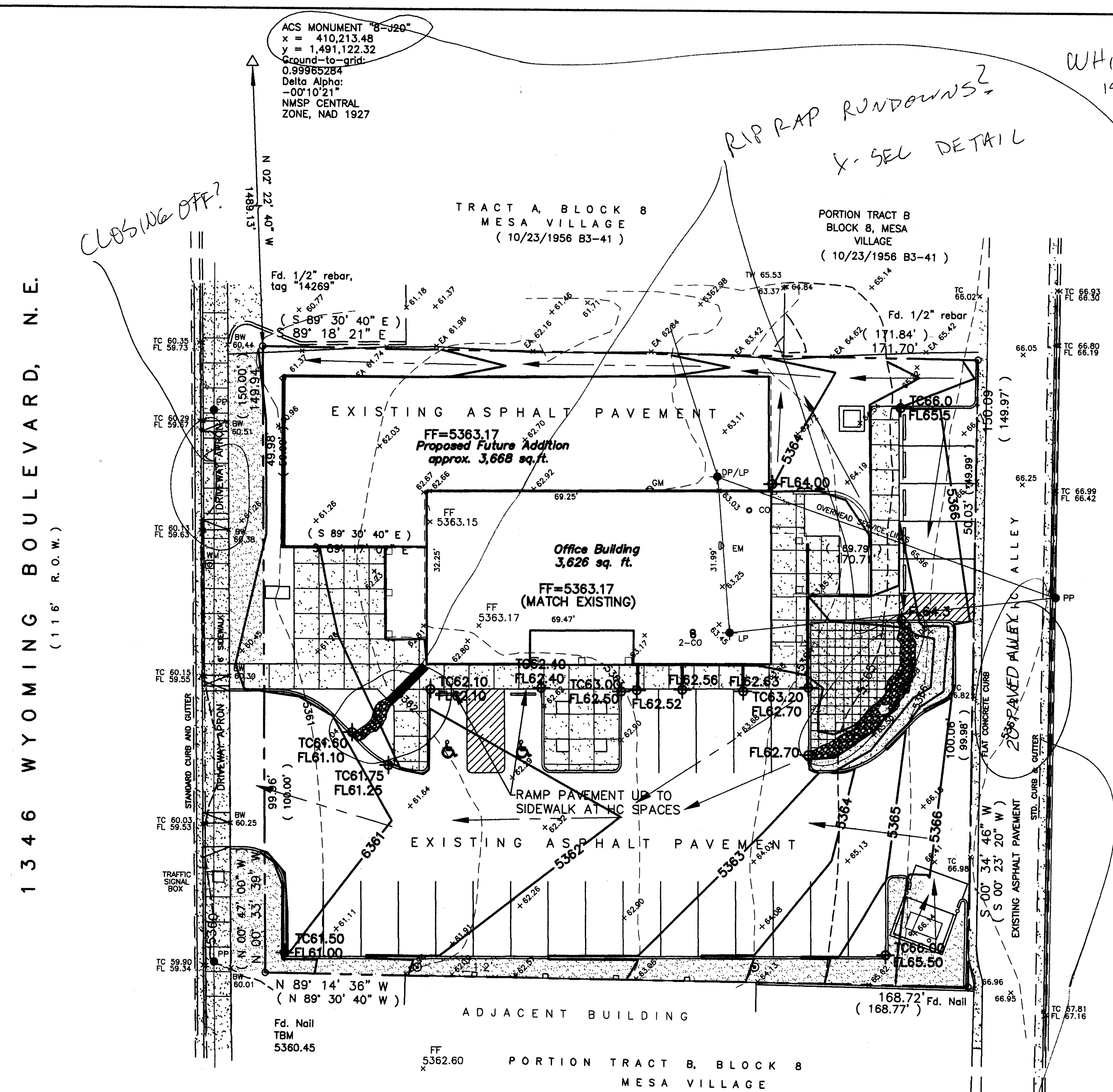


SURVEYOR NOTES:

LEGEND:

- EM ELECTRIC METER
- GM GAS METER
- WM WATER METER
- CO SEWER CLEANOUT
- PP POWER POLE
- LP LIGHT POLE
- CHAIN LINK FENCE
- CONCRETE BLOCK WALL
- PIPE RAIL
- OVERHEAD UTILITY LINE
- EXISTING CONTOURS @ 1 FT. INTERVALS
- —5110— INDEX CONTOURS @ 5 FT. INTERVALS
- +67.12 SPOT ELEVATION UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO TOP OF ASPHALT
- EA EDGE OF ASPHALT
- TC TOP OF CURB / CONCRETE
- TW TOP OF WALL
- BW BACK OF SIDEWALK
- CONCRETE PAVEMENT

GENERAL NOTES:

1 This is not a boundary survey.

2 Basis of elevations: ACS STA. 11-J20, Aluminum Disk on top of concrete base of traffic light stanchion, NNE quadrant of Constitution Ave, & Moon St. NE ELEV. 5412.66

3 TBM Nail, marking the Southwest property corner ELEV. 5360.45

DESCRIPTION / FLOOD NOTE

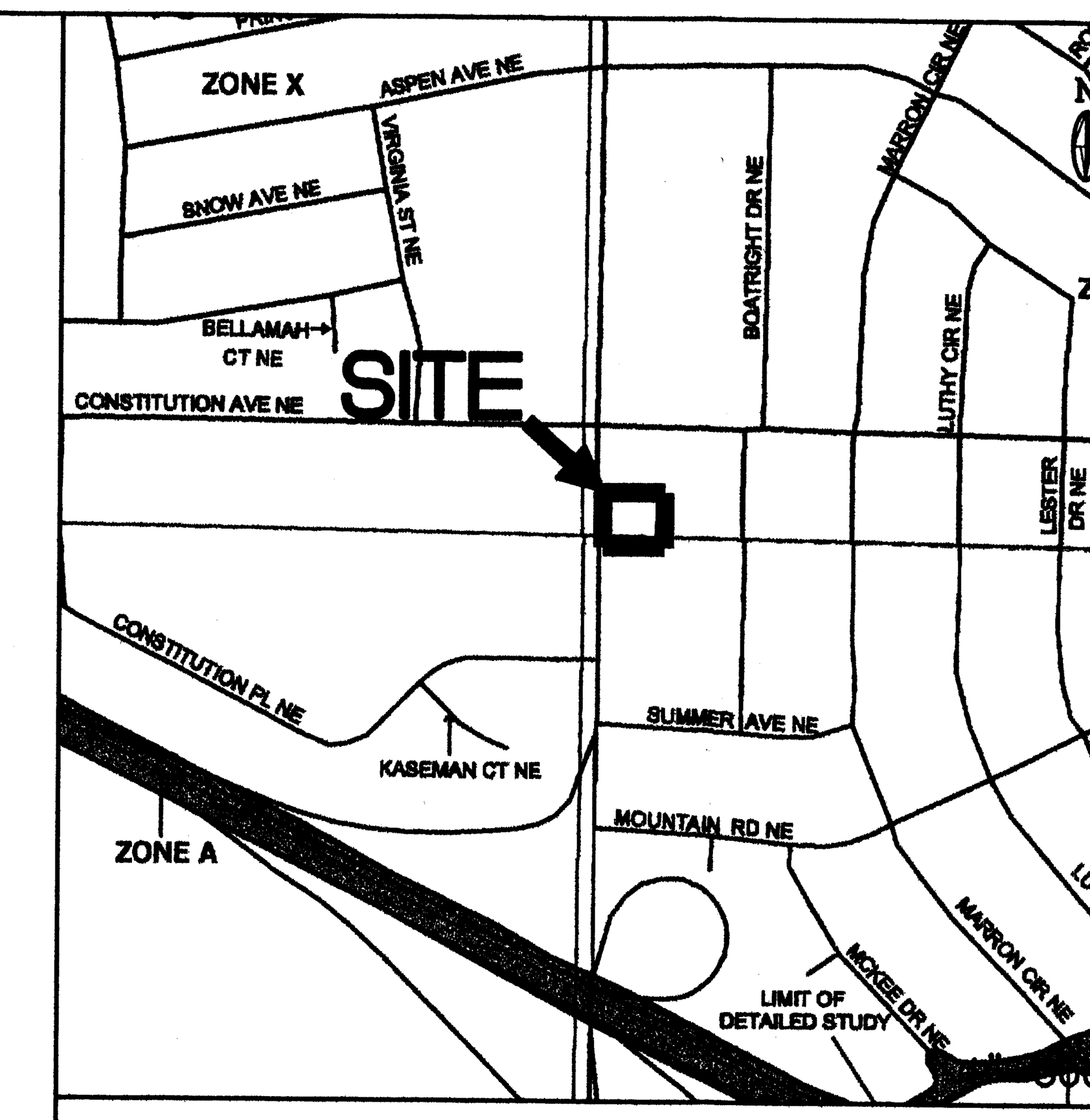
Two Tracts of Land in the City of Albuquerque, New Mexico, being and comprising a portions of Tract Lettered "B" of Bellamah & Mossman's Subdivision of W. ½ of Block No. 8, of MESA VILLAGE SUBDIVISION, within the City of Albuquerque, New Mexico, as the same is shown and designated on the plat of said Bellamah & Mossman's Subdivision, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on the 23rd day of October, 1956.

The above described property is located within Zone "X (No flood hazard)", Community Panel No. 350002 03583 F, dated November 19, 2003, and is not located within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only.

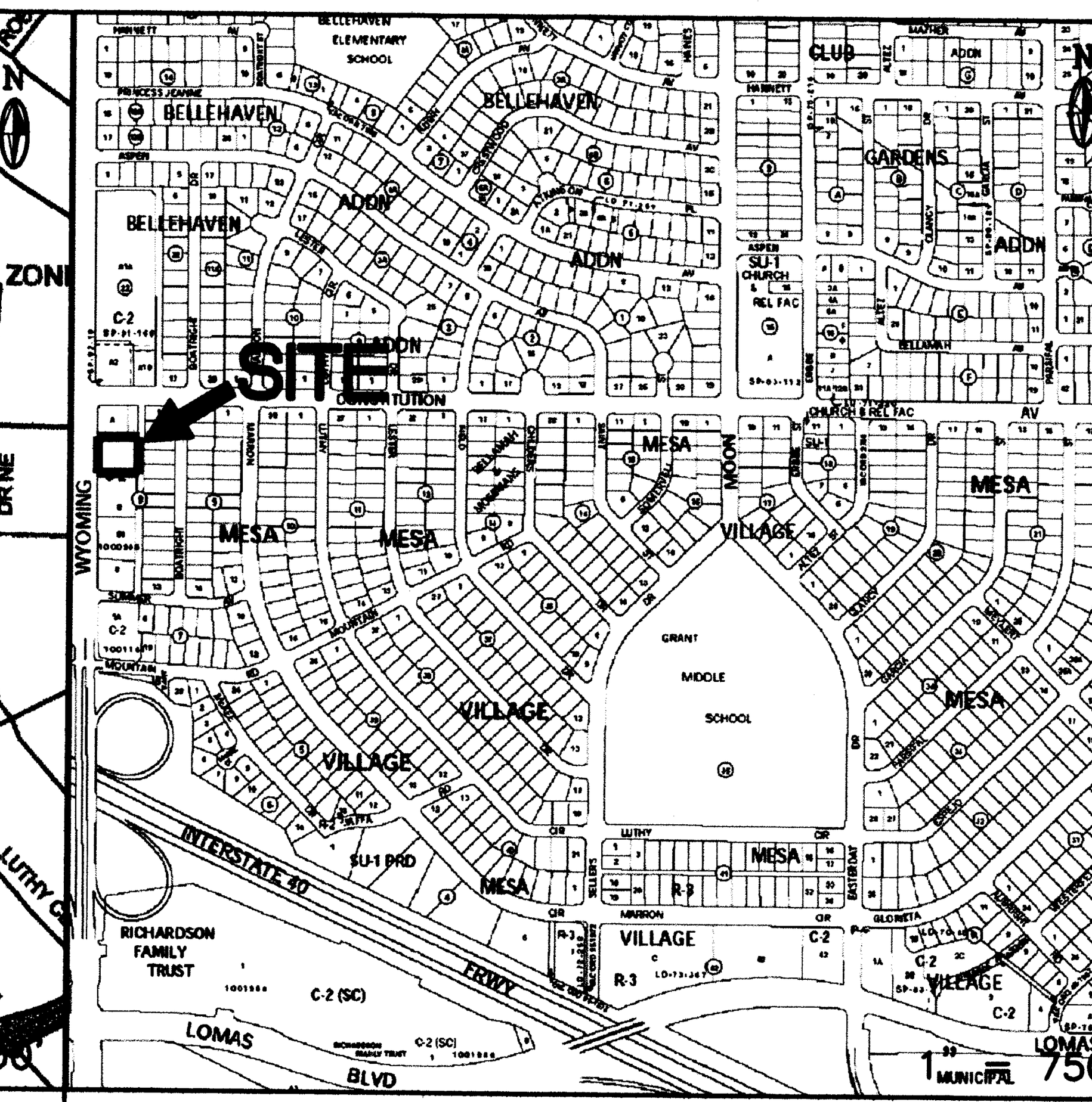
REFERENCE RIGHT PANEL * (TYPO)

SURVEYOR'S CERTIFICATION

This is to certify that a topographic site survey on the above referenced property was performed by me or under my supervision and that the information contained herein is true and correct to the best of my belief and knowledge. This does not constitute a corner or boundary survey.



FEMA FLOODWAY MAP-PANEL 356 & 358



VICINITY MAP ZONE ATLAS: J-20

DRAINAGE PLAN

SCOPE:

Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. An existing building is to be demolished and replaced with a new building with a future building addition along with associated access, parking and landscaping.

EXISTING CONDITIONS:

Presently the 0.59 acre site is developed with an existing building and asphalt parking. The site is bounded on the north and south by developed private commercial property, on the east by a public alley, and on the east by Wyoming Boulevard. The site slopes from the east to the west at 3 percent. As shown by the FEMA Map Panel No. 356, the site is not located in a 100-year floodplain. A negligible amount of offsite runoff enters the site from the east alley and will continue to flow through the site in the same existing manner.

PROPOSED CONDITIONS:

As shown by the plan, a new building will replace the existing building with a future building addition. Proposed finished floor elevations will match the existing building finished floor elevation in order to us the existing building slab and infrastructure. On site flows will drain away from the buildings and continue to flow to the west to Wyoming Blvd. All roof drainage will discharge from the roof to the property and flow to existing drainage paths.

CALCULATIONS:

The calculations shown hereon define the 100 year/6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority, latest edition.

PROPERTY ADDRESS:

1346 Wyoming Blvd.

TOPOGRAPHY:

Topographic information provided by Wayjohn Surveying, Inc. dated January, