

CITY OF ALBUQUERQUE



July 3, 2019

John Nourzad
GreenbergFarrow
1430 W. Peachtree St. NW
Atlanta, GA 30309

**Re: Murphy Express, Wyoming
1358 Wyoming Blvd NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 11-3-17 (J20D037)
Certification dated 7-2-19**

Dear Mr. Nourzad

Based upon the information provided in your submittal received 7-2-19, Transportation Development will issue a 30-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

1. Please complete Alley Paving.
2. Please add Truncated Domes to access of Wyoming.

NM 87103

If you have any questions, please contact me at (505) 924-3981.

www.cabq.gov

Sincerely,

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

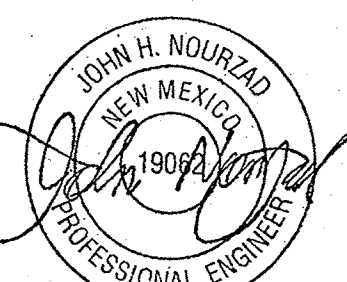
EG via: email
C: CO Clerk, File

MURPHY SITE: 1.08 AC
AREA DISTURBED: 1.23 AC

ZONING:
C-2 (COMMUNITY COMMERCIAL)

3445SF-6(S)-2015v2

SHEET NO.
TCL-1

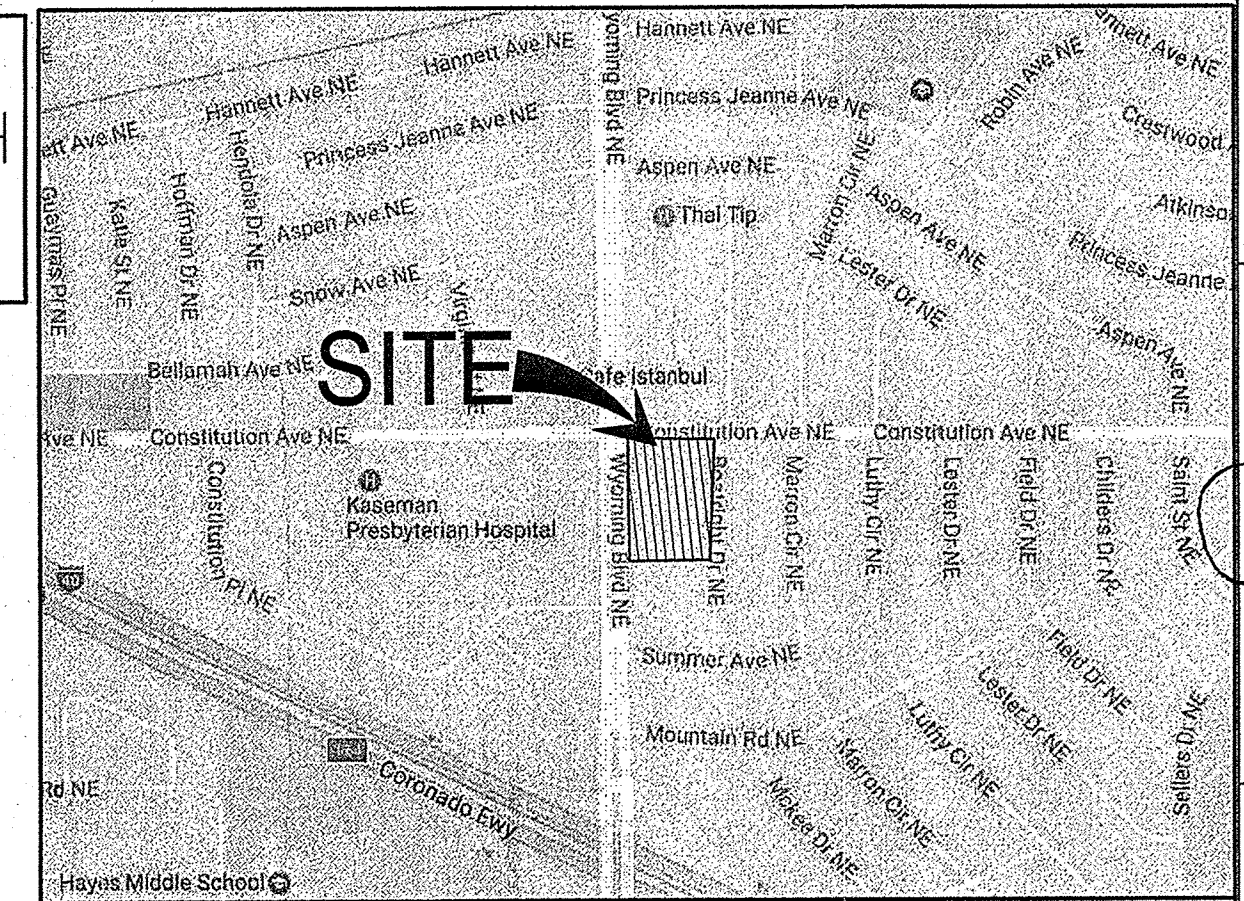


TCL PROPOSED COND
MURPHY EXPRESS
1358 WYOMING BLVD
ALBUQUERQUE NEW MEXICO

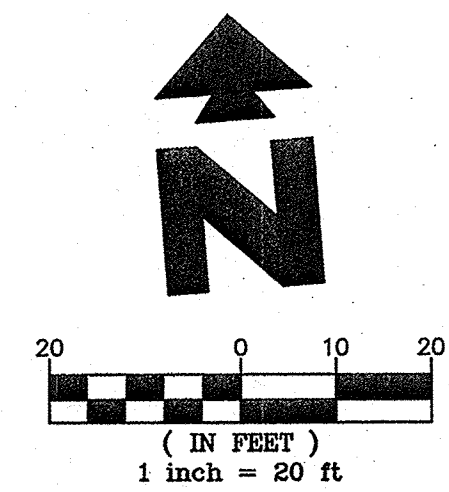
Grenbergfarrow
1400 W. PEACH ST. NW
ATLANTA, GA 30309
PHONE: (404) 601-4000
DWG NAME: ALBUQUERQUE, NM
JOB NO.: 20161221.0
20161221.0

MURPHY OIL USA, INC.
200 PEACH ST.
EL DORADO, AR 71730
MURPHY
USA

PROPOSED USE:
FUELING STATION WITH
CONVENIENCE STORE

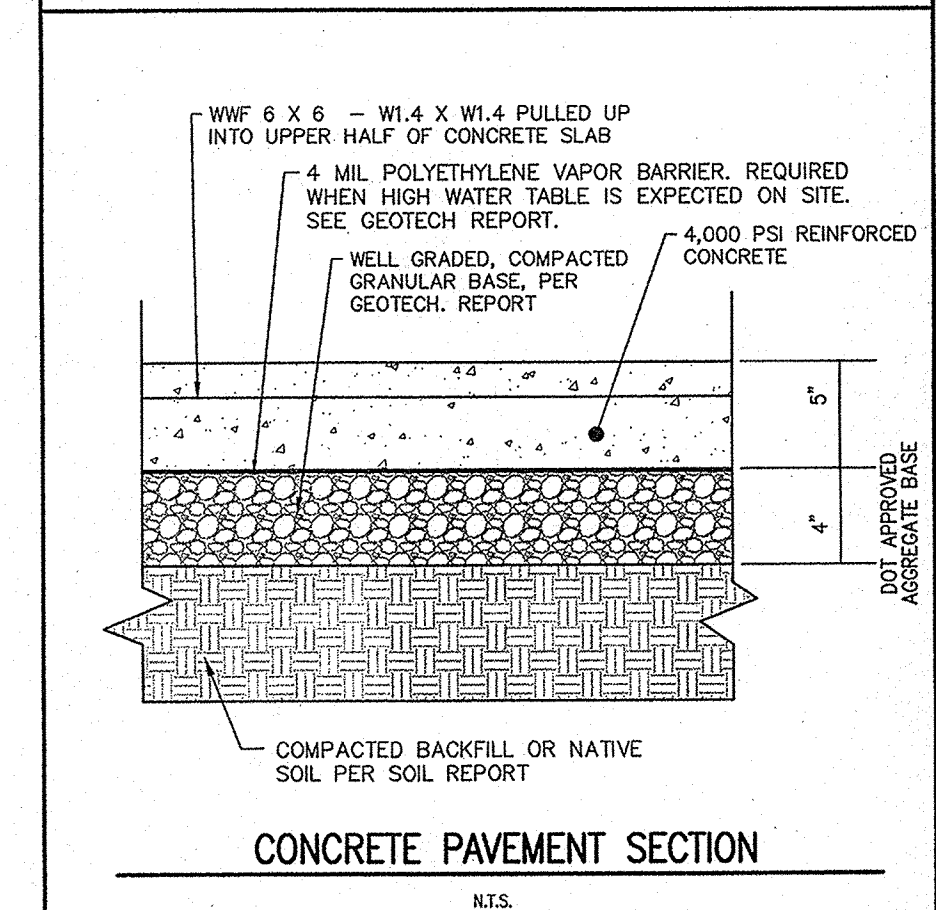
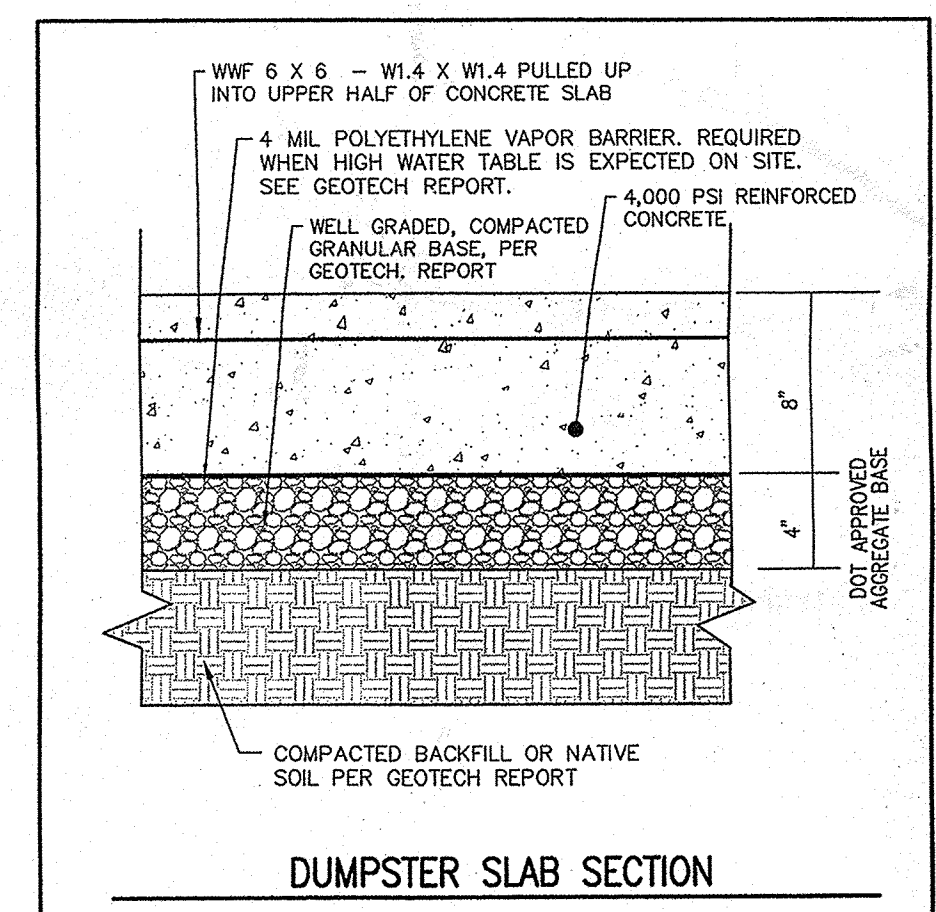


USGS QUADRANGLE MAP
N.T.S.



