

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

September 14, 2020

John Nourzad, P.E.
GreenbergFarrow
3 Executive Drive, Suite 150
Somerset, NJ 08873

**RE: Murphy Express – Wyoming
1358 Wyoming Blvd
Permanent C.O. - Accepted
Engineer's Certification Dated 12/30/20
Engineer's Stamp Date: 01/12/18
Hydrology File: J20D037**

PO Box 1293

Dear Mr. Nourzad:

Albuquerque

Based on the Certification received 9/8/20 and site visit on 9/11/20, this certification is approved in support of Permanent Release of Occupancy by Hydrology. The deficiencies noted in the Temporary Certificate of Occupancy have been addressed.

NM 87103

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

July 3, 2019

John Nourzad, P.E.
GreenbergFarrow
3 Executive Drive, Suite 150
Somerset, NJ 08873

**RE: Murphy Express – Wyoming
1358 Wyoming Blvd
Temporary C.O. - Accepted
Engineer's Certification Dated 07/01/19
Engineer's Stamp Date: 01/12/18
Hydrology File: J20D037**

PO Box 1293

Dear Mr. Nourzad:

Albuquerque

Based on the Certification received 07/02/2019 and site visit on 07/03/19, this certification is approved in support of Temporary Release of Occupancy by Hydrology. The following comment needs to be addressed prior to acceptance for Permanent C.O. of the above referenced project:

NM 87103

1. Please install the drain cover and finish the landscape rocks at the rear of the building.



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CITY OF ALBUQUERQUE

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- Please finish installing the landscape rocks within the pond to stop erosion which is currently evident from the recent rainfall.



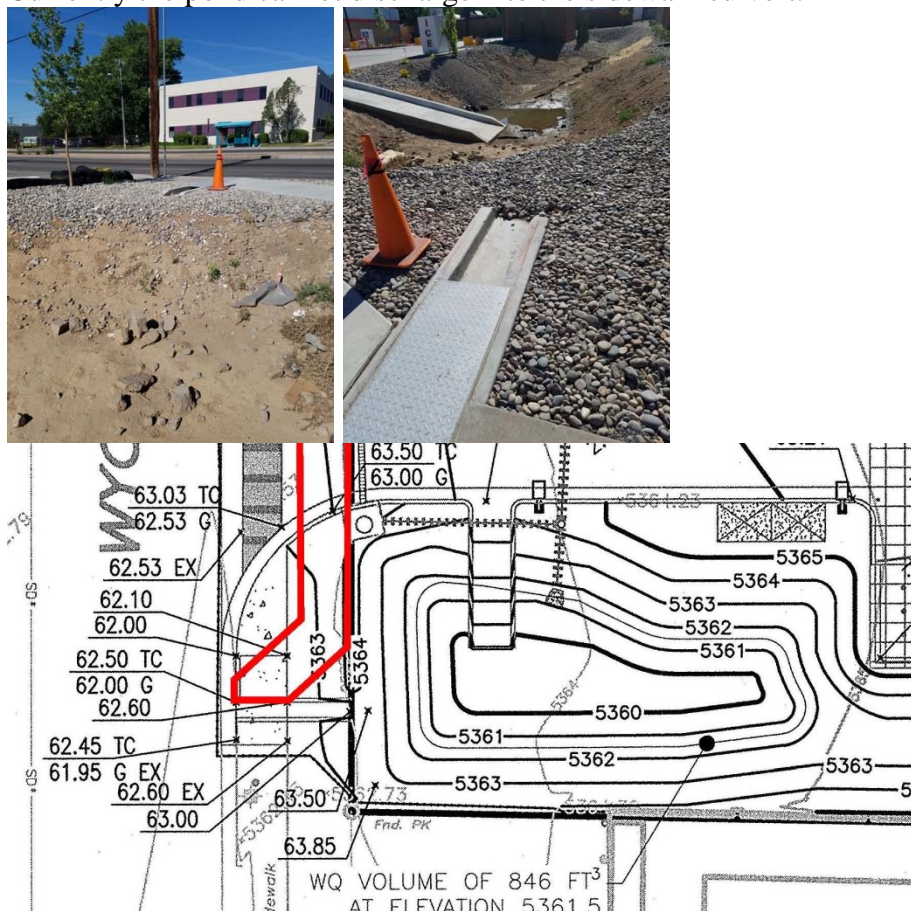
- The pond also needs to be reshaped at the outfall sidewalk culvert per the approved plans. Currently the pond cannot discharge into the sidewalk culvert.

PO Box 1293

Albuquerque

NM 87103

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CITY OF ALBUQUERQUE

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4. Also Code Enforcement is requiring a fence around the pond for safety. This fence needs to be installed.
5. Also Street Maintenance needs to approve the sidewalk culvert. I have contacted them to review this and let me know if it passes.
6. Finally, the work order needs to be closed out on the Alley.

Please resubmit for a request for permanent release of Certificate of Occupancy once all of these items have been fixed. A resubmittal fee of \$150 will be required.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

PO Box 1293

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

Albuquerque

NM 87103

www.cabq.gov



1430 West Peachtree Street, NW
Suite 200
Atlanta, GA 30309
404.601.4000
www.greenbergfarrow.com
We Are Global

January 3, 2020

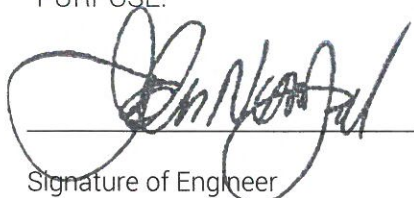
To Renee Brissette
City of Albuquerque

Project Murphy Oil - Albuquerque, NM
Project # 20161221.0
Re Hydrology Certification

HYDROLOGY CERTIFICATION

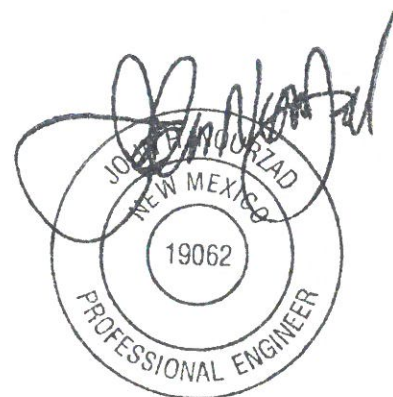
I, John Nourzad, NMPE 19062, OF THE FIRM GreenbergFarrow, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/04/18, WITH THE EXCEPTION OF THE PROPOSED TRENCH DRAIN AT THE WYOMING BOULEVARD ENTRANCE WHICH WAS NOT INSTALLED. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY THE SITE AS-BUILT SURVEY PREPARED BY SURV-TEK CONSULTING SURVEYORS, DATED 12/31/19. I FURTHER CERTIFY THAT I HAVE REVIEWED SITE PICTURES OF THE PROJECT SITE AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE INFORMATION PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



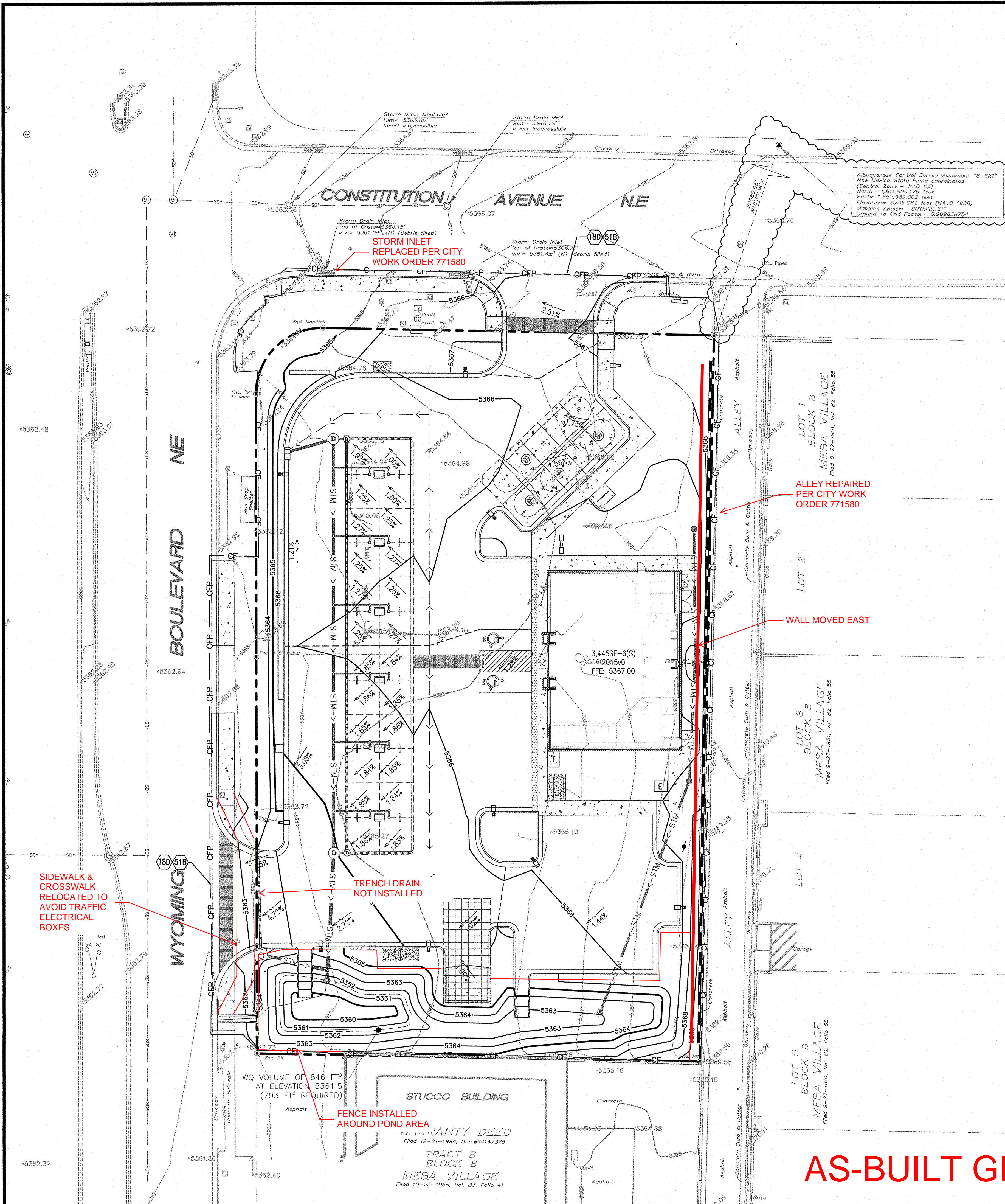
Signature of Engineer

ENGINEER'S STAMP



JAN 03 2020

Date



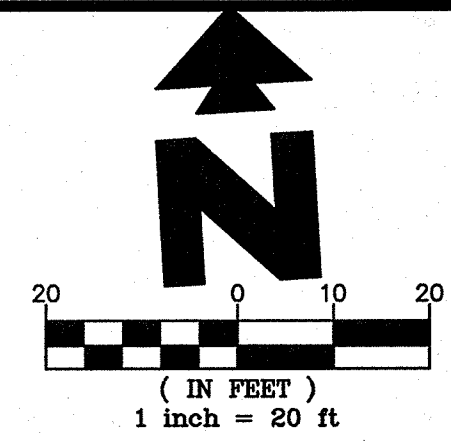
CITY WATER QUALITY REQUIREMENT

0.26 X IMPERVIOUS AREA X 43560 X (1/12):

0.26 IN X 0.84 AC X 43560 X (1FT/12IN)

= 793 FT³

CROSSWALKS AND AREAS WITHIN 5' OF BUILDING SHALL HAVE A MAXIMUM CROSS SLOPE OF 2%



EXISTING	
Sanitary Sewer Manhole	Telephone Pedestal
Sanitary Sewer Manhole as shown on provided plans - Not Found	Traffic Light Pole
Manhole Unknown Utility	Overhead Traffic Light Pole
Storm Drain Inlet	Pedestrian Pushbutton Post
Power Pole	Utility Box
Power Pole w/underground feed	Light Pole
Power Pole/Light Pole	Bollard
Guy Wire	Concrete Symbol
Sanitary Sewer Clean-out	Gas Meter
Water Meter	Gas Valve
Water Valve	Metal Post Fence
Hydrant	Chain Link Fence
Electric Pedestal	Guard Rail
Electric Meter	West Manhole
Traffic Box	Communications Manhole
SANITARY SEWER LINE	Sign
STORM DRAIN LINE	Trees
GAS LINE	
OVERHEAD POWER LINE	

PROPOSED	
---	PROPERTY LINE
---	CONCRETE CURB & GUTTER
XXXX	PROPOSED CONTOUR
CF	CONSTRUCTION FENCE
CFP	CONSTRUCTION FENCE ON PAVEMENT (SEE DETAIL SHEETS)
---	DRAINAGE SLOPE AND DIRECTION
XXXX TO	SPOT ELEVATIONS:
XXXX G	TOP OF CURB
XXXX TOI	GUTTER
XXXX EX	TOP OF ISLAND
XXXX TS	EXISTING ELEVATION
	TOP OF SIDEWALK
---	RIDGELINE
STM-->	PROPOSED STORM SEWER PIPE
	HO ACCESSIBLE PATH. CROSS SLOPE SHALL BE 2% OR LESS
---	DRAINAGE PATH

- NOTE: SPOT ELEVATIONS SHORTENED FOR CLARITY. ADD 5300 TO ELEVATION STATED.
- GENERAL GRADING NOTES
- A. PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS OR REQUIRED DEVIATIONS FROM THE PLAN PRIOR TO CONSTRUCTION. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION, THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- B. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- C. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- D. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE PROPOSED GRADES SHOWN ON THESE PLANS ARE NOT FROM AN AS-BUILT SURVEY. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS BEFORE COMMENCING CONSTRUCTION. EXISTING AND PROPOSED CONTOURS ARE FOR REFERENCE ONLY.
- E. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF THE CONSTRUCTION TRAILER AND FENCING SHALL NOT AFFECT THE WAL-MART TRAFFIC FLOW.
- F. CONTRACTOR TO FIELD VERIFY ELEVATIONS OF PROPOSED DRAINAGE STRUCTURES AND ADJACENT PAVEMENT CONSTRUCTED BY WAL-MART PRIOR TO STARTING CONSTRUCTION.
- G. REFER TO GEOTECHNICAL REPORT FOR SPECIFIC SITE SOIL CONDITIONS AND CONSIDERATIONS.
- H. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
- I. CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO KEEP SEDIMENT FROM ENTERING THE WAL-MART PARKING AREA AND ENSURE THAT THE PARKING AREA IS KEPT CLEAN.
- J. ALL HDPE PIPE SHALL BE N-12 WT 18" (OR EQUIVALENT) WITH SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS. 4"-48" PIPE SHALL MEET ASTM F2648 (OR AASHTO M252 TYPE S) REQUIREMENTS, AND SHALL HAVE A MINIMUM MANNINGS "n" DESIGN VALUE OF 0.012. JOINTS SHALL BE WATER TIGHT ACCORDING TO ASTM D3212 (OR AASHTO M252, M294) REQUIREMENTS. GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477. JOINT PERFORMANCE, FITTINGS, MATERIAL PROPERTIES, AND INSTALLATION SHALL BE DONE PER THE COMPLETE ADS SPECIFICATION FOR ADS N-12 WT 18" PIPE FOUND IN THE ADS, INC. DRAINAGE HANDBOOK, LATEST EDITION.
- K. IF USING HDPE PERFORATED PIPE FOR SUBSURFACE DRAINAGE AND DETENTION/RETENTION SYSTEMS, THE PERFORATIONS SHALL MEET THE AASHTO CLASS II STANDARD PERFORATION PATTERN REQUIREMENTS.
- GRADING NOTES
- 180 MATCH EXISTING PAVEMENT ELEVATIONS
- 518 LIMITS OF SAWCUT AND PAVEMENT REMOVAL

AS-BUILT GRADING PLAN

SHEET NO.

C-3

JOHN H. NOURZAD

NEW MEXICO

19062

1/12/18

DS

DES

TR

PM

YO

PRN

DATE

REV-2

GRADING PLAN

MURPHY EXPRESS

1358 WYOMING BLVD

ALBUQUERQUE NEW MEXICO

GreenbergFarrow

1450 W. PEACH STREET, N.W.

ATLANTA, GA 30309

PHONE: (404) 604-4000

DWG NAME: ALBUQUERQUE NM

JOB NO: 2016121.0

2016121.0

MURPHY OIL USA, INC.

200 PEACH ST.

EL DORADO, AR 71730

MURPHY

USA