments, having addressed all concerns. Submit a full size copy of those markups, if it is your preference to keep the original red lines.

Sincerely,



Mike Zamora,  
Commercial Plan Checker

cc:  
Engineer  
Hydrology File

- ✓ The designer of record's certification required by the Hydrology/Transportation Section needs to include certification that this site was constructed in accordance with the Traffic Circulation Layout (TCL) before C.O. is released. Place note on T.C.L. to this effect.
- ✓ - New and existing elements noted on the T.C.L. must be shown, labelled, and/or dimensioned correctly and accurately, this includes ✓ street curb & gutter, drivepads[call out conc. or asph.], ✓ all drive aisles, stalls, etc.
- ✓ Need to see clear differentiation between new construction and existing on Site Plan.
- ✗ 20' 25' distance back from flowline of curb needed at entrance for vehicle visibility and to allow parked vehicle to exit last adjacent stall while vehicle is waiting to leave site. ✗ DIMENSIONS NEEDED FROM STREET CURBLINE TO DRIVE AISLE CLOSEST TO STREET, AS SHOWN.
- ✓ ✗ - ✗ For buses to use the site Curb Return-type drivepads with 25' radii will be needed and end islands will need to be built with 25' radius curves. ✗ Call out on T.C.L. "Drivepad to be constructed per City of Albuq. Std. Detail Dwg. No. 2425." NO DIMENSIONS GIVEN FOR DRIVEPADS. CANNOT EVALUATE NEED FOR POSSIBLE WIDENING OF EX. DRIVEPADS. ✓ Also ~~stripe unloading area~~ plus call out 6" raised sidewalk at drop off.
- ✓ Need to see that all existing obstacles in City right-of-way have been picked up. \_PLEASE DIMENSION DISTANCE FROM ALL OBSTRUCTIONS TO THE FENCE. CITY CALLS FOR 5' WIDE PATH AROUND ANY OBSTRUCTIONS PER C.O.A. STD. DETAIL DWG. 2431.
- ⊙ Linework on Drainage Plan and Landscape Plan must match T.C.L. exactly. THIS WILL BE CONFIRMED AT TIME OF REVIEW OF BUILDING PERMIT PLANS FOR APPROVAL.

- ✓ T.C.L./Site Plan must be stamped and stamp must be dated.
- ✓ Property description on application sheet does not match current Albuq. Zone Atlas. Need copy of current plat or replat for office files. Must be recorded and signed at County Clerk's Office.
- ✓ Show, label, and dimension existing and/or new street sidewalks. City sidewalk ordinance requires minim. 6' wide street side-walks along the entire frontage of all school sites. ✓ Any new sidewalks must be built so back of sidewalk is at Right-of-way (property) line.

Need to see Revision Date on New Sheet w/ Date of Revision.

Signs say "EXIT ONLY, DO NOT ENTER."





# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 21, 2000

Faizel M. Kassam, Reg. Professional Engineer,  
Wilson and Company,  
4900 Lang Avenue N. E.  
Albuquerque, New Mexico 87109

Re: Second T.C.L. Plan submittal for building permit approval for Bellehaven School Addition at 8701 Princess Jeanne Avenue N.E., Bellehaven Addition, Bellehaven Elementary School Tract and Block 8, Lots 2 - 4 and Block 13, Lots 1 - 3 [J-20/D035]. Engineer's stamp dated 12/21/99.

Dear Mr. Kassam,

The location referenced above requires further modification to the T.C.L. prior to Building Permit release as stated on the attached comments and marked up Site Plan.

All comments that have been addressed are checked(**BOLD**) and placed at the end of the list. Some comments have not been completely addressed. Portions that have been addressed are checked. Capitalized comments are needs for approval. Bold "X" voids that comment that is a portion of that group. At second group of comments, unresolved comments are underlined.

The first red-lined copy still has unaddressed comments, some are duplicated on the new markup. Please address these issues.

Please provide revised T.C.L., along with all marked up copies and comments, having addressed all concerns. Submit a full size copy of those markups, if it is your preference to keep the original red lines.

*Place in Hydro File?*

Sincerely,

Mike Zamora,  
Commercial Plan Checker

cc:  
Engineer  
Hydrology File



- The designer of record's certification required by the Hydrology/Transportation Section needs to include certification that this site was constructed in accordance with the Traffic Circulation Layout (TCL) before C.O. is released. Place note on T.C.L. to this effect.
  - \_ - New and existing elements noted on the T.C.L. must be shown, labelled, and/or dimensioned correctly and accurately, this includes ✓street curb & gutter, drivepads[call out conc. or asph.], ✓all drive aisles, stalls, etc. ✓Need to see clear differentiation between new construction and existing on Site Plan.
  - 20'-25'distance back from flowline of curb needed at entrance for vehicle visibility and to allow parked vehicle to exit last adjacent stall while vehicle is waiting to leave site. \_DIMENSIONS NEEDED FROM STREET CURBLINE TO DRIVE AISLE CLOSEST TO STREET, AS SHOWN.
  - \_ - ✕For buses to use the site Curb Return-type drivepads with 25' radii will be needed and end islands will need to be built with 25' radius curves. \_Call out on T.C.L. "Drivepad to be constructed per City of Albuquerque Std. Detail Dwg. No. 2425." NO DIMENSIONS GIVEN FOR DRIVEPADS. CANNOT EVALUATE NEED FOR POSSIBLE WIDENING OF EX. DRIVEPADS. \_Also stripe unloading area plus call out 6" raised sidewalk at drop off.
  - Need to see that all existing obstacles in City right-of-way have been picked up. \_PLEASE DIMENSION DISTANCE FROM ALL OBSTRUCTIONS TO THE FENCE. CITY CALLS FOR 5' WIDE PATH AROUND ANY OBSTRUCTIONS PER C.O.A. STD. DETAIL DWG. 2431.\_\_\_\_\_
  - Linework on Drainage Plan and Landscape Plan must match T.C.L. exactly. THIS WILL BE CONFIRMED AT TIME OF REVIEW OF BUILDING PERMIT PLANS FOR APPROVAL.
- 
- ✓T.C.L./Site Plan must be stamped and stamp must be dated.
  - ✓Property description on application sheet does not match currentAlbuq. ZoneAtlas. Need copy of current plat or replat for office files. Must be recorded and signed at County Clerk's Office.
  - ✓Show, label, and dimension existing and/or new street sidewalks. City sidewalk ordinance requires minim. 6' wide street side-walks along the entire frontage of all school sites. ✓Any new sidewalks must be built so back of sidewalk is at Right-of-way (property) line.

# **WILSON & COMPANY**

P.O. Box 94000  
Albuquerque, NM 87199-4000  
505-348-4000  
505-348-4055 Fax

Albuquerque  
Colorado Springs  
Colton  
Denver  
Durango  
Houston  
Kansas City  
Lenexa  
Oklahoma City  
Phoenix  
Salina  
Wichita

21 January, 2000

Mike Zamora, Reg. Professional Engineer,  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

Re: Second Site Plan submittal for building permit approval for Bellehaven School Addition at 8701 Princess Jeanne Avenue N.E., Bellehaven Addition, Bellehaven Elementary School Tract and Block 8, Lots 2 - 4 and Block 13, Lots 1 - 2 [J-20/D035]. Engineer's stamp dated 10/20/99.  
WCEA File: 99-210-029

Dear Mr. Zamora:

The Site Plan for the project listed above has been revised to reflect your comments.  
Please contact me if you have any further comments.