POST-DEV LAND USE

IMPERVIOUS AREA	0.73 AC
PERVIOUS AREA	0.35 AC
TOTAL AREA	1.08 AC



PAVING DETAILS

CONCRETE PAVING FOR TANK. SEE TANK/PIPING PLANS FOR DESIGN AND DETAILS.
CONCRETE DUMPSTER SLAB
CONCRETE PAVING

EXISTING

Sanitary Sewer Manhole	Telephone Pedestal
Sanitary Sewer Manhole as shown on provided plans - Not Found	Traffic Light Pole
Manhole Unknown Utility	Overhead Traffic Light Pole
Manhole as shown on provided plans - Not Found	Pedestrian Pushbutton Post
Storm Drain Inlet	Utility Box
Power Pole	Light Pole
Power Pole w/underground feed	Ballast
Power Pole/Light Pole	Concrete Symbol
Guy Wire	Gas Meter
Sanitary Sewer Clean-out	Gas Valve
Water Meter	Metal Post Fence
Water Valve	Chain Link Fence
Hydrant	Guard Rail
Electric Pedestal	West Manhole
Electric Meter	Communications Manhole
Traffic Box	Sign
SANITARY SEWER LINE	Tree
STORM DRAIN LINE	
GAS LINE	
OVERHEAD POWER LINE	

PROPOSED

BOUNDARY LINE
CONCRETE INTEGRAL CURB
CONSTRUCTION FENCE (SEE DETAIL SHEETS)
CF
CONSTRUCTION FENCE ON PAVEMENT (SEE DETAIL SHEETS)
CFP
BUILDING/CANOPY CONTROL POINT

- GENERAL SITE NOTES
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CURB RETURN RADIUS SHALL BE 5', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
 - UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON:
 - ALL CURB ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 1A.
 - PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVING PLAN OVER THE ENTIRE PAVING LOT AREA AND ALL APPROACH DRIVES.
 - SEE ASSOCIATED PLANS FOR CANOPY, COLUMN, PUMP ISLAND DETAILS AND LAYOUT.
 - CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
 - THE LOCATION OF THE CONSTRUCTION FENCE ON THE DRAWINGS IS FOR GRAPHICAL REPRESENTATION ONLY. THE CONTRACTOR IS TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA.
 - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL. APPROVED BY THE OWNER, AS KEPT, THE AREA SHALL THEN BE SODED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - CONTRACTOR SHALL PURCHASE AND INSTALL A MAILBOX, AND SHALL COORDINATE LOCATION OF MAILBOX WITH MURPHY CONSTRUCTION MANAGER AND/OR ON-SITE REPRESENTATIVE AND LOCAL POSTMASTER.
 - ALL PROPOSED PAVEMENT STRIPING OR MARKINGS SHALL FOLLOW THE SPECIFICATIONS FOR PAINT INCLUDED IN DETAIL 10A.

PARKING INFORMATION:
MURPHY OIL

DESCRIPTION	BUILDING AREA (S.F.)	REQUIRED:			
		RATIO	REGULAR	ACCESSIBLE	TOTAL
MURPHY OIL	3,445	/200 S.F.	17	1	18
STALL DIMENSIONS:		PROVIDED:			
		RATIO	REGULAR	ACCESSIBLE	TOTAL
90': 8.5' x 18' (7 SPACES)		/200 S.F.	19	2	21
90': 9' x 20' (8 SPACES)					
90': 8' x 20' (2 SPACES)					
90': 9' x 18.5' (4 SPACES)					

EXISTING DRIVEWAY TO BE REPLACED WITH SIDEWALK AND C&G, AND CONFORM TO CITY DETAILS 2430 & 2415A

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EXISTING DRIVEWAY TO BE REPLACED WITH SIDEWALK AND C&G, AND CONFORM TO CITY DETAILS 2430 & 2415A

TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: [Signature] 12-29-17
Date

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

"NO PARKING" LETTERS SHALL BE AT LEAST 1' HIGH AND 2" WIDE

SEE DETAIL 9S, SHEET C-12

MOTORCYCLE PARKING SIGN
DETAIL 12N, SHEET C-12

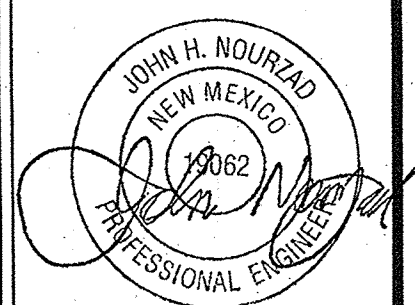
WARRANTY DEED
Filed 12-21-1994, Doc. #94147375
TRACT B
BLOCK 8
MESA VILLAGE
Filed 10-23-1956, Vol. B3, Folio 41



ZONING:
C-2 (COMMUNITY COMMERCIAL)

3445SF-6(S)-2015v2

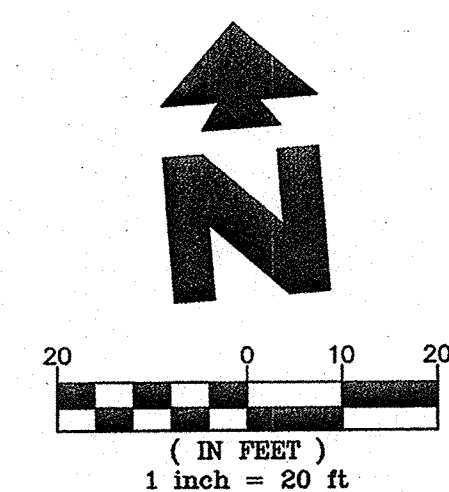
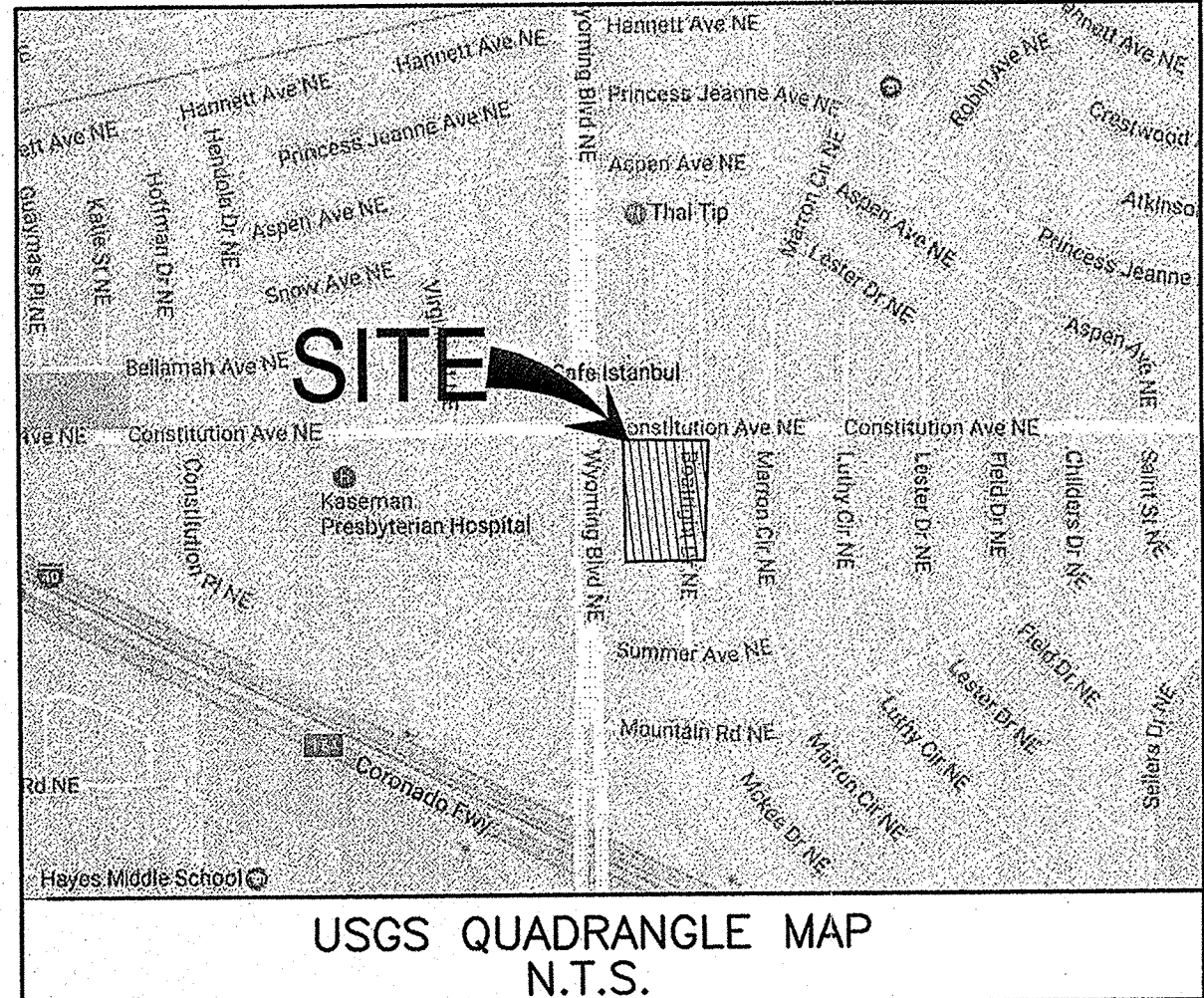
SHEET NO.
TCL-2



TCL PRE-DEV COND
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1358 WYOMING BLVD
ALBUQUERQUE NEW MEXICO

GreenbergFarrow
1450 W. PEACH STREET NW
ATLANTA, GA 30309
PHONE: (404) 603-4000
DWC NAME: ALBUQUERQUE, NM
JOB NO.: 201612110

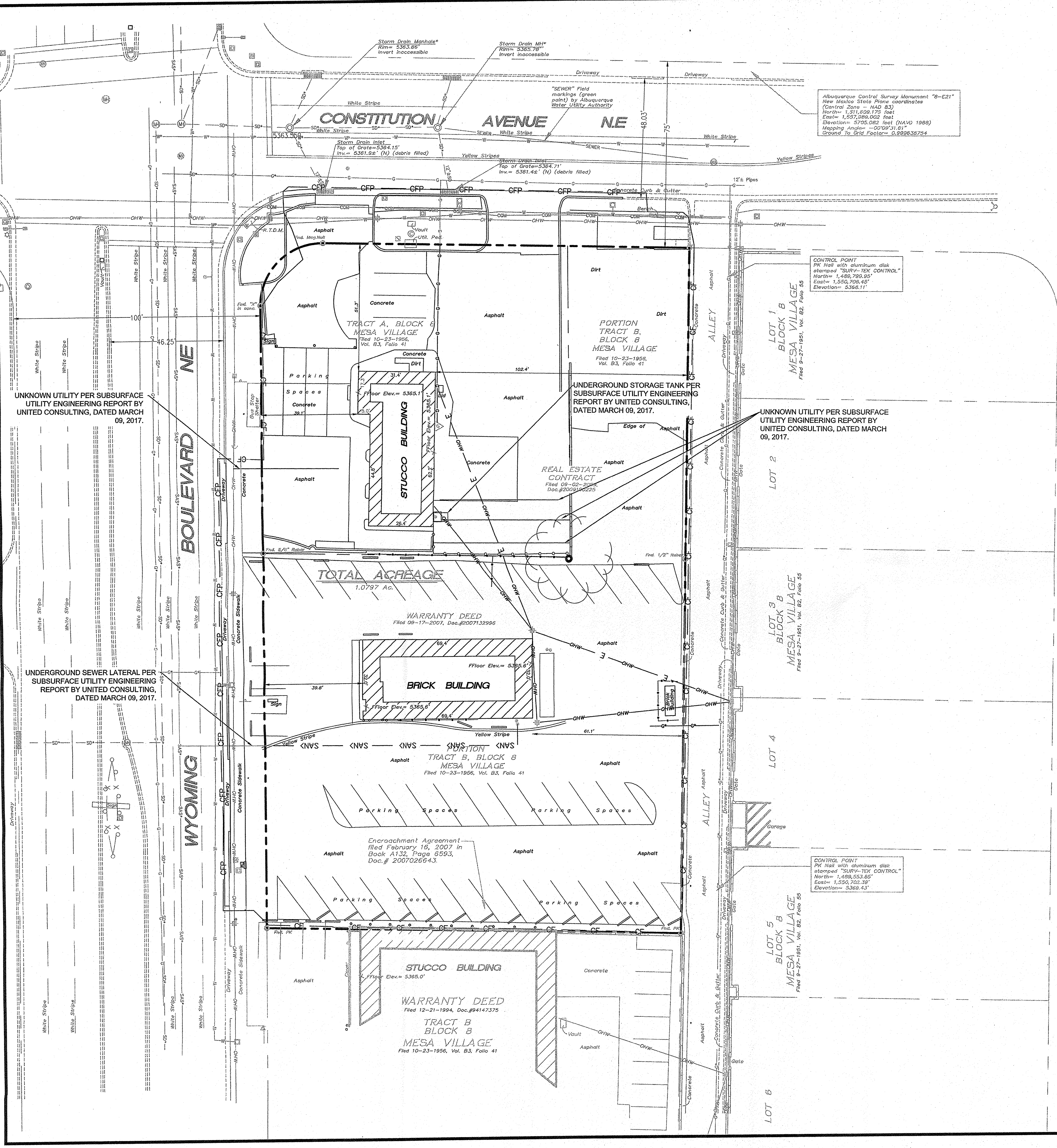
MURPHY OIL USA, INC.
MURPHY
USA
200 PEACH ST.
EL DORADO, AR 71730



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Electric Meter	Communications Manhole
Traffic Box	Sign
SANITARY SEWER LINE	Tree
SD	
GW	
OHW	
SANITARY SEWER LINE	
GAS LINE	
OVERHEAD POWER LINE	

PROPOSED	
BOUNDARY LINE	
CONCRETE INTEGRAL CURB	
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Albuquerque Control Survey Monument "B-221"
New Mexico State Plane coordinates
(Central Zone - NAD 83)
North= 1,311,629.175 feet
East= 1,537,086.002 feet
Deviation= 5705.002 feet (NAD 1983)
Mapping Angle= -0.0023181°
Ground to Grid Factor= 0.9999636754

CONTROL POINT
PK Nail with aluminum disk
stamped "SURV-TEX CONTROL"
North= 1,490,790.95°
East= 1,550,708.45°
Elevation= 5368.11'

CONTROL POINT
PK Nail with aluminum disk
stamped "SURV-TEX CONTROL"
North= 1,490,553.80°
East= 1,550,702.38°
Elevation= 5368.43'

UNKNOWN UTILITY PER SUBSURFACE
UTILITY ENGINEERING REPORT BY
UNITED CONSULTING, DATED MARCH
09, 2017.

UNDERGROUND STORAGE TANK PER
SUBSURFACE UTILITY ENGINEERING
REPORT BY UNITED CONSULTING,
DATED MARCH 09, 2017.

UNKNOWN UTILITY PER SUBSURFACE
UTILITY ENGINEERING REPORT BY
UNITED CONSULTING, DATED MARCH
09, 2017.

UNDERGROUND SEWER LATERAL PER
SUBSURFACE UTILITY ENGINEERING
REPORT BY UNITED CONSULTING,
DATED MARCH 09, 2017.

WARRANTY DEED
Filed 09-17-2007, Doc.#2007132956

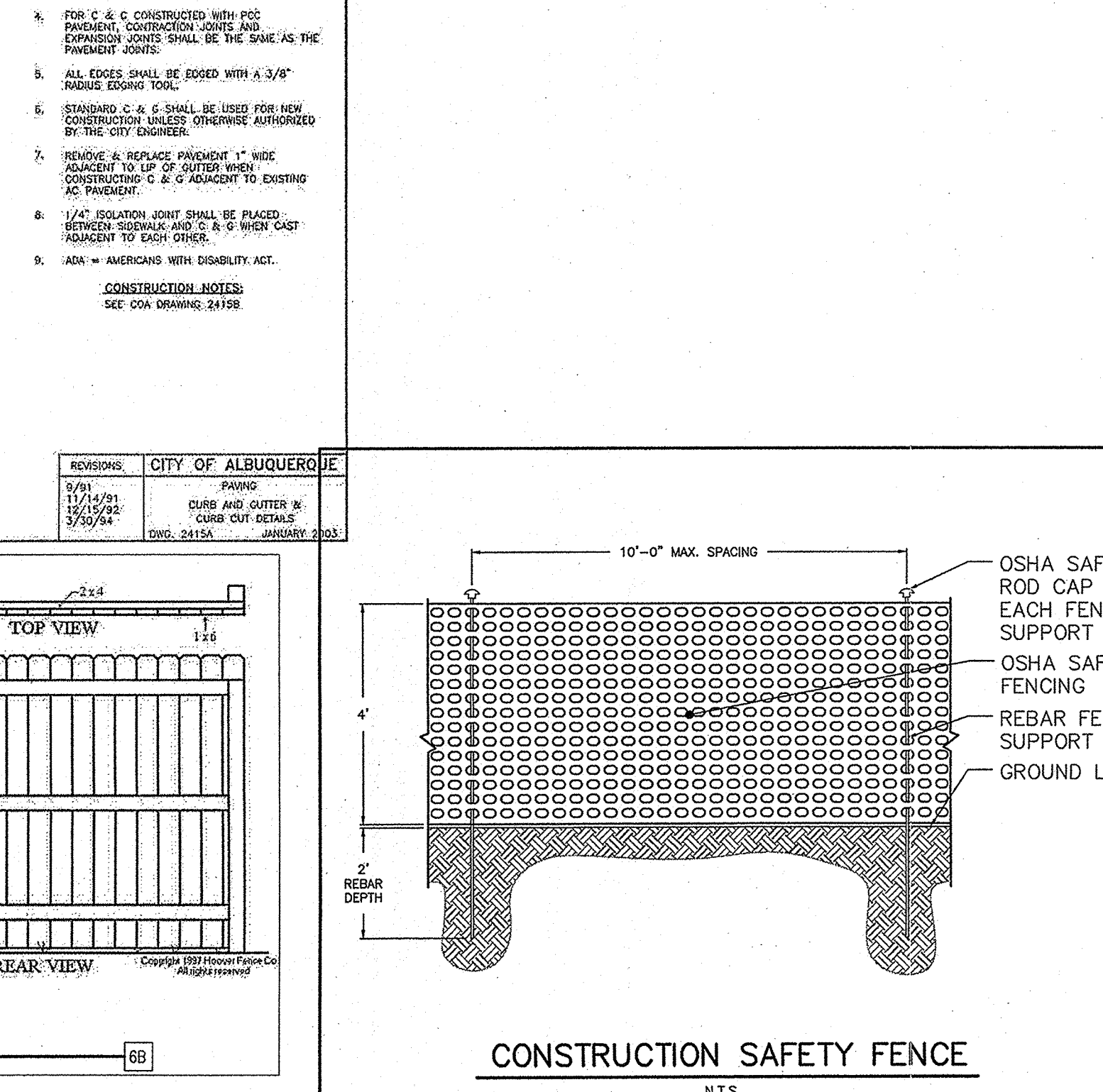
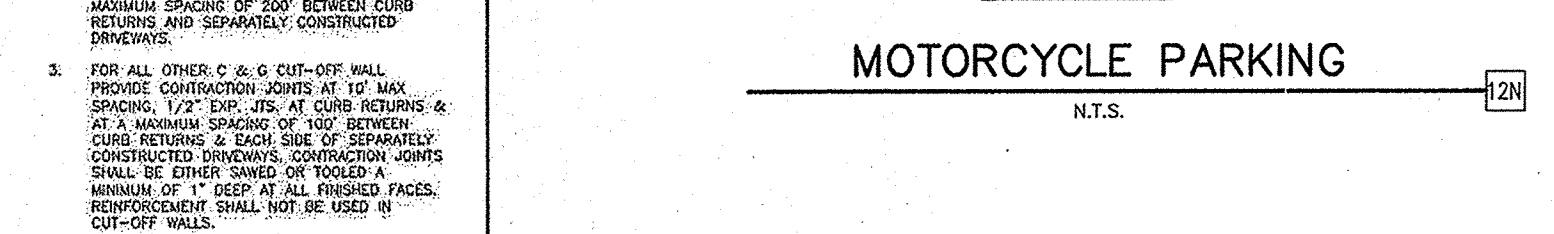
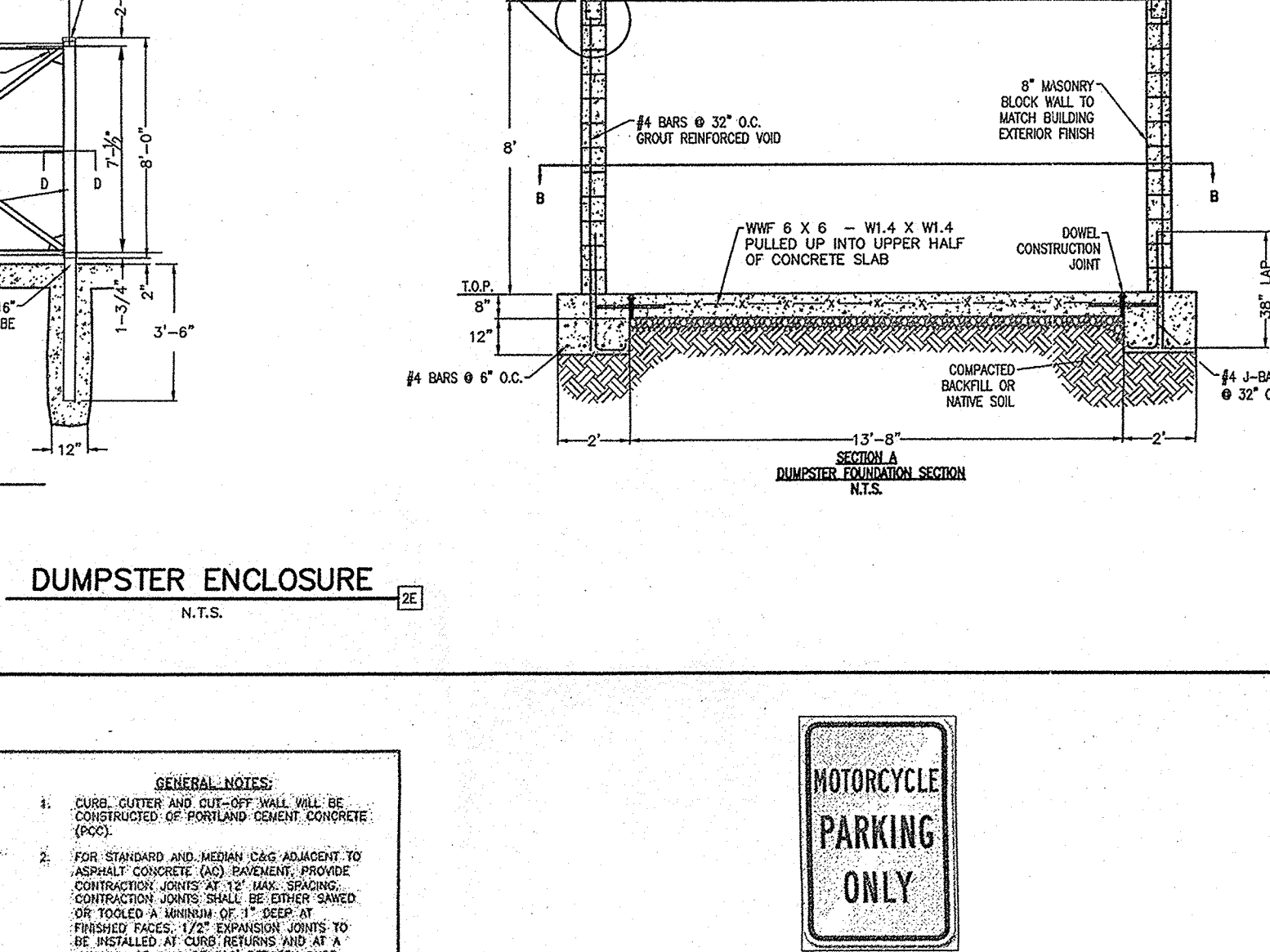
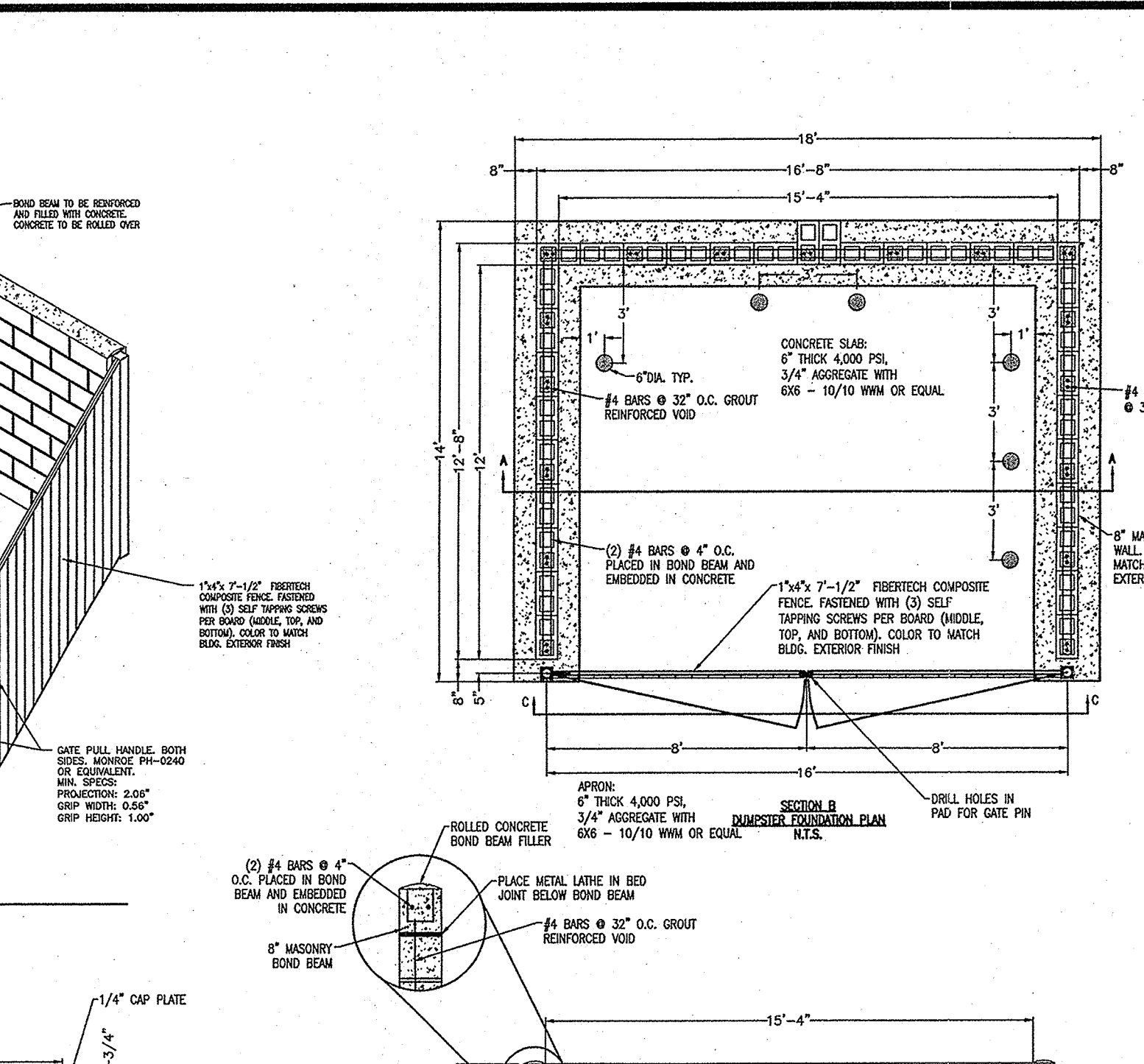
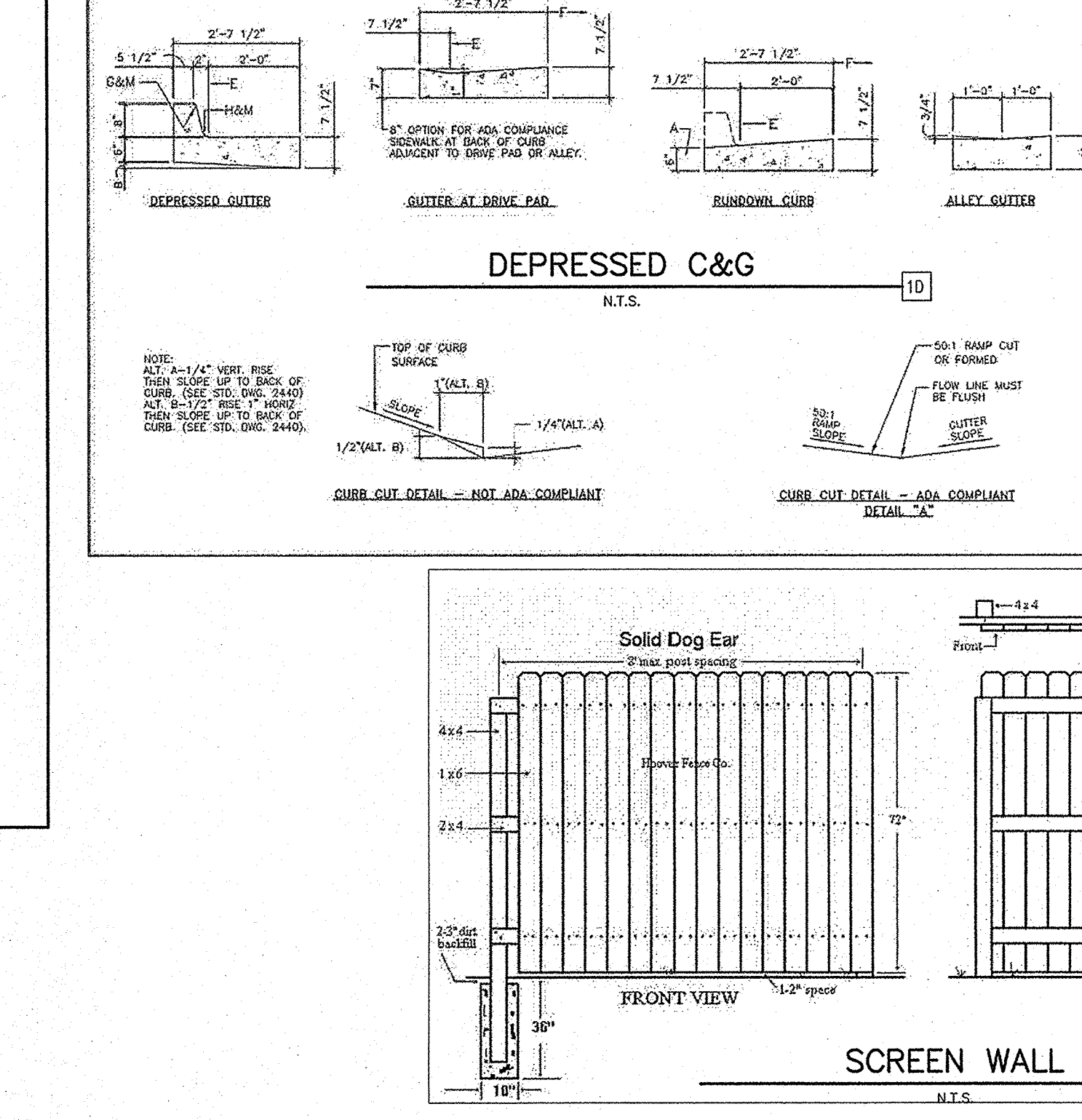
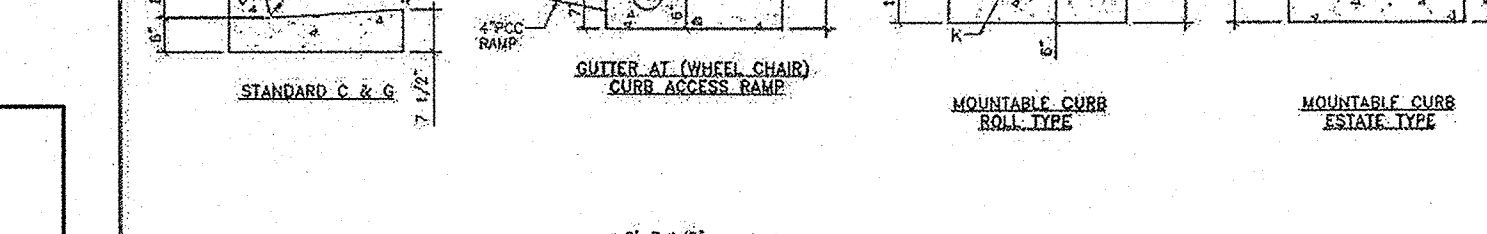
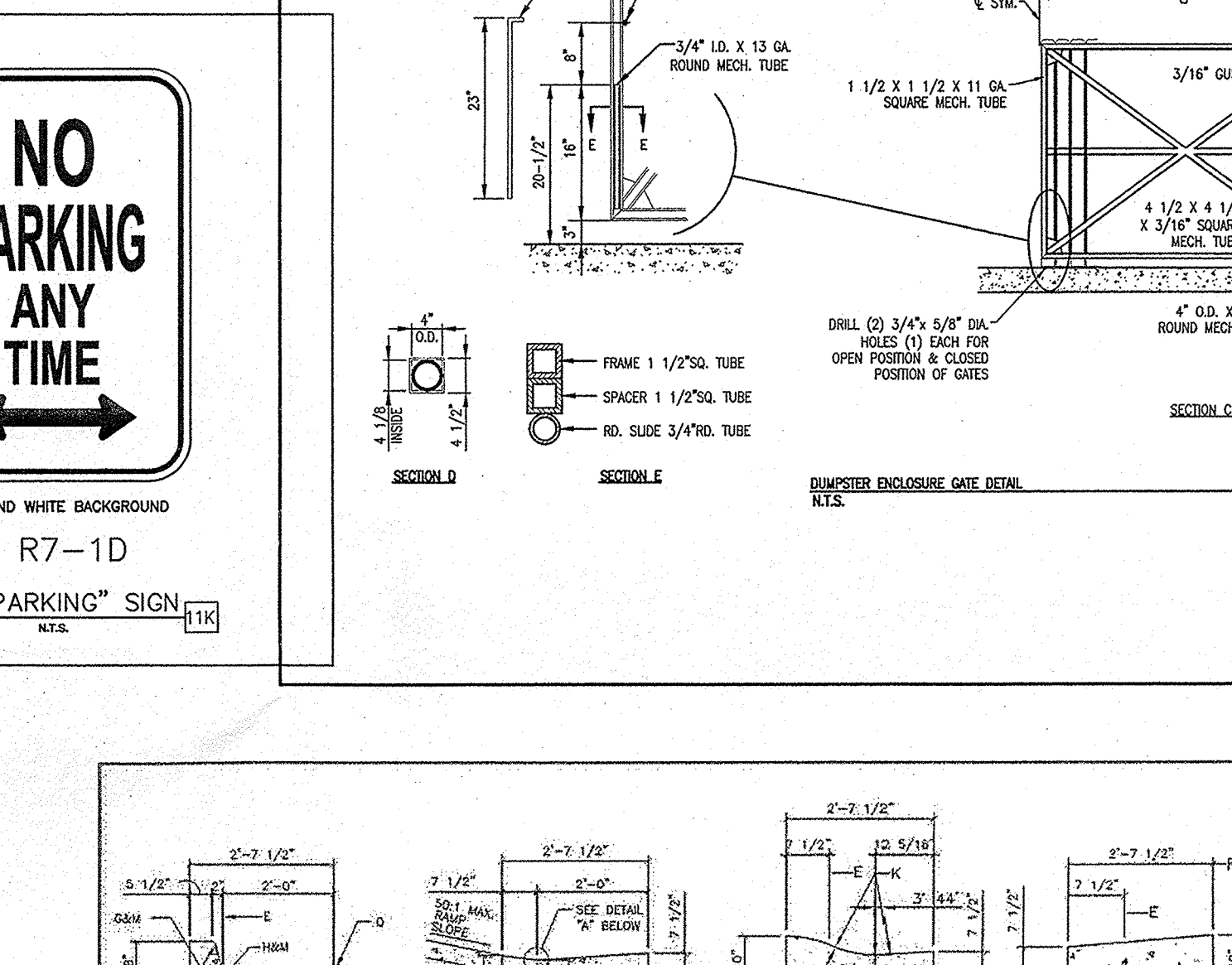
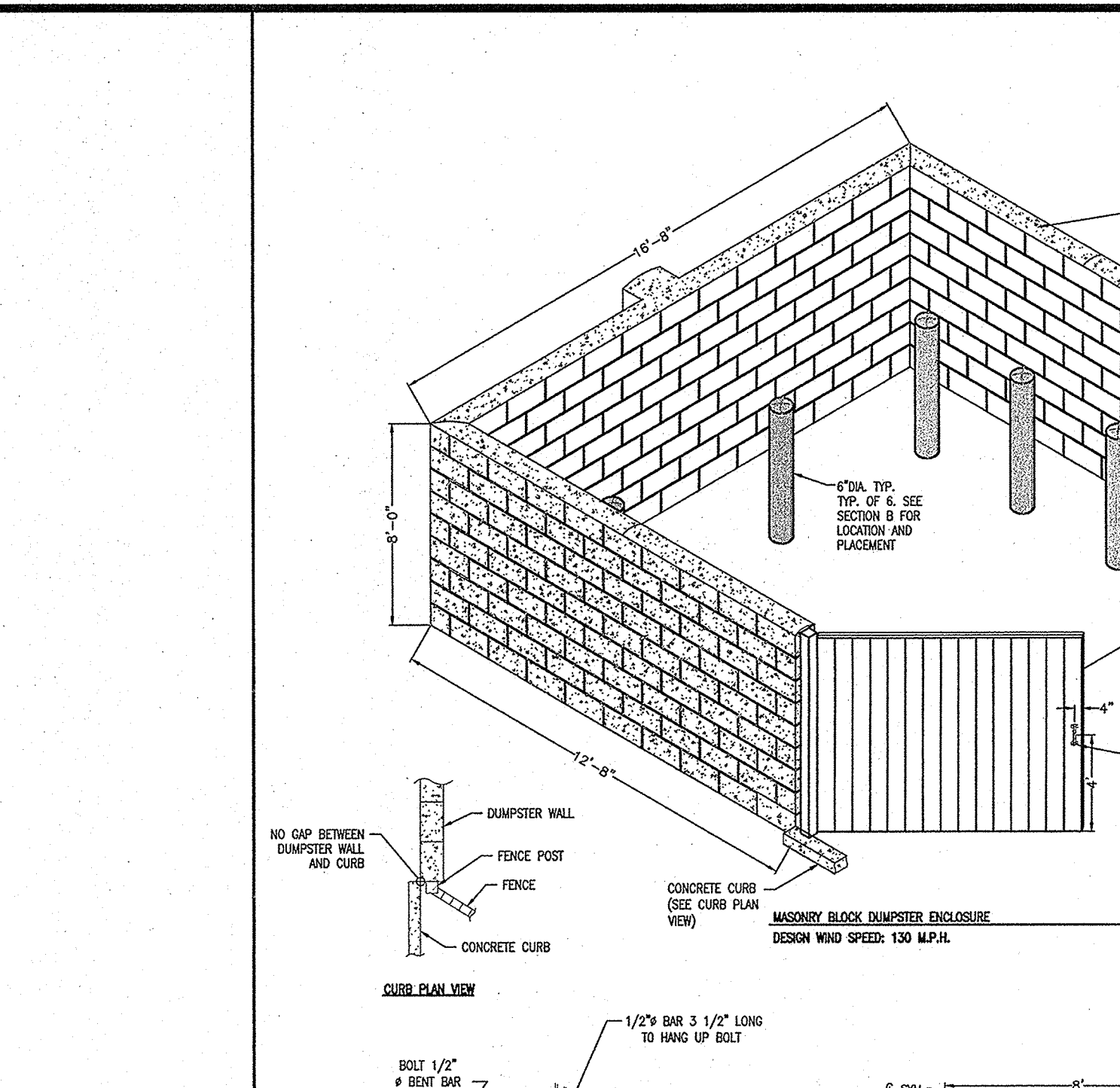
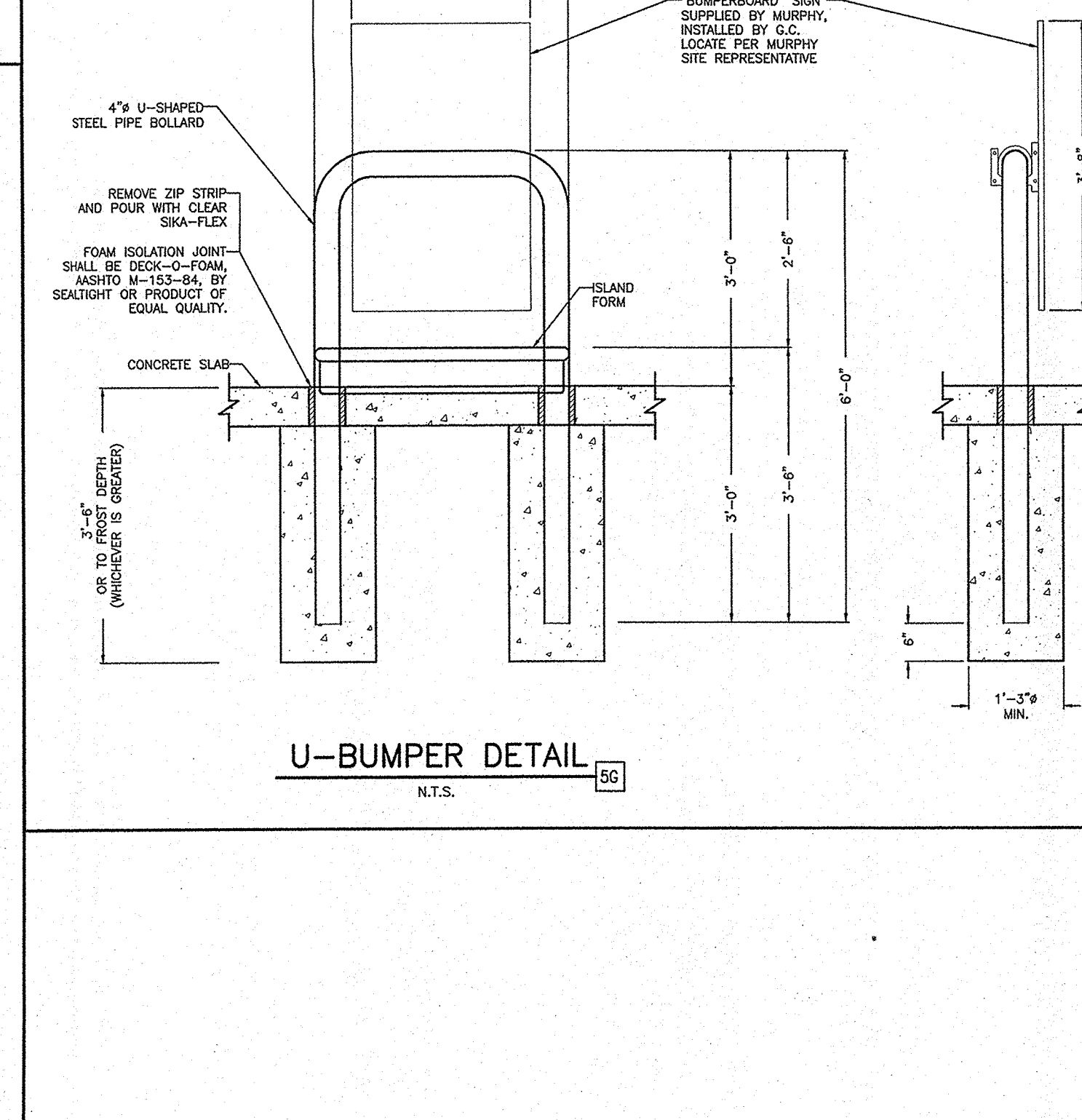
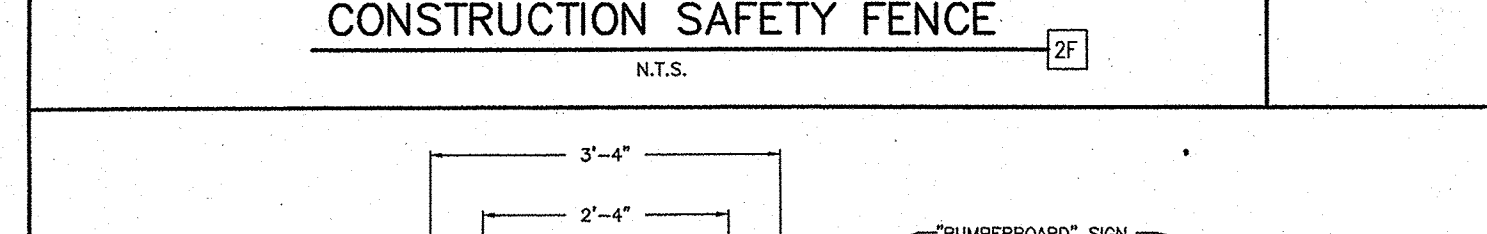
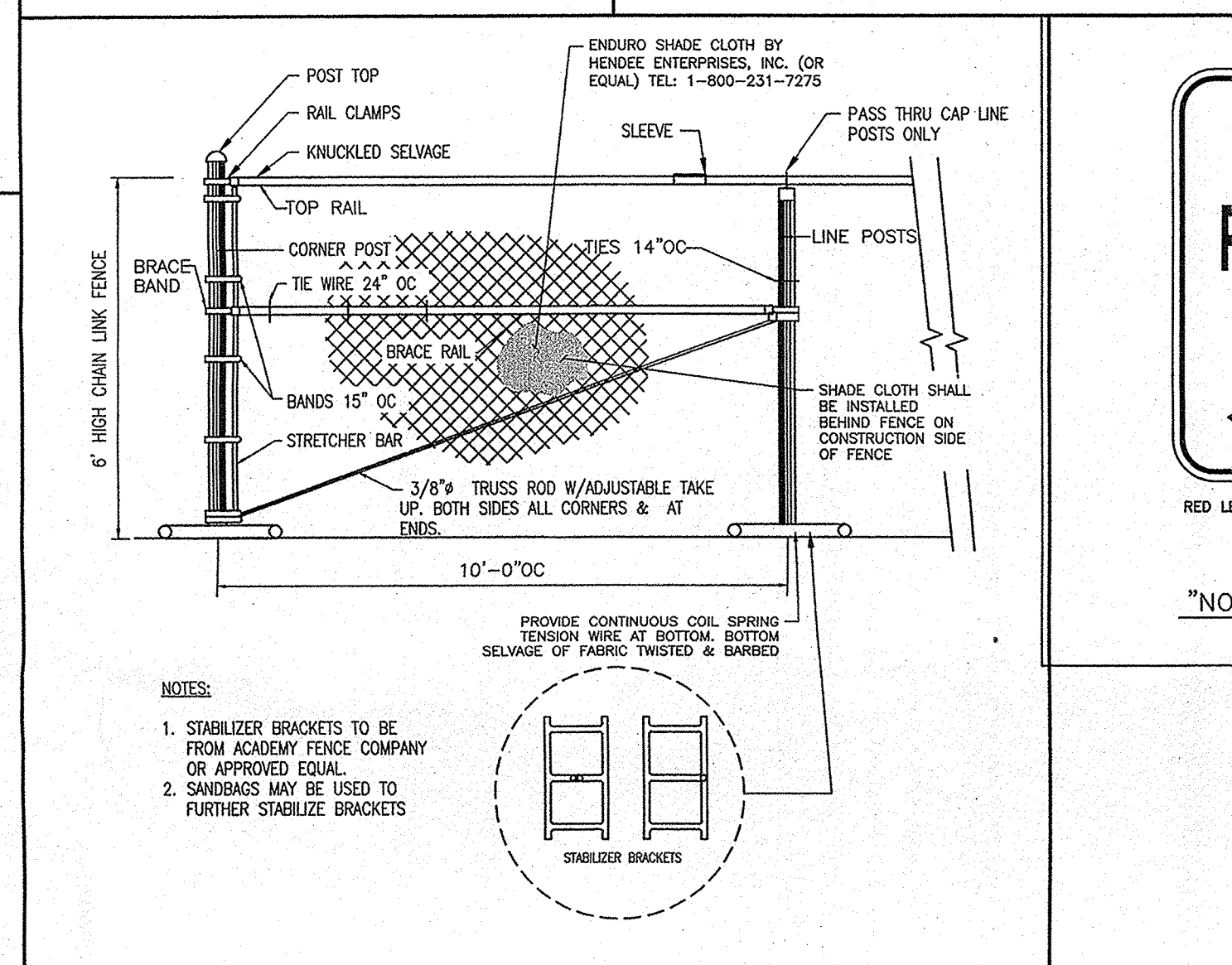
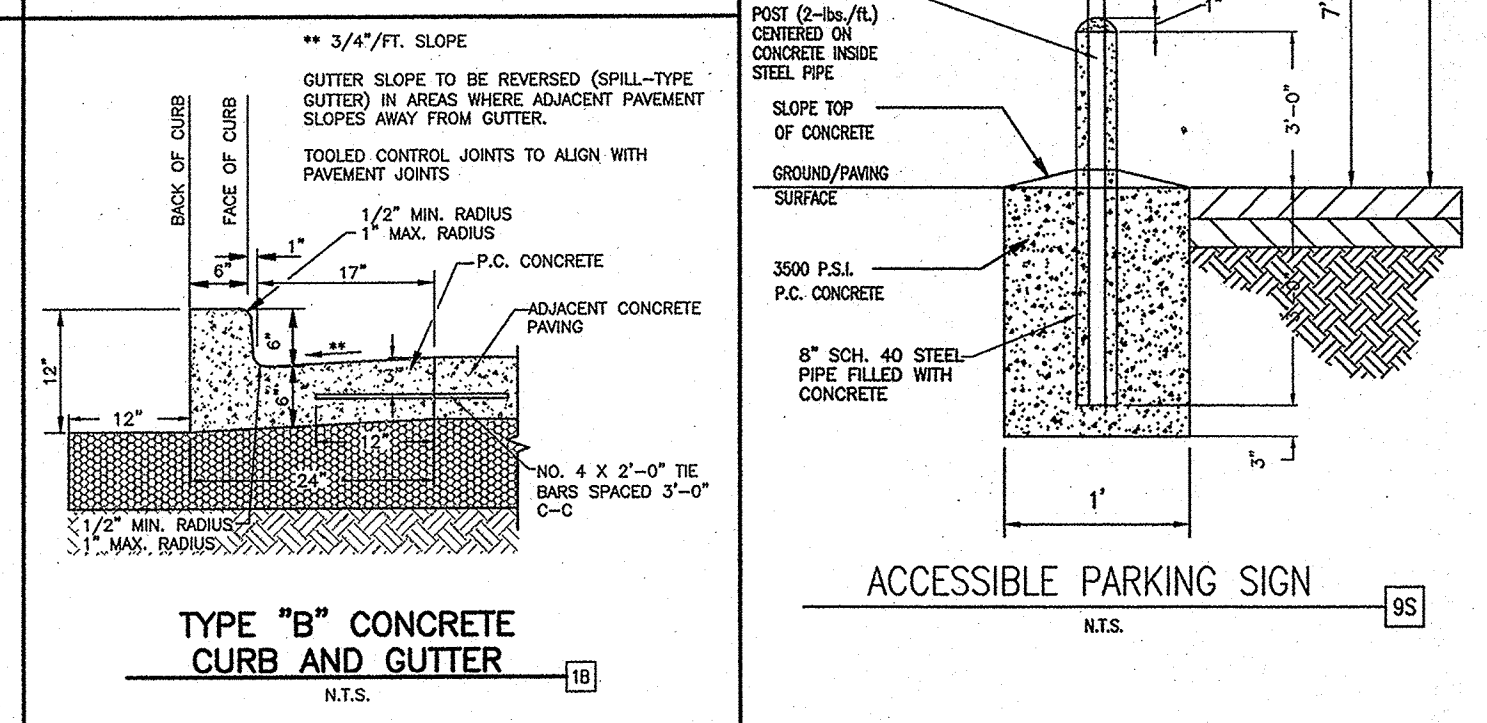
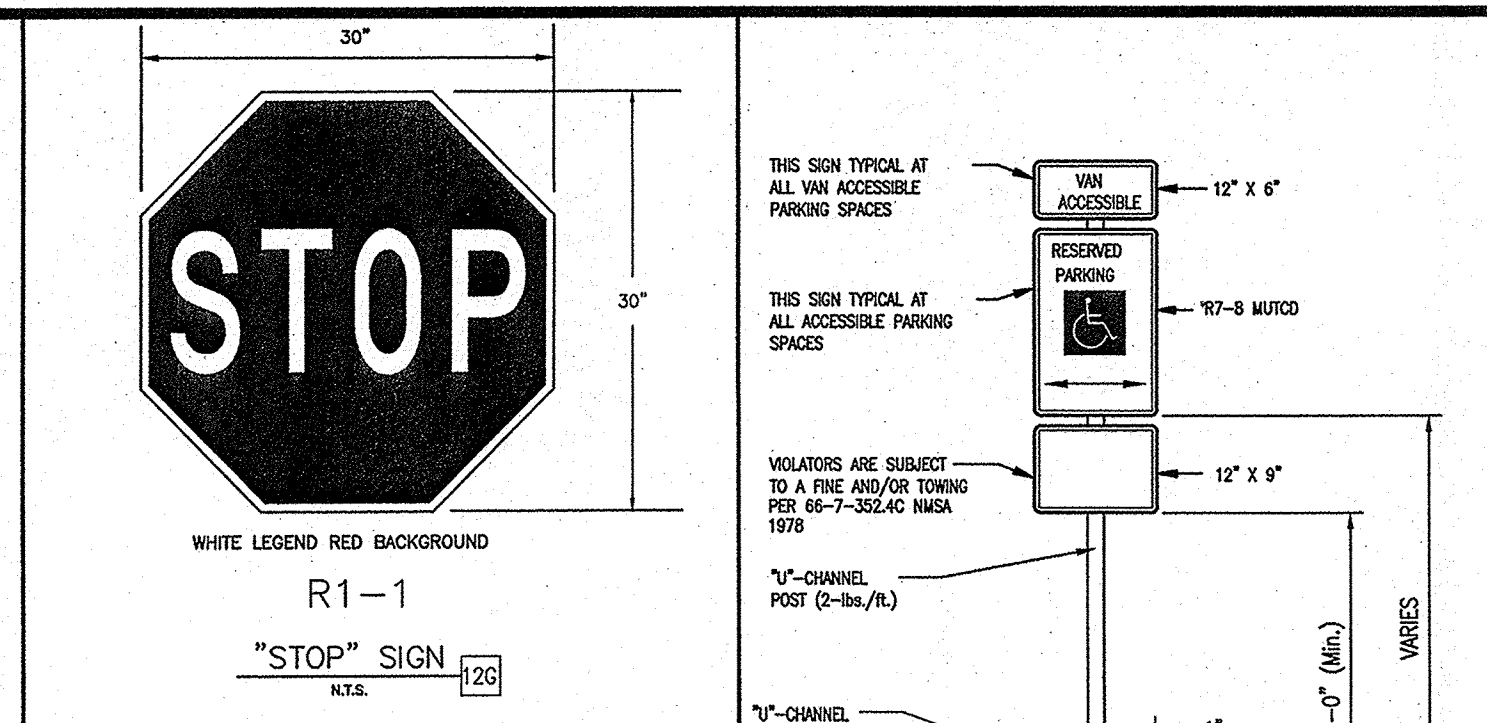
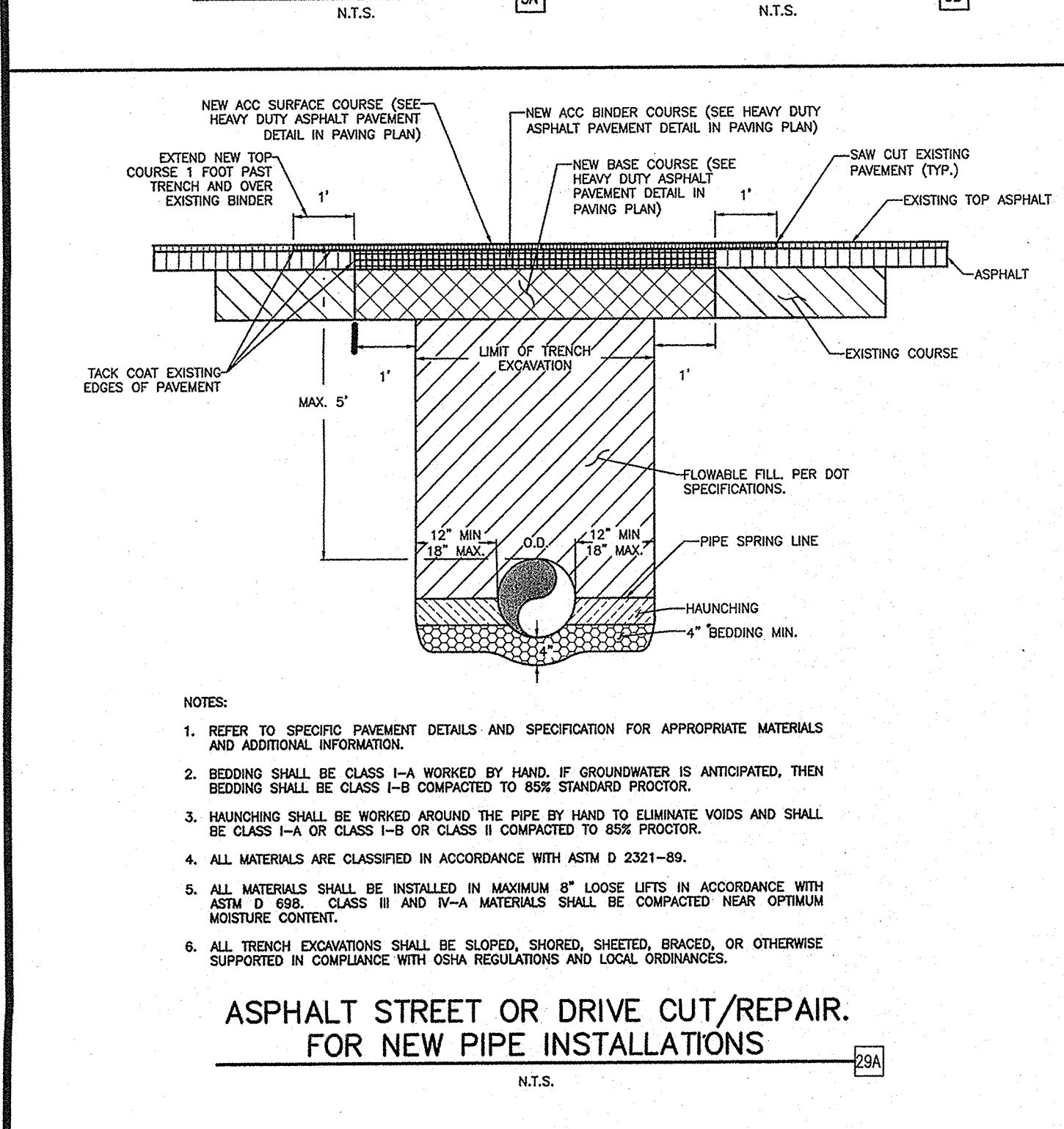
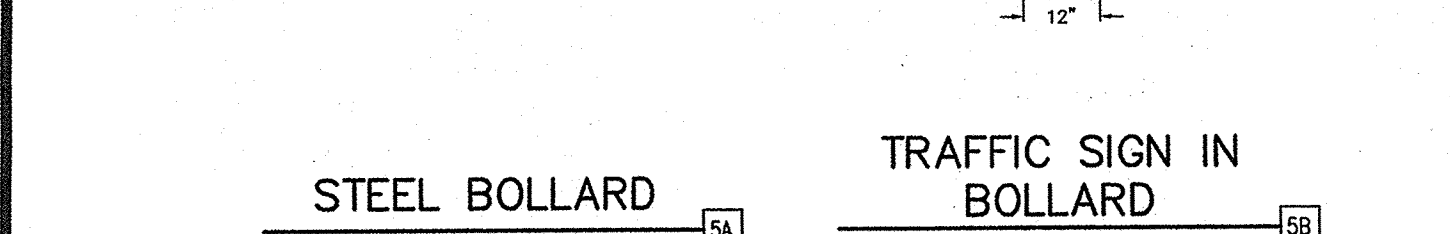
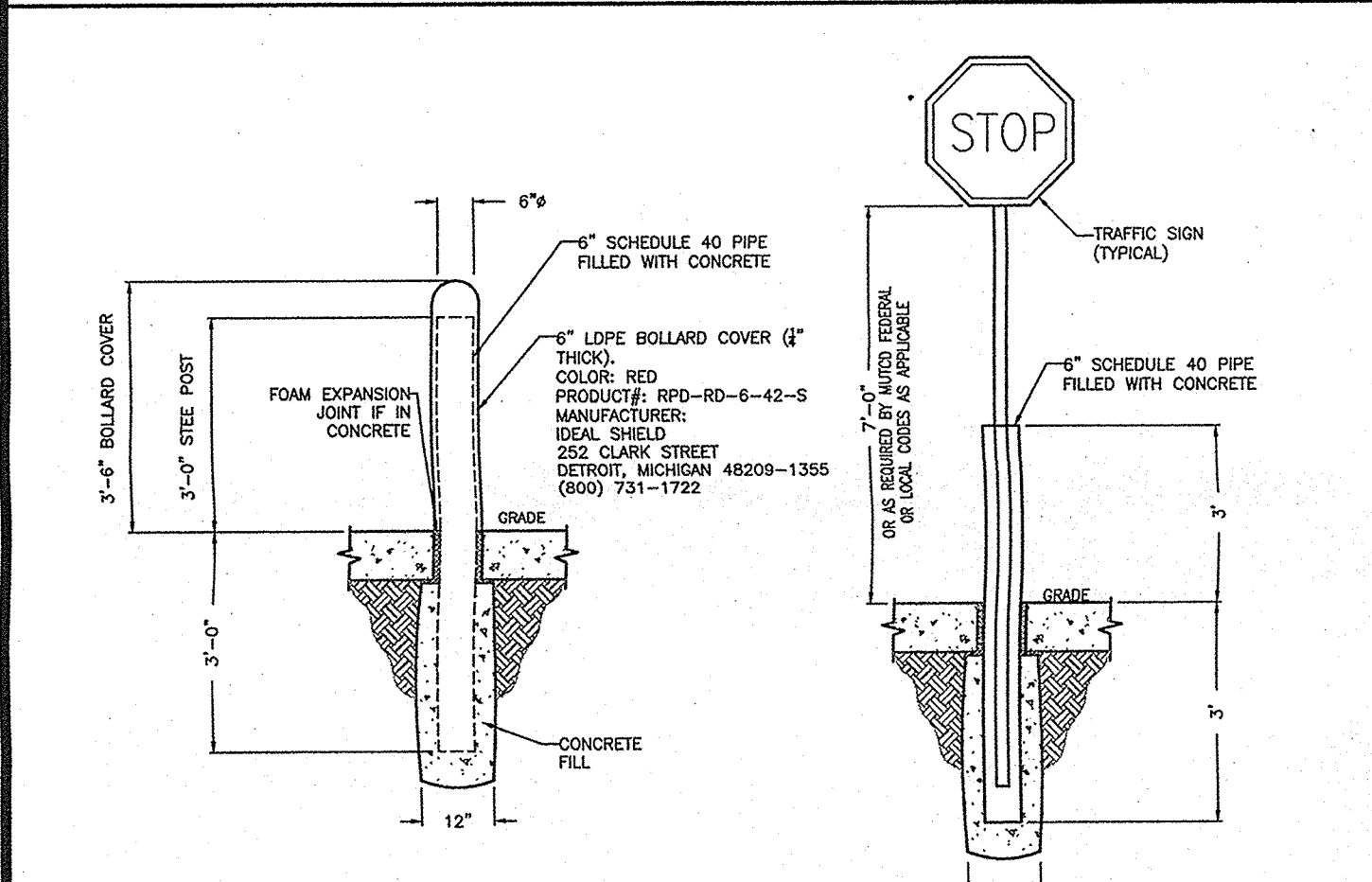
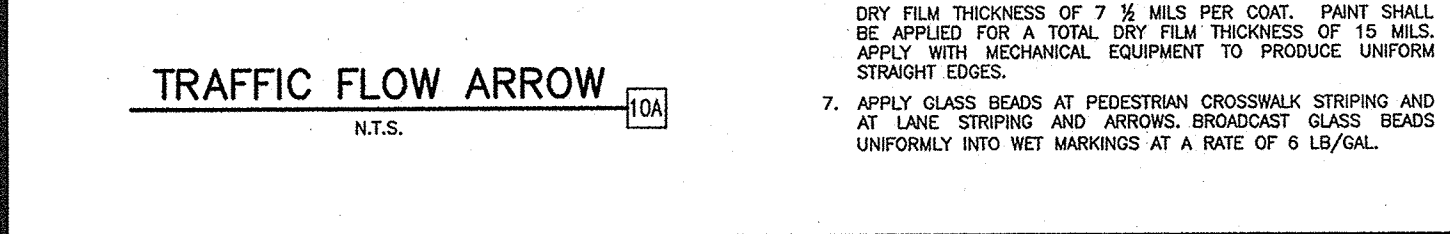
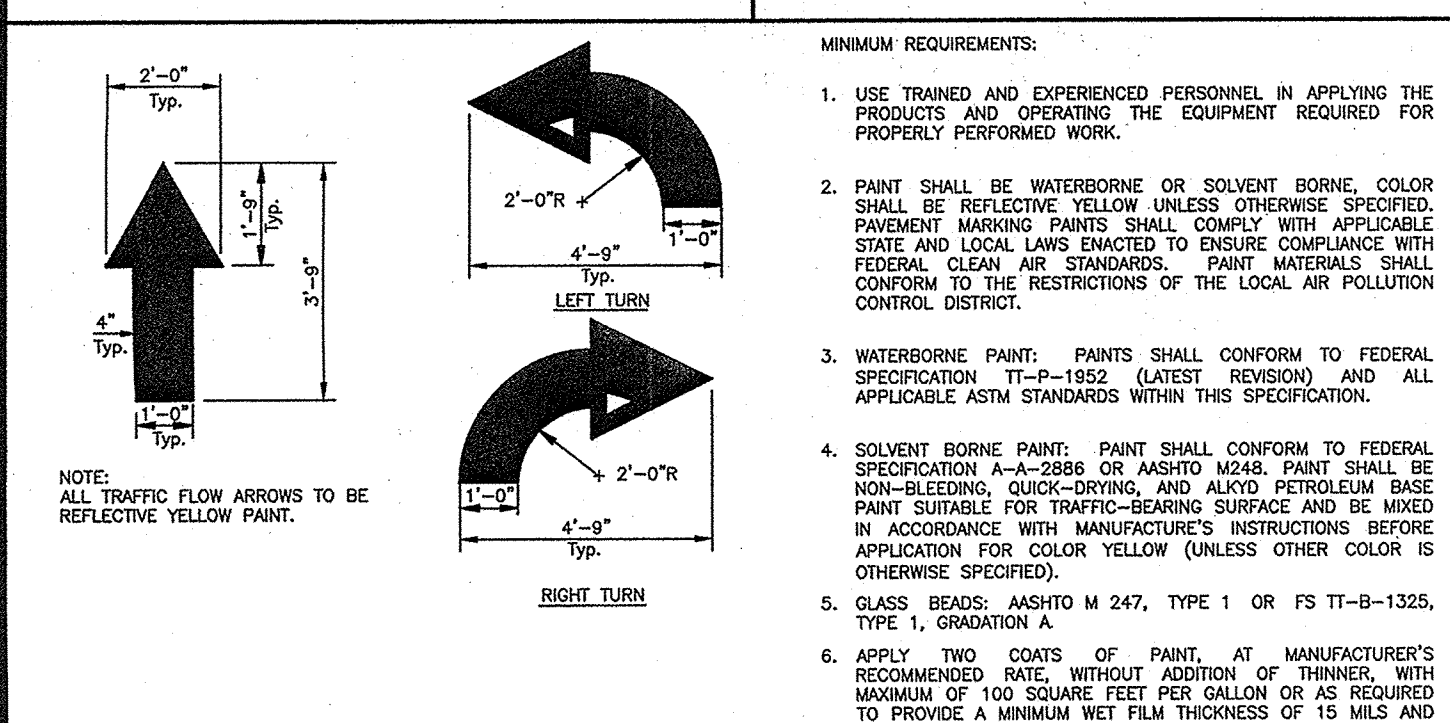
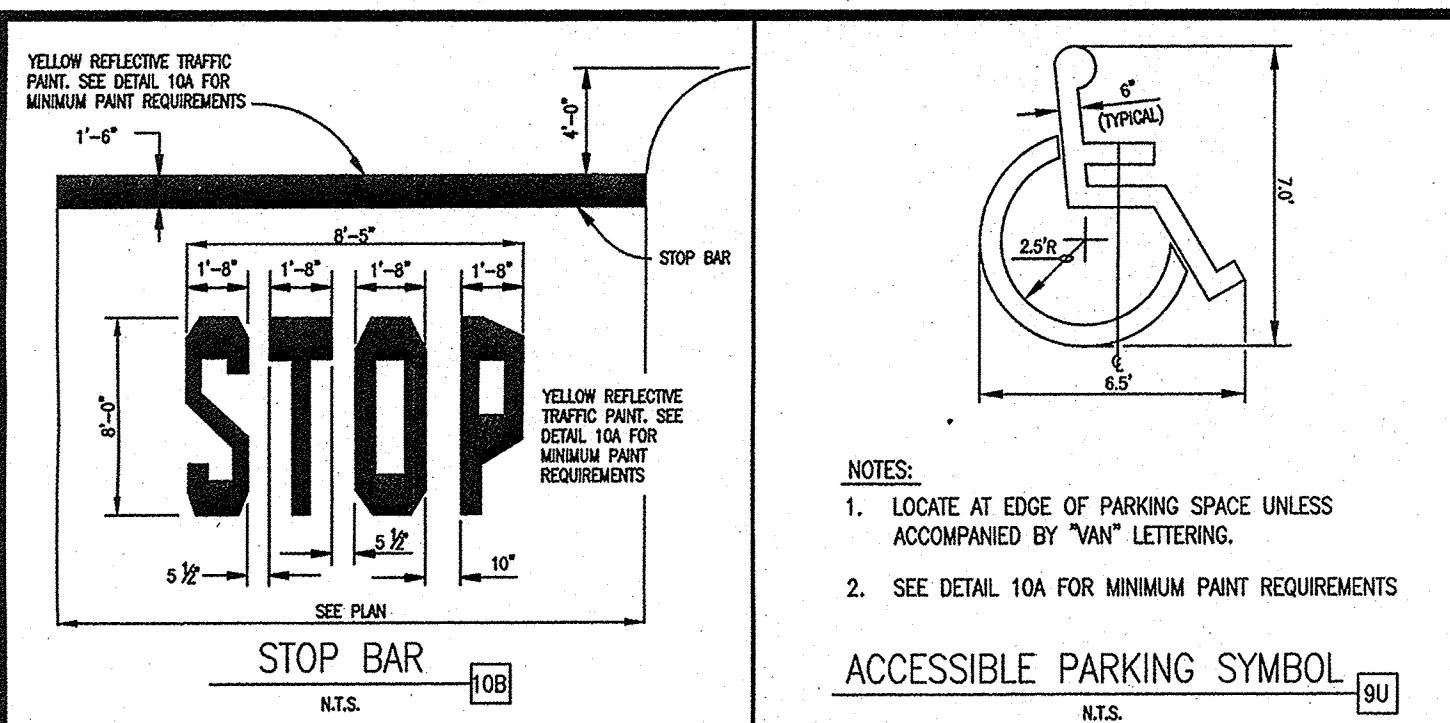
BRICK BUILDING
Floor Elev= 5365.6'

WARRANTY DEED
Filed 12-21-1994, Doc.#94147375

STUCCO BUILDING
Floor Elev= 5385.0'

WARRANTY DEED
Filed 10-23-1956, Vol. B3, Folio 41

Encroachment Agreement
Filed February 16, 2007 in
Book A132, Page 6593,
Doc.# 2007026643.





1430 West Peachtree Street, NW
Suite 200
Atlanta, GA 30309
404.601.4000
www.greenbergfarrow.com
We Are Global

July 2, 2019

To Shahab Biazar
City of Albuquerque

Project Murphy Oil - Albuquerque, NM
Project # 20161221.0
Re Traffic Certification

TRAFFIC CERTIFICATION

I, John Nourzad, NMPE 19062, OF THE FIRM GreenbergFarrow, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/3/17. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Donna Clark OF THE FIRM JMD Construction. I FURTHER CERTIFY THAT I HAVE REVIEWED SITE PICTURES OF THE PROJECT SITE ON 7/1/19 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE INFORMATION PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

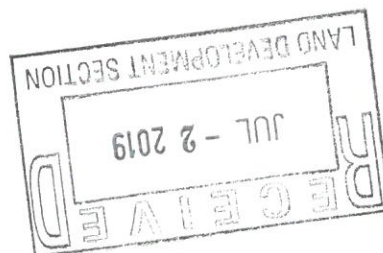
Signature of Engineer or Architect

ENGINEER'S STAMP



JUL 02 2019

Date





City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Murphy Express-Wyoming **Building Permit #:** _____ **Hydrology File #:** J20D037
DRB#: _____ **EPC#:** _____ **Work Order#:** CPN771580
Legal Description: TRACT A, BLOCK 8, MESA VILLAGE, VOL. B3, FOLIO 41 AND PORTION OF TRACT B, BLOCK 8, MESA VILLAGE, VOL. B3, FOLIO 41
City Address: 1358 Wyoming Blvd. NE, Albuquerque, NM 87112-5069

Applicant: GreenbergFarrow (Engineer) **Contact:** Charles Beadles
Address: 1430 W. Peachtree St. NW, Ste. 200, Atlanta, GA 30309
Phone#: 770-712-8093 **Fax#:** _____ **E-mail:** cbeadles@greenbergfarrow.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE
IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

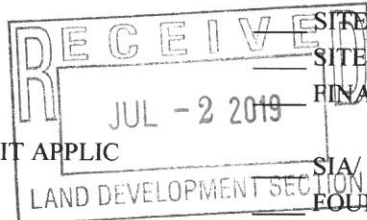
Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (TEMPORARY)
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____



DATE SUBMITTED: 7/2/19 **By:** [Signature]

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____