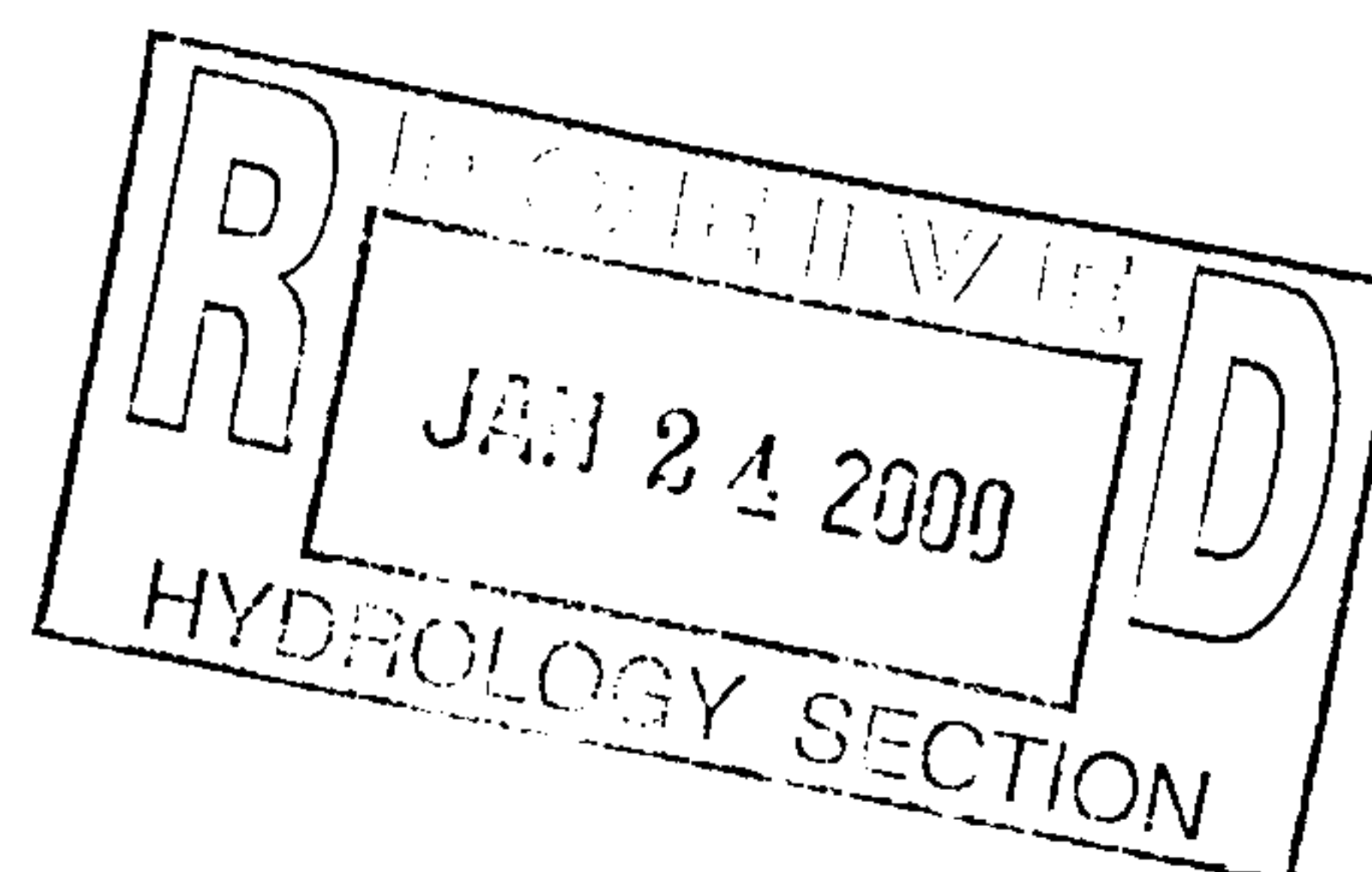
Wilson & Company



Faizel M. Kassam,  
Civil Engineer

FMK/

cc: Office File



International Headquarters  
4900 Lang Ave. NE  
Albuquerque, NM 87109

<http://www.wilsonco.com>

Engineers & Architects  
A PARTNERSHIP OF CORPORATIONS





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 30, 2001

Daniel S. Aguirre, P.E.  
Wilson & Co.  
4900 Lang Ave NE  
Albuquerque, New Mexico 87109

RE: BELLEHAVEN ELEMENTARY SCHOOL- PHASE 1 (J-20/D35)  
(Princess Jeanne Ave NE)  
ENGINEERS CERTIFICATION APPROVAL  
ENGINEERS STAMP DATED 1/6/2000  
ENGINEERS CERTIFICATION DATED 5/24/2001

Dear Mr. Aguirre:

Based upon the information provided in your Engineers Certification submittal dated 5/24/2001, the above referenced site is acceptable for final grading plan for PHASE 1 ONLY.

Your submittal does not designate whether phasing of the project is planned. We can only assume this to be the case. Please keep in mind that on future submittals, approval must be given in advance by the Hydrology Division prior to any phasing of a project. Any submittals which do not follow the above criteria will add time and concerns to the process.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

*Teresa A. Martin*  
Teresa A. Martin  
Hydrology Plan Checker  
Public Works Department  
Bib

C: drainage file  
approval file

## DRAINAGE INFORMATION SHEET

PROJECT TITLE: BELLEHAVEN  
ELEMENTARY

ZONE ATLAS/DRNG. FILE#: J-20 / D35

DRB#: N/A EPC#: N/A WORK ORDER #: N/A

LEGAL DESCRIPTION: BELLEHAVEN ELEMENTARY

CITY ADDRESS: 8701 PRINCESS JEANNE AVE. NE

ENGINEERING FIRM: Wilson & Company

CONTACT: Mario Jarez-Infante

ADDRESS: 4900 Lang Ave., NE  
Albuquerque, NM 87109

PHONE: (505) 348-4021

OWNER: Albuquerque Public Schools

CONTACT: Pat McMurray

ADDRESS: 915 Oak St. NE

PHONE: (505) 242-5865

ARCHITECT: \_\_\_\_\_

CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_

CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_

CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

☐ DRAINAGE REPORT

☐ SKETCH PLAT APPROVAL

☐ DRAINAGE PLAN

☐ PRELIMINARY PLAT APPROVAL

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ S. DEV. PLAN FOR SUB'D. APPROVAL

☐ GRADING PLAN

☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

☐ EROSION CONTROL PLAN

☐ SECTOR PLAN APPROVAL

☐ ENGINEER'S CERTIFICATION

☐ FINAL PLAT APPROVAL

☒ OTHER: As Built

☐ FOUNDATION PERMIT APPROVAL

PRE-DESIGN MEETING:

☐ BUILDING PERMIT APPROVAL

☐ YES

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☒ NO

☐ GRADING PERMIT APPROVAL

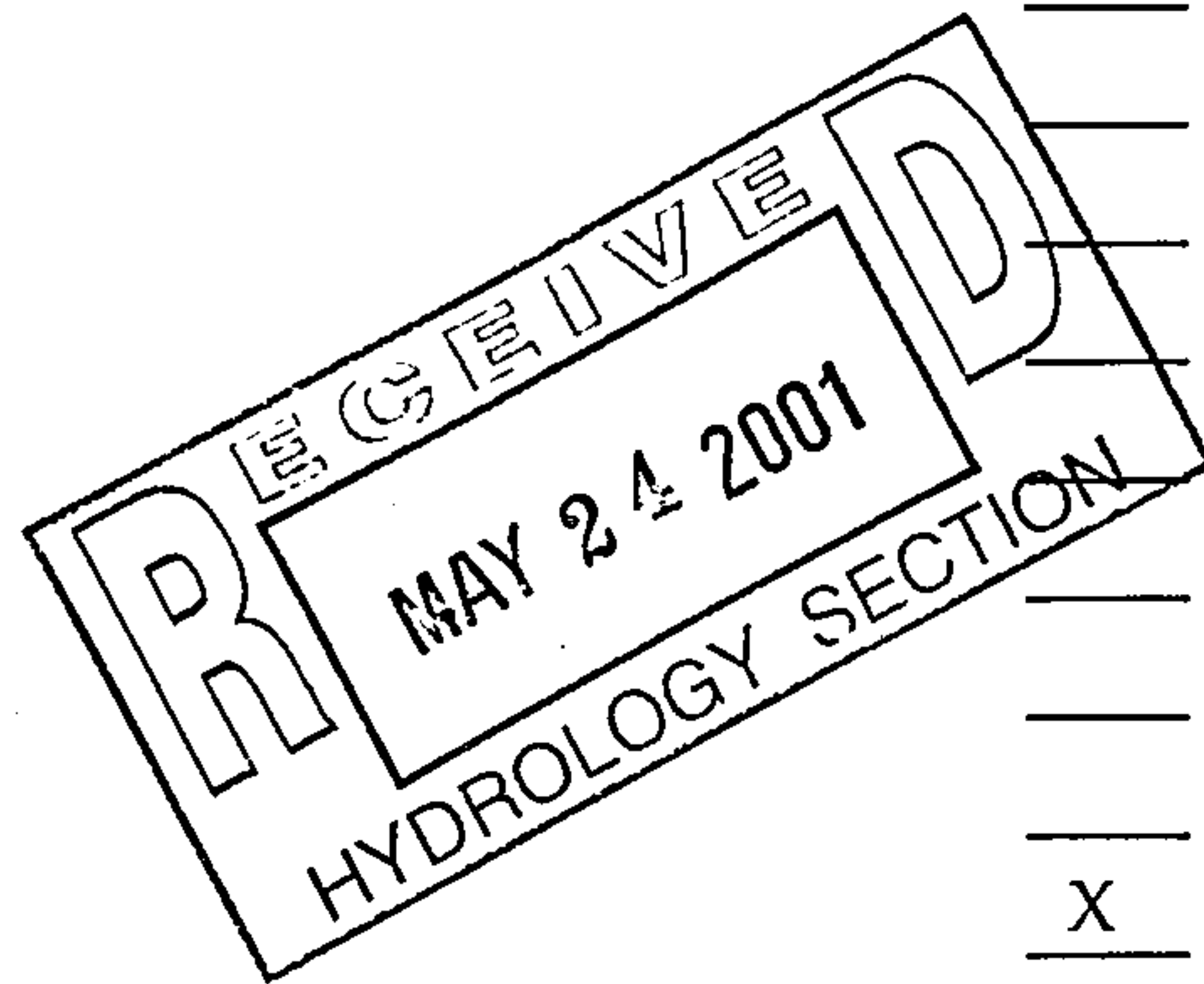
☐ COPY PROVIDED

☐ PAVING PERMIT APPROVAL

☐ S.A.D. DRAINAGE REPORT

☐ DRAINAGE REQUIREMENTS

☒ OTHER: Final Grading Plan



Date Submitted: 5/24/01

By: Mario Juarez-Infante





# *City of Albuquerque*

January 12, 2000

Dan Aguirre, PE  
Wilson & Company  
4900 Lang Ave NE  
Albuquerque, NM 87109

**Re: Bellehaven Elementary School Master Grading and Drainage Plan  
Engineer's Stamp dated 1-6-00 (J20/D35)**

Dear Mr. Aguirre,

Based upon the information provided in your submittal dated 1-6-00, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986

Sincerely,

Bradley L. Bingham, PE  
Hydrology Review Engineer

C: file

# **WILSON & COMPANY**

4900 Lang Ave. NE  
Albuquerque, NM 87109  
P.O. Box 94000 87199-4000  
505-348-4000

Albuquerque  
Colorado Springs  
Colton  
Denver  
Durango  
Houston  
Kansas City  
Lenexa  
Oklahoma City  
Phoenix  
Salina  
Wichita

6 January, 2000

Mr. Brad Bingham, P.E.  
Hydrology Review Engineer  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

Re: Bellehaven Elementary School Master Grading and Drainage Plan  
(J20/D35)  
WCEA File: 99-210-029

Dear Brad:

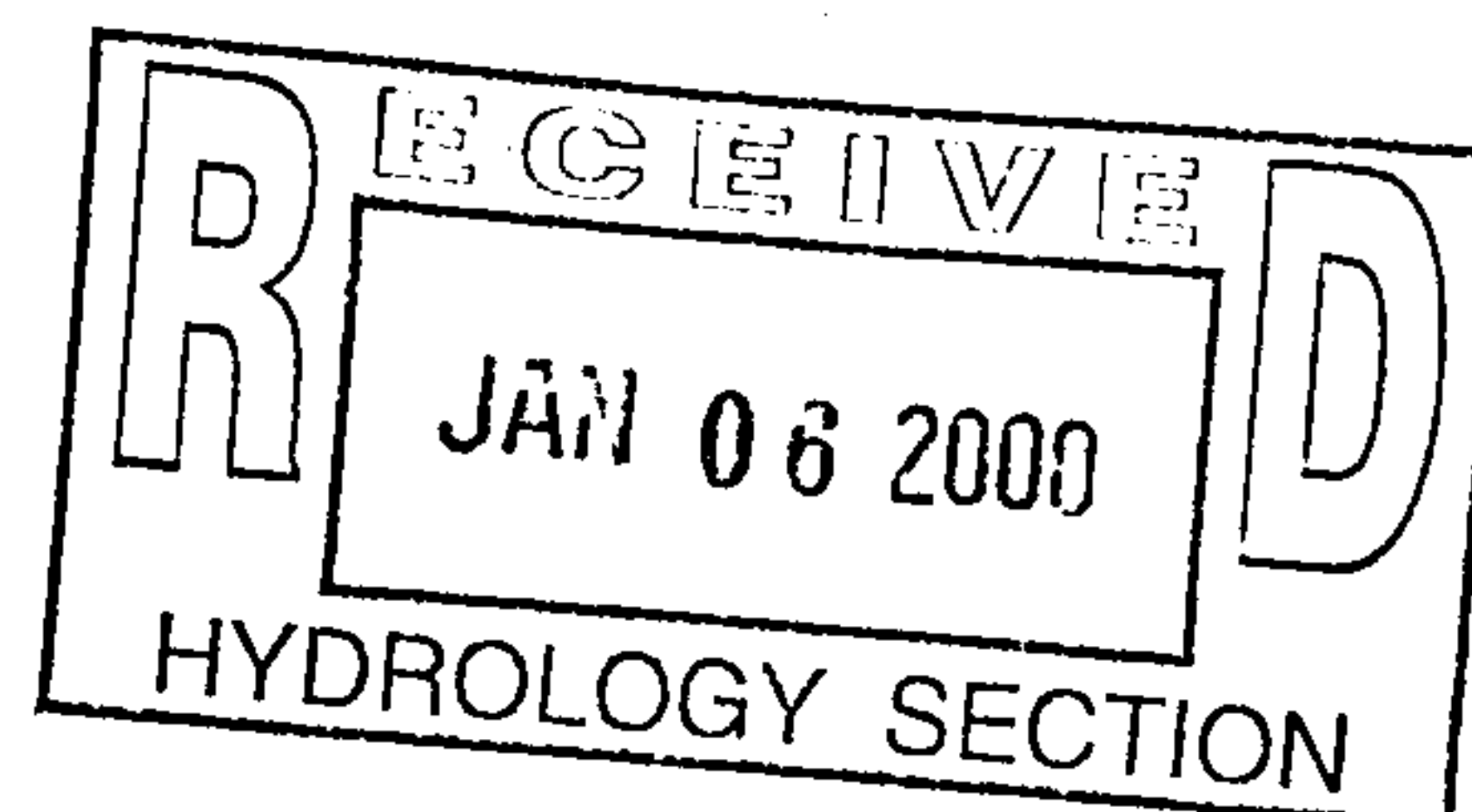
I have reviewed your comments and have addressed them as described below:

1. I believe I have corrected the crossing contour lines. (must have been Y2K)
2. The eastern driveway is existing.
3. The buildings are portables, The buildings do have an existing swale that drains through them. They are like large trailers. The swale is to remain until future building additions can eliminate the portable classrooms and regrading can be accomplished.
4. I am removing the sidewalk culverts and allowing for the site to sheet flow into the parking lot. The Sidewalk culverts didn't really fit. The swale will now convey flows to the asphalt where it can sheet flow to the parking lot.
5. The comments from transportation on the TCL have been addressed and resubmitted. The two plans should be the same.

WILSON & COMPANY

  
Daniel S. Aguirre, P.E.  
Principal

DSA/dsa



# DRAINAGE INFORMATION SHEET

PROJECT TITLE: Bellehaven Elementary School ZONE ATLAS/DRNG. FILE#: J - 20 10035

DRB#: N/A EPC#: N/A WORK ORDER #: N/A

LEGAL DESCRIPTION: Northwest ¼ of section 17, township 10 north; range 4 east, N.M.P.M, City of Albuquerque, Bernalillo county, New Mexico. Designated on the plat of " Blocks 3-a, 4-a, 6-a, 7, 8, 9, 10, 11, 12 and 13 Dale J. Bellamah's Bellehaven an addition to the city of Albuquerque, New Mexico" as recorded in the office of the County Clerk, Albuquerque, New Mexico the 27<sup>th</sup> day of April 1961.

CITY ADDRESS: 8701 Princess Jeanne Ave. NE  
Albuquerque, New Mexico 87112

ENGINEERING FIRM: Wilson & Company CONTACT: Faizel M. Kassam

ADDRESS: 4900 Lang Ave. NE PHONE: (505) 348-4000  
Albuquerque, NM 87109 (505) 264-0737 [cell]

OWNER: The Board of Education of the CONTACT: Pat McMurray  
Albuquerque Municipal School District  
No. 12

ADDRESS: 915 Oak Street SE PHONE: (505) 242-5865  
Albuquerque, NM 87106

ARCHITECT: H. Barker Architects CONTACT: Rupal Engineer

ADDRESS: 209 Gold Ave. SW PHONE: (505) 842-6789  
Albuquerque, NM 87102

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER \_\_\_\_\_

## PRE-DESIGN MEETING:

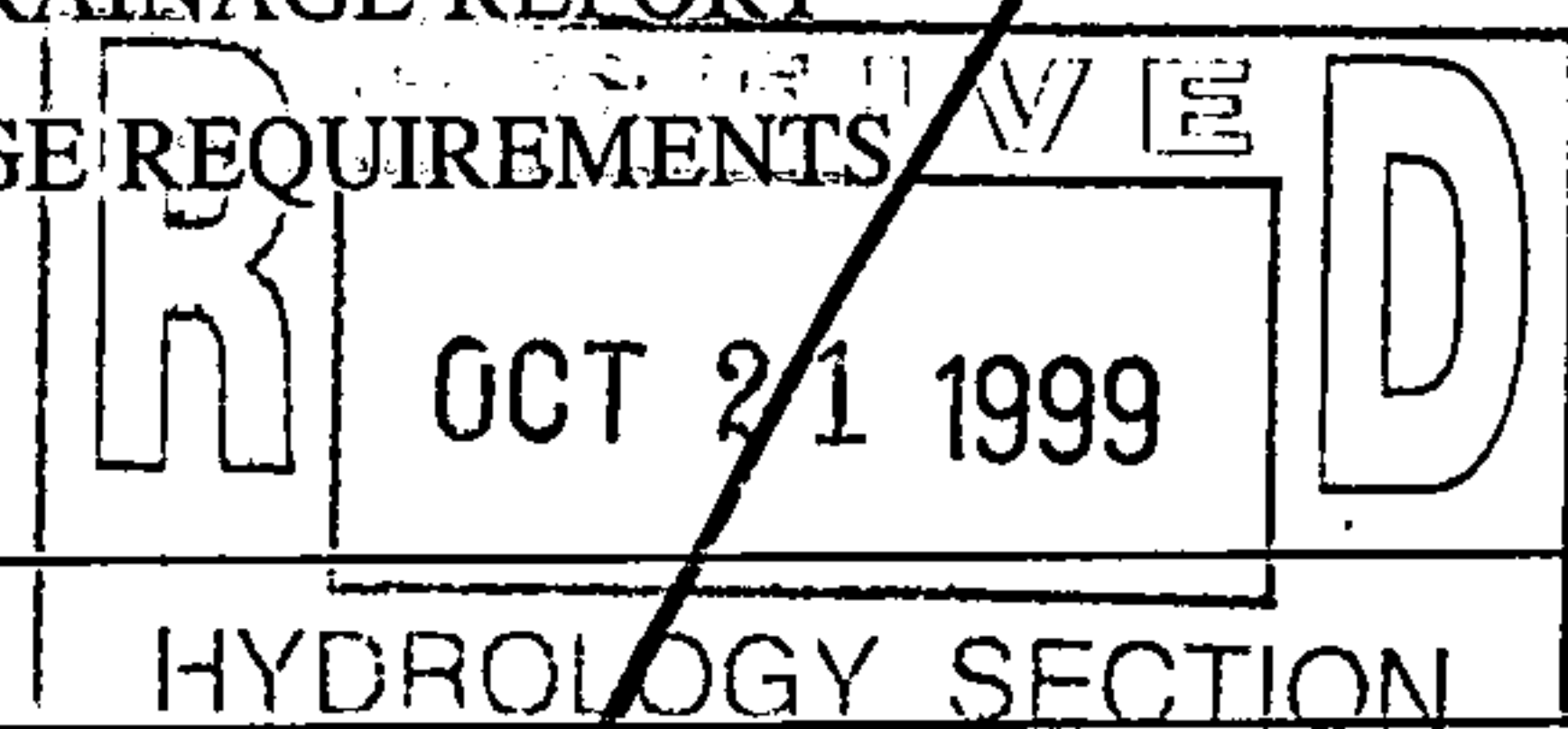
- ☐ YES  
☒ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER: \_\_\_\_\_

Date Submitted: Thursday, October 21, 1999

By: Faizel M. Kassam





# *City of Albuquerque*

December 20, 1999

Dan Aguirre, PE  
Wilson & Company  
4900 Lang Ave NE  
Albuquerque, NM 87109

**Re: Bellehaven Elementary School Master Grading and Drainage Plan  
Engineer's Stamp dated 10-20-99 (J20/D35)**

Dear Mr. Aguirre,

Based upon the information provided in your submittal dated 10-21-99, the above referenced site can be approved for Building Permit with the minor corrections:

1. It appears that two of your contour lines cross – a pretty neat trick even if it defies the laws of Physics. Please revise.
2. Is the eastern driveway new or existing? If new, need existing and proposed spot elevations applicable to driveway construction (e.g. quarter point table, demonstration of a water block, etc).
3. Just south of the new sand play areas are 6 blocks. Are these buildings? Are they to remain? And what of the asphalt swale/path between them? Please add more description to your plan.
4. The new s/w culverts need flowline elevations and your new swale is disjointed near the most southern tree well. Please revise.

I have included the comments from Transportation concerning the TCL. Please make sure that the Site Plan and Drainage Plan match exactly.

If you have any questions, you can contact me at 924-3986

Sincerely,

*Bradley L. Bingham*  
Bradley L. Bingham, PE  
Hydrology Review Engineer

C: file



**WILSON  
& COMPANY**

4900 Lang Ave. NE  
Albuquerque, NM 87109  
P.O. Box 94000 87199-4000  
505-348-4000

Albuquerque  
Colorado Springs  
Colton  
Denver  
Durango  
Houston  
Kansas City  
Lenexa  
Oklahoma City  
Phoenix  
Salina  
Wichita

21 December, 1999

Mike Zamora, Reg. Professional Engineer,  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

Re: Site Plan resubmittal for building permit approval for Bellehaven School Addition at 8701 Princess Jeanne Avenue N.E., Bellehaven Addition, Bellehaven Elementary School Tract and Block 8, Lots 2 - 4 and Block 13, Lots 1 - 2 [J-20/D035]. Engineer's stamp dated 10/20/99.  
WCEA File: 99-210-029

Dear Mr. Zamora:

The Site Plan for the project listed above has been revised to reflect your comments. The following page outlines our response to each comment and explains how they were addressed or gives you further information to justify the design. Please contact me if you have any further comments.

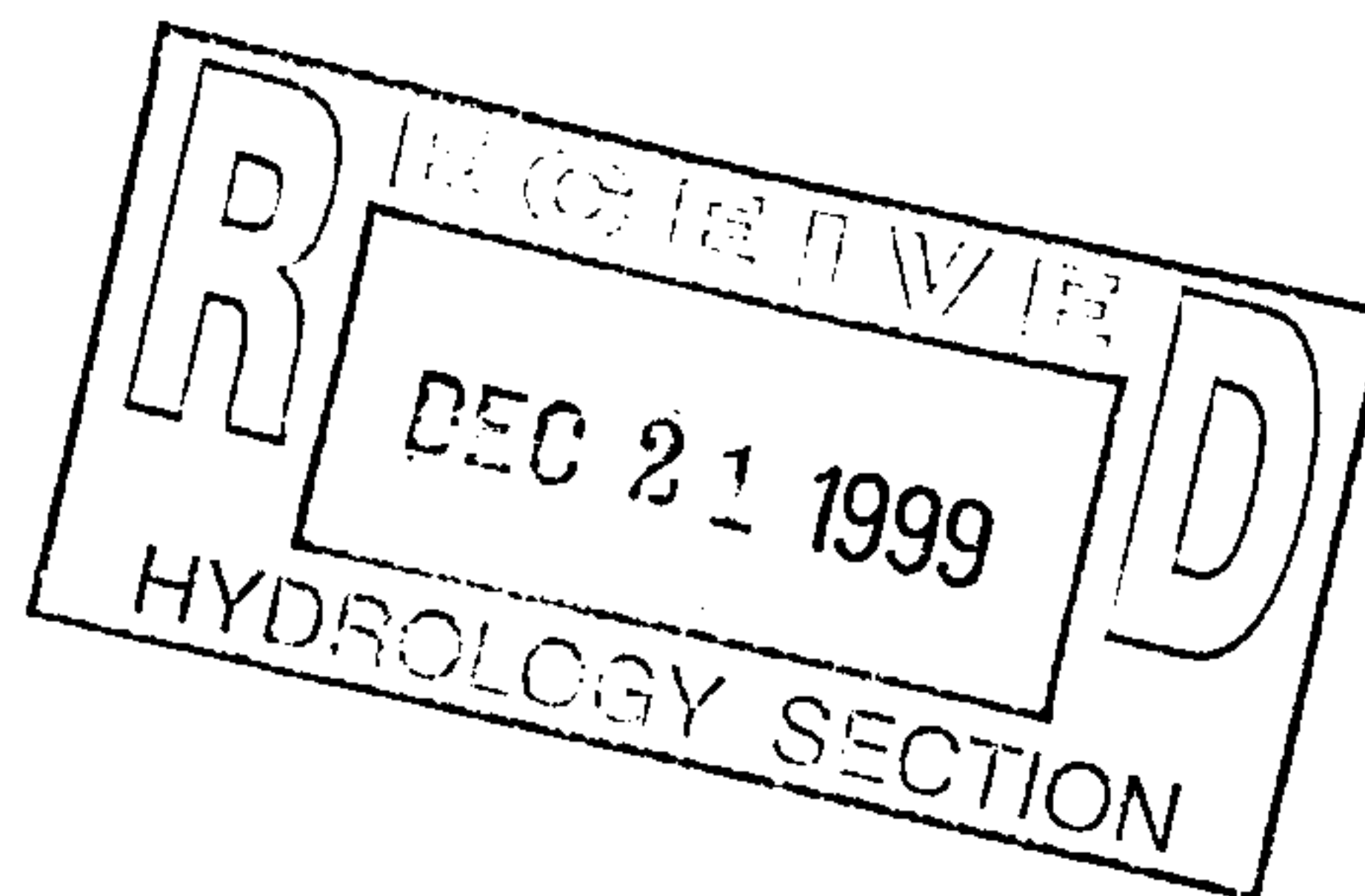
Wilson & Company



Faizel M. Kassam,  
Civil Engineer

FMK/

cc: Office File



J-20/D035

1. T.C.L./Site Plan must be stamped and stamp must be dated.

Site Plan was stamped and dated.

2. The engineer's certification required by the Hydrology section needs to include certification that this site was constructed in accordance with the Traffic Circulation Layout (TCL) before C.O. is released. Place note on Site Plan to this effect.

We agree to add this to our C.O. certification process.

3. Property description on application sheet does not match current Albuquerque Zone Atlas. Need copy of current plat or replat for office files. Must be recorded and signed at County Clerk's Office.

The description on the application sheet is correct and to my knowledge, matches the Albuquerque Zone Atlas. There have been no changes to the original plats.

4. New and existing elements noted on the Site Plan must be shown, labeled, and/or dimensioned correctly and accurately, this includes street curb and gutter, drivepads (call out conc. Or ashp.), all drive aisles, stalls, etc. Need to see clear differentiation between new construction and existing on Site Plan.

Changes were made on Site Plan.

5. Show, Label and dimension existing and/or new street sidewalks. City sidewalk ordinance requires minimum 6' wide street sidewalks along the entire frontage of all school sites. Any new sidewalks must be built so back of sidewalk is at Right-of-way property line.

Not applicable. Existing Sidewalks on Princess Jeanne Avenue will remain.

6. 20' – 25' distance back from flowline of curb needed at entrance for vehicle visibility and to allow parked vehicle to exit last adjacent stall while vehicle is waiting to leave site.

Changes were made to Site Plan.

7. For busses to use the site Curb Return-type drivepads with 25' radii will be needed and end islands will need to be built with 25' radius curves. Call out on Site Plan "Drivepad to be constructed per City of Albuquerque Std. Detail Dwg. No. 2426." Also stripe unloading area plus call out 6" raised sidewalk at drop off.

Not applicable. The eastern parking lot is strictly for parent drop off. Busses will not be allowed in that area.

8. Need to see that all existing obstacles in the City right of way have been picked up.

All existing obstacles have been labeled.

9. Linework on Drainage Plan and Landscape Plan must match Site Plan exactly.

Corrections were made to Site Plan.



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 29, 1999

Faizel M. Kassam, Reg. Professional Engineer,  
Wilson and Company,  
4900 Lang Avenue N. E.  
Albuquerque, New Mexico 87109

Re: Site Plan submittal for building permit approval for Bellehaven School Addition at 8701 Princess Jeanne Avenue N.E., Bellehaven Addition, Bellehaven Elementary School Tract and Block 8, Lots 2 - 4 and Block 13, Lots 1 - 3 [J-20/D035]. Engineer's stamp dated 10/20/99.

Dear Mr. Kassam,

The location referenced above requires modification to the Site Plan prior to Building Permit release as stated on the attached comments and marked up Site Plan.

Please resubmit revised Site Plan after addressing typed and marked up comments. Submit Plan along with typed comments and all red-lined, mark-up copies.

Sincerely,

Mike Zamora,  
Commercial Plan Checker

cc:  
Engineer  
Hydrology File  
Office File

DSA

T.C.L./Site Plan must be stamped and stamp must be dated.

The engineer's certification required by the Hydrology section needs to include certification that this site was constructed in accordance with the Traffic Circulation Layout (TCL) before C.O. is released. Place note on Site Plan to this effect. *Needed on T.C.L. - Revise*

*3/19/00* Property description on application sheet does not match current Albuquerque Zone Atlas. Need copy of current plat or replat for office files. Must be recorded and signed at County Clerk's Office.

New and existing elements noted on the Site Plan must be shown, labelled, and/or dimensioned correctly and accurately, this includes street curb & gutter, drivepads [call out conc. or asph.], all drive aisles, stalls, etc.

Need to see clear differentiation between new construction and existing on Site Plan.

Show, label, and dimension existing and/or new street sidewalks. City sidewalk ordinance requires minim. 6' wide street side-walks along the entire frontage of all school sites. Any new sidewalks must be built so back of sidewalk is at Right-of-way (property) line.

*EXIST DRIVEPAD* 20'-25' distance back from flowline of curb needed at entrance for vehicle visibility and to allow parked vehicle to exit last adjacent stall while vehicle is waiting to leave site.

*NO BUS* Forbuses to use the site. Curb Return-type drivepads with 25' radii will be needed and end islands will need to be built with 25' radius curves. Call out on Site Plan "Drivepad to be constructed per City of Albuquerque Std. Detail Dwg. No. 2426." Also stripe unloading area plus call out 6" raised sidewalk at drop off.

Need to see that all existing obstacles in City right-of-way have been picked up.

Linework on Drainage Plan and Landscape Plan must match Site Plan exactly.

*EXISTING TRAILER  
what is width*

*signs and power poles must allow Minin 5' pedestrian Passage per C.O. A. Std. Det. Dwg. 2431. Need Dimensions.*





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 14, 2004

Jeffrey Mortensen, P.E.  
Jeff Mortensen & Associates, Inc.  
6010-B Midway Park Blvd. NE  
Albuquerque, NM 87109

**Re: Bellehaven Elementary School Kindergarten Addition, 8701 Princess Jeanne  
St NE, Grading and Drainage Plan**

**Engineer's Stamp dated 3-03-04 (J20/D35)**

Dear Mr. Mortensen,

Based upon the information provided in your submittal received 3-03-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

C: File

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**

(REV. 1/28/2003rd)

J-20/D35

PROJECT TITLE: BELLEHAVEN ELEM. SCHOOL K ADDITION ZONE ATLAS/DRNG. FILE #J20 D35  
 DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: LOTS 1, 2, 3, BLK 13, LOTS 2, 3, 4, BLK 8 & VACATED MARRON CIRCLE, BELLEHAVEN ADDN.  
 CITY ADDRESS: 8701 PRINCESS JEANNE STREET NE, 87112

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC., INC. CONTACT: JEFF MORTENSEN  
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

OWNER: ALBUQUERQUE PUBLIC SCHOOLS CONTACT: BOB BECKER  
 ADDRESS: 915 OAK STREET SE PHONE: 242-5865  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87106

ARCHITECT: GREER STAFFORD SJCF CONTACT: MIKE HEITMAN  
 ADDRESS: 1717 LOUISIANA NE PHONE: 821-0235  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87110-7027

SURVEYOR: WILSON & CO ENGINEERS & ARCHITECTS CONTACT: CHRIS MEDINA  
 ADDRESS: 4900 LANG AVENUE NE PHONE: (505) 348-4000  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

CONTRACTOR: NOT SELECTED CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

**TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*  
☒ DRAINAGE PLAN RESUBMITTAL/UPDATE  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERTIFICATION (TCL)  
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

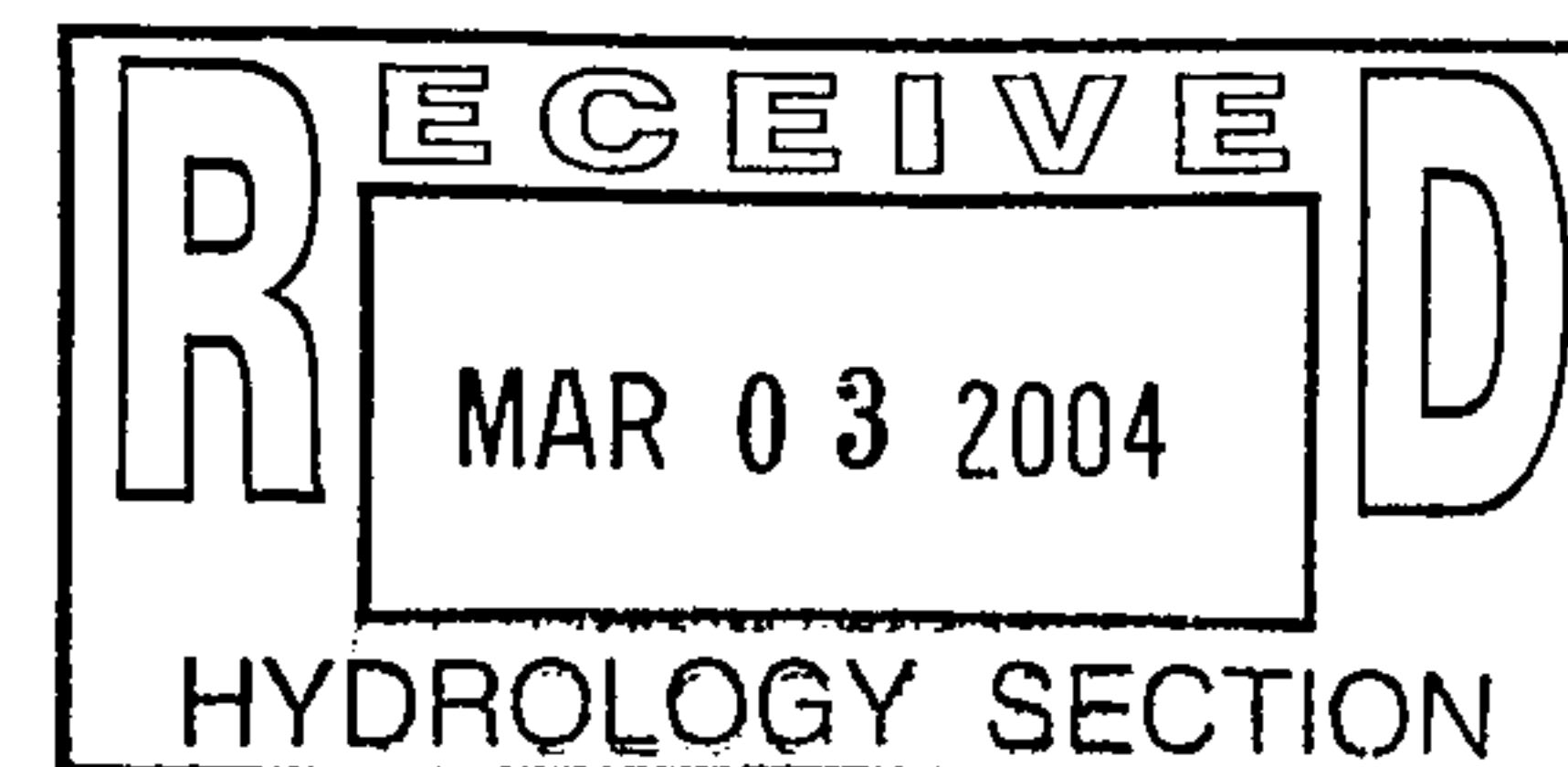
**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

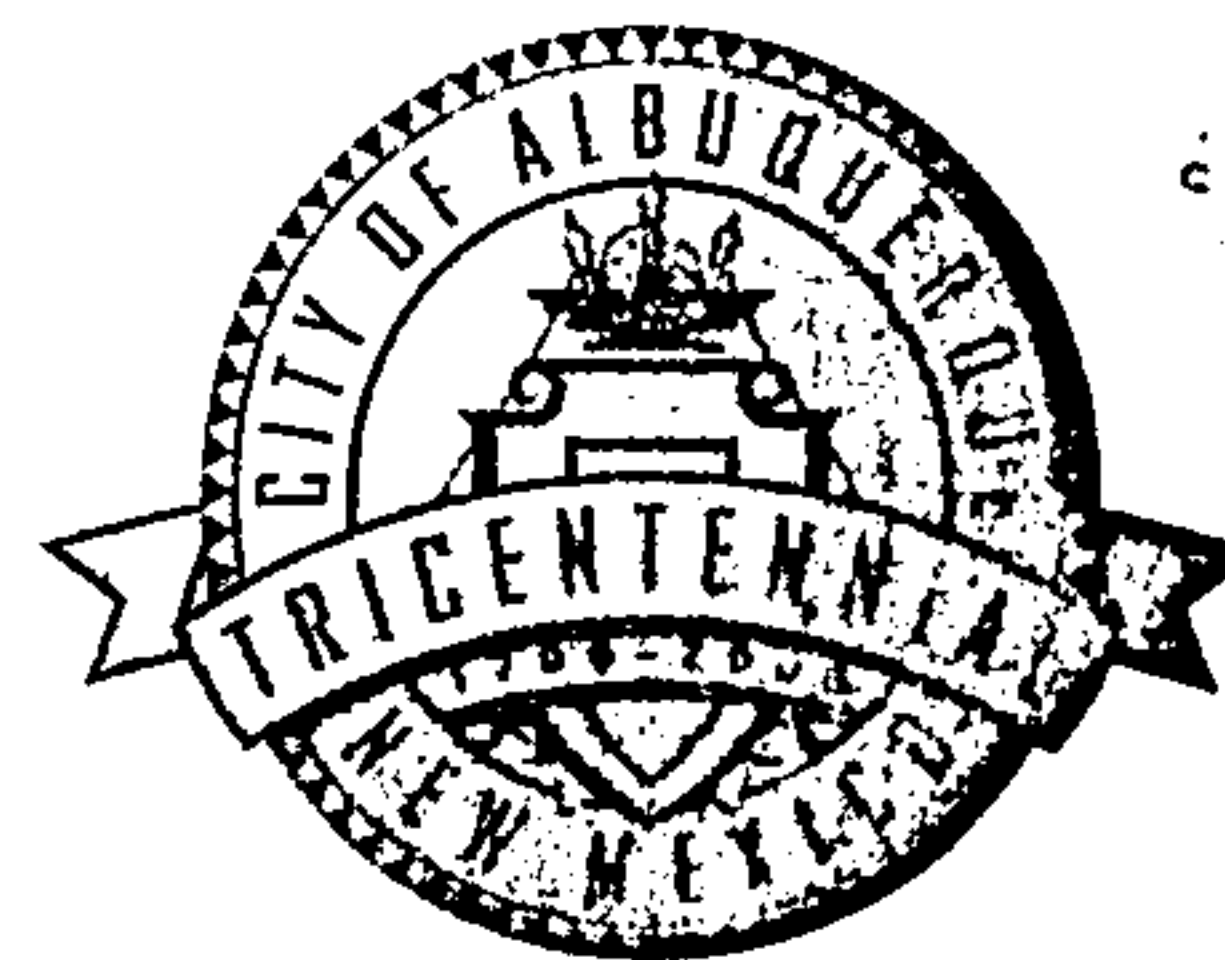
DATE SUBMITTED: 03/04/2004 BY: JEFFREY G. MORTENSEN



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



March 22, 2007

Mr. Jeffery Mortensen, P.E.  
**Jeff Mortensen & Associates**  
6010-B Midway Park Blvd. NW  
Albuquerque, NM 87112

**Re: Bellehaven Elementary School Addition, 8701 Princess Jeanne Ave.,  
Approval of Permanent Certificate of Occupancy (C.O.)  
Engineer's Stamp dated 01/25/2006 (J-20/D35)  
Certification dated 03/21/2007**

Based upon the information provided in your submittal received 03/22/2007, the above referenced certification is approved for Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy Sims  
Plan Checker-Hydrology  
Development and Building Services

C: CO Clerk-Katrina Sigala  
File

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 – KDM)

PROJECT TITLE: Bellehaven ES New Kindergarten Addition ZONE MAP: J-20/D-35  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Bellehaven Elementary School  
 CITY ADDRESS: 8701 Princess Jeanne NE, Albuquerque, NM 87112

ENGINEERING FIRM: JMA CONTACT: Graeme Means  
 ADDRESS: 6010-B Midway Park Blvd NE PHONE: 345-4250  
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: APS Facilities Design & Construction CONTACT: Karen Alarid  
 ADDRESS: 915 Oak St SE PHONE: 848-8818  
 CITY, STATE: Albuquerque, NM 87106 ZIP CODE: \_\_\_\_\_

ARCHITECT: Greer Stafford SJCF CONTACT: Mike Heitman  
 ADDRESS: 1717 Louisiana NE, Suite 205 PHONE: 821-0235  
 CITY, STATE: Albuquerque, NM ZIP CODE: 87110-7027

SURVEYING FIRM: JMA (For Certification Survey) LICENSED SURVEYOR: Charles G. Cala, 11184  
 ADDRESS: 6010-B Midway park Blve NE PHONE: 345-4250  
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

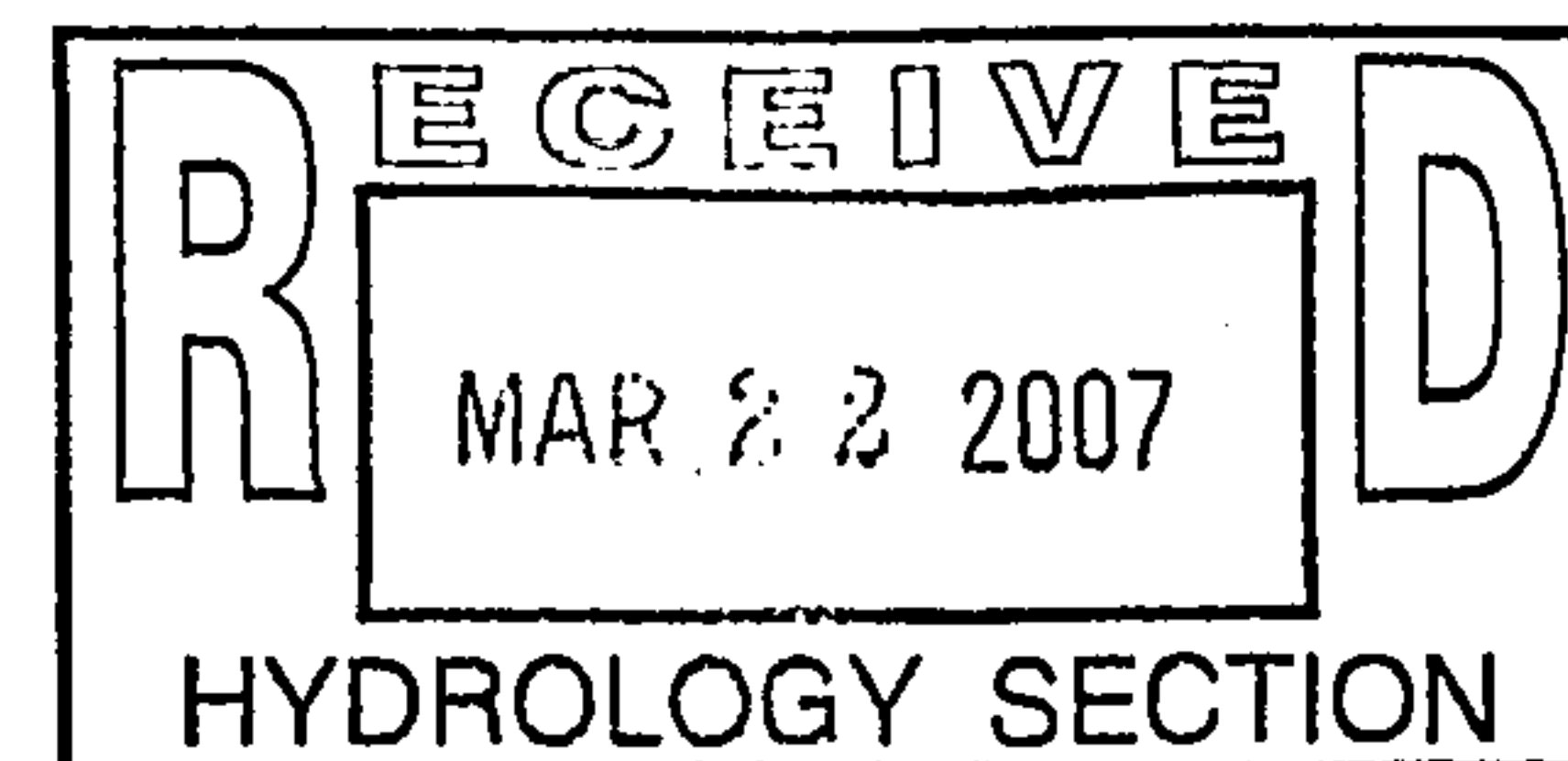
CONTRACTOR: FAMCO, Inc. CONTACT: Owner  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:  
 \_\_\_\_\_ DRAINAGE REPORT  
 \_\_\_\_\_ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
 \_\_\_\_\_ DRAINAGE PLAN RESUBMITTAL  
 \_\_\_\_\_ CONCEPTUAL G & D PLAN  
 \_\_\_\_\_ GRADING PLAN  
 \_\_\_\_\_ EROSION CONTROL PLAN  
☒ ENGINEER'S CERT (HYDROLOGY)  
 \_\_\_\_\_ CLOMR/LOMR  
 \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT  
 \_\_\_\_\_ ENGINEER'S CERT (TCL)  
 \_\_\_\_\_ ENGINEER'S CERT (DRB SITE PLAN)  
 \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

CHECK TYPE OF APPROVAL SOUGHT:  
 \_\_\_\_\_ SIA/FINANCIAL GUARANTEE RELEASE  
 \_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
 \_\_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL  
 \_\_\_\_\_ S. DEV. FOR BLDG. PERMIT APPROVAL  
 \_\_\_\_\_ SECTOR PLAN APPROVAL  
 \_\_\_\_\_ FINAL PLAT APPROVAL  
 \_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
 \_\_\_\_\_ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
 \_\_\_\_\_ GRADING PERMIT APPROVAL  
 \_\_\_\_\_ PAVING PERMIT APPROVAL  
 \_\_\_\_\_ WORK ORDER APPROVAL  
 \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

\_\_\_\_\_ YES  
☒ NO  
 \_\_\_\_\_ COPY PROVIDED



DATE SUBMITTED: 03/22/2007 BY: Graeme Means

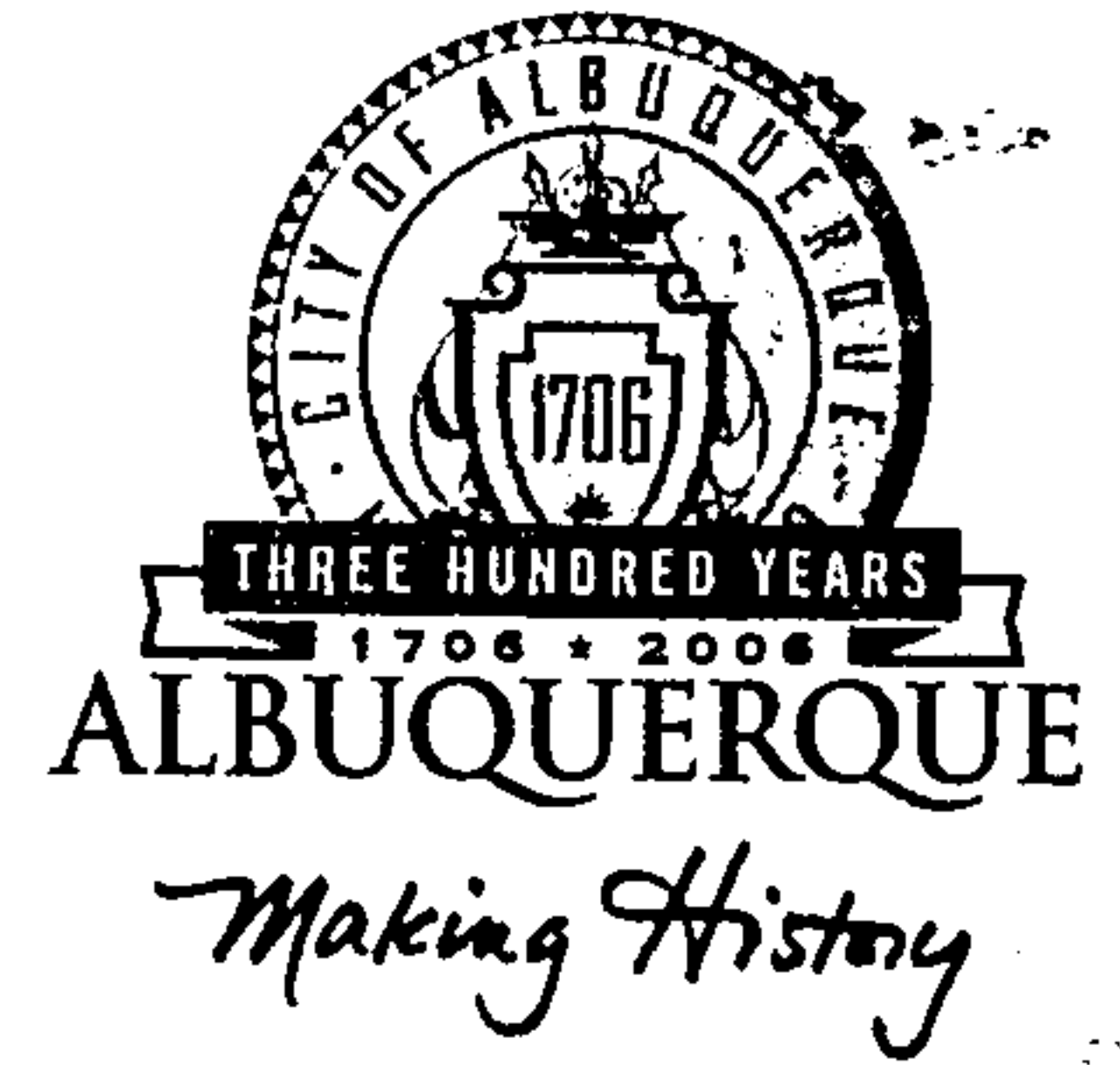
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

XC: John Mazzola



# CITY OF ALBUQUERQUE



February 17, 2006

Jeff G. Mortensen, P.E.  
Jeff Mortensen & Associates, Inc.  
6010-B Midway Park Blvd. NE  
Albuquerque, NM 87109

**Re: Bellehaven Elementary School K-Addition-Grading & Drainage Plan  
Engineer's Stamp dated 1-25-06 (J20-D35)**

Dear Mr. Mortensen,

Based upon the information provided in your submittal dated 1-30-06, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to release of the Certificate of Occupancy an Engineer's Certification of the grading plan per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3990.

Sincerely,

Phillip J. Lovato, E.I., C.F.M.  
Engineering Associate, Hydrology,  
Development and Building Services,  
Planning Department

cc: file

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 12/2005)

2003.002.3

PROJECT TITLE: Bellehaven Elementary School K Addition ZONE MAP/DRG. FILE #J20/D35  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Lots 1-3, Blk 13, Lots 2-4, Blk 8 & Vacated Marron Circle, Bellehaven Addition  
CITY ADDRESS: 8701 Princess Jeanne Street NE, 87112

ENGINEERING FIRM: JMA  
ADDRESS: 6010-B Midway Park Blvd NE  
CITY, STATE: Albuquerque, NM

CONTACT: Graeme Means  
PHONE: 345-4250  
ZIP CODE: 87109

OWNER: Albuquerque Public Schools  
ADDRESS: 915 Oak St SE  
CITY, STATE: Albuquerque, NM

CONTACT: Bob Becker  
PHONE: 848-8835  
ZIP CODE: 87106

ARCHITECT: Greer Stafford SJCF  
ADDRESS: 1717 Louisiana NE  
CITY, STATE: Albuquerque, NM

CONTACT: Mike Heitman  
PHONE: 821-0235  
ZIP CODE: 87110-7027

SURVEYOR: Wilson & Company  
ADDRESS: 4900 Lang NE  
CITY, STATE: Albuquerque, NM

CONTACT: Chris Medina, NMPS 15702  
PHONE: 348-4000  
ZIP CODE: 87109

CONTRACTOR: Not yet Selected  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: Architect  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

**TYPE OF SUBMITTAL:**

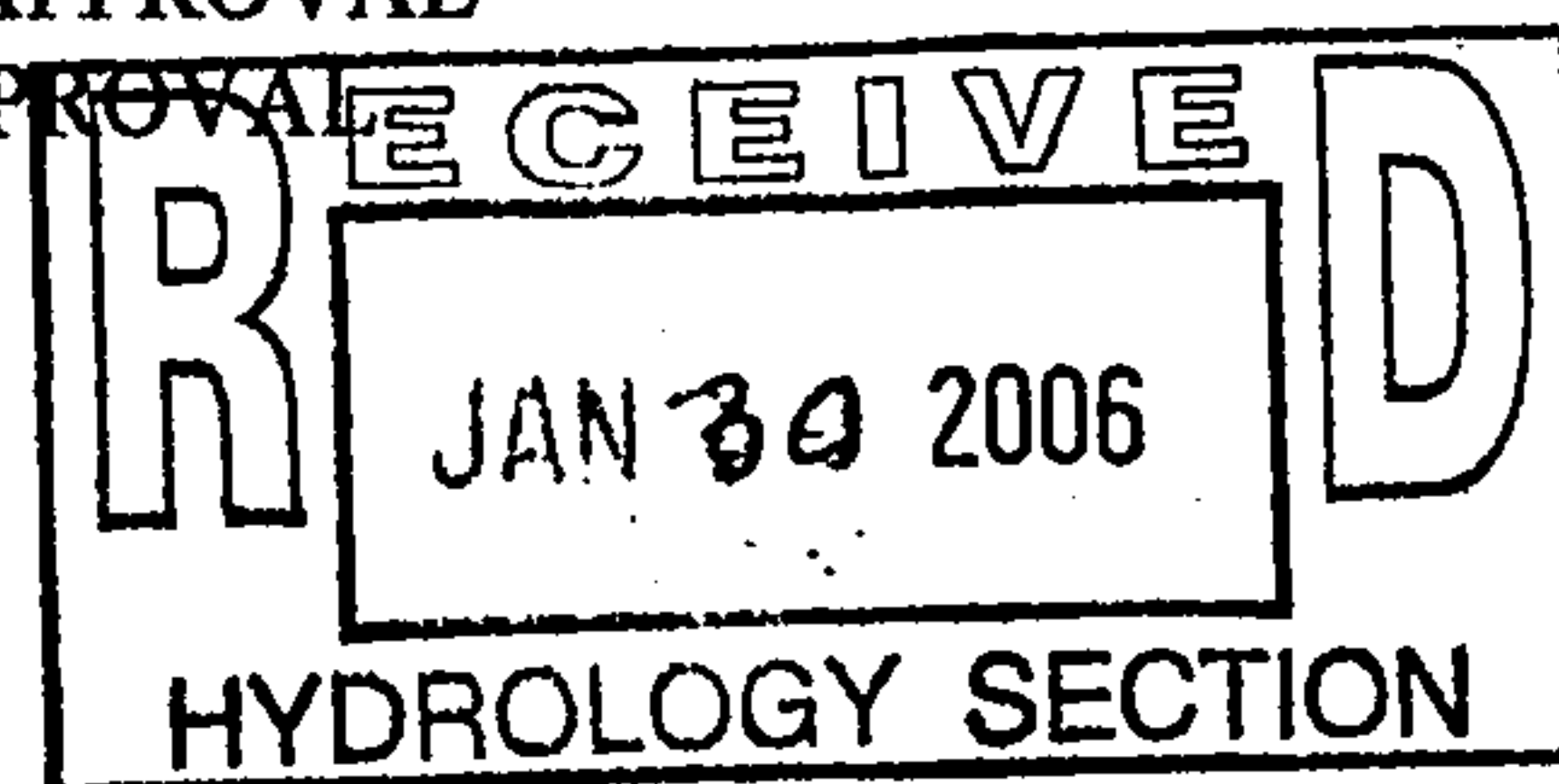
- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☒ DRAINAGE PLAN RESUBMITTAL (Revised)  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S/ARCHITECT'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED



SUBMITTED BY: Graeme Means DATE: 01/30/06

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# ***City of Albuquerque***

## ***Public Works Department Transportation Development Services Section***

March 15, 2000

Faizel M. Kassam, Reg. Professional Engineer,  
Wilson and Company,  
4900 Lang Avenue N. E.  
Albuquerque, New Mexico 87109

Re: Third T.C.L. Plan submittal for building permit approval for Bellehaven School Addition at 8701 Princess Jeanne Avenue N.E., [J-20/D035]. Engineer's stamp dated 12/21/99 \*.

Dear Mr. Kassam,

The location referenced above requires further modification to the T.C.L. prior to Building Permit release as stated on the attached comments.

All comments that have been addressed are checked(✓) and placed at the end of the list. Minor added comments have been made. Please address them and bring the package in to this office for discussion and approval over the counter can probably be given to speed the process along for this job.

\* - See next sheet

Sincerely,

Mike Zamora,  
Commercial Plan Checker

cc:  
Engineer  
Hydrology File  
Office File



- When a revised TCL. is returned to this office it must have a new stamp from the designer-of-record or the date on the stamp must be revised or add the date of revision.
  - The signs shown at the 'exit' drivepad need to read "EXIT ONLY" or "DO NOT ENTER" or equal.
- 
- ✓The designer of record's certification required by the Hydrology/Transportation Section needs to include certification that this site was constructed in accordance with the Traffic Circulation Layout (TCL) before C.O. is released. Place note on T.C.L. to this effect.
  - ✓New and existing elements noted on the T.C.L. must be shown, labelled, and/or dimensioned correctly and accurately, this includes ✓street curb & gutter, ✓drivepads[call out conc. or asph.], ✓all drive aisles, stalls, etc. ✓Need to see clear differentiation between new construction and existing on Site Plan.
  - ✕20'-25'distance back from flowline of curb needed at entrance for vehicle visibility and to allow parked vehicle to exit last adjacent stall while vehicle is waiting to leave site. ✕DIMENSIONS NEEDED FROM STREET CURBLINE TO DRIVE AISLE CLOSEST TO STREET, AS SHOWN.
  - ✕For buses to use the site Curb Return-type drivepads with 25' radii will be needed and end islands will need to be built with 25' radius curves. ✓Call out on T.C.L. "Drivepad to be constructed per City of Albuquerque Std. Detail Dwg. No. 2425." ✓NO DIMENSIONS GIVEN FOR DRIVEPADS. CANNOT EVALUATE NEED FOR POSSIBLE WIDENING OF EX. DRIVEPADS. ✓Also stripe unloading area plus call out 6" raised sidewalk at drop off.
  - ✓Need to see that all existing obstacles in City right-of-way have been picked up. ✓PLEASE DIMENSION DISTANCE FROM ALL OBSTRUCTIONS TO THE FENCE. CITY CALLS FOR 5' WIDE PATH AROUND ANY OBSTRUCTIONS PER C.O.A. STD. DETAIL DWG. 2431.
  - Linework on Drainage Plan and Landscape Plan must match T.C.L. exactly. THIS WILL BE CONFIRMED AT TIME OF REVIEW OF BUILDING PERMIT PLANS FOR APPROVAL.
  - ✓T.C.L./Site Plan must be stamped and stamp must be dated.
  - ✓Property description on application sheet does not match currentAlbuquerque ZoneAtlas. Need copy of current plat or replat for office files. Must be recorded and signed at County Clerk's Office.
  - ✓Show, label, and dimension existing and/or new street sidewalks. City sidewalk ordinance requires minim. 6' wide street side-walks along the entire frontage of all school sites. ✕Any new sidewalks must be built so back of sidewalk is at Right-of-way (property) line.





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 29, 1999

Faizel M. Kassam, Reg. Professional Engineer,  
Wilson and Company,  
4900 Lang Avenue N. E.  
Albuquerque, New Mexico 87109

Re: Site Plan submittal for building permit approval for Bellehaven School Addition at 8701 Princess Jeanne Avenue N.E., Bellehaven Addition, Bellehaven Elementary School Tract and Block 8, Lots 2 - 4 and Block 13, Lots 1 - 3 [J-20/D035]. Engineer's stamp dated 10/20/99.

Dear Mr. Kassam,

The location referenced above requires modification to the Site Plan prior to Building Permit release as stated on the attached comments and marked up Site Plan.

Please resubmit revised Site Plan after addressing typed and marked up comments. Submit Plan along with typed comments and all red-lined, mark-up copies.

Sincerely,

Mike Zamora,  
Commercial Plan Checker

cc:  
Engineer  
Hydrology File  
Office File

- T.C.L./Site Plan must be stamped and stamp must be dated.
- The engineer's certification required by the Hydrology section needs to include certification that this site was constructed in accordance with the Traffic Circulation Layout (TCL) before C.O. is released. Place note on Site Plan to this effect.
- Property description on application sheet does not match currentAlbuq. ZoneAtlas. Need copy of current plat or replat for office files. Must be recorded and signed at County Clerk's Office.
- New and existing elements noted on the Site Plan must be shown, labelled, and/or dimensioned correctly and accurately, this includes street curb & gutter, drivepads[call out conc. or asph.], all drive aisles, stalls, etc. \_Need to see clear differentiation between new construction and existing on Site Plan.
- Show, label, and dimension existing and/or new street sidewalks. City sidewalk ordinance requires minim. 6' wide street side-walks along the entire frontage of all school sites. \_Any new sidewalks must be built so back of sidewalk is at Right-of-way (property) line.
- 20'-25'distance back from flowline of curb needed at entrance for vehicle visibility and to allow parked vehicle to exit last adjacent stall while vehicle is waiting to leave site.\_\_\_\_\_
- For busses to use the site Curb Return-type drivepads with 25' radii will be needed and end islands will need to be built with 25' radius curves. \_Call out on Site Plan "Drivepad to be constructed per City of Albuq. Std. Detail Dwg. No. 2426." Also stripe unloading area plus call out 6" raised sidewalk at drop off.
- Need to see that all existing obstacles in City right-of-way have been picked up.\_\_\_\_\_
- Linework on Drainage Plan and Landscape Plan must match Site Plan exactly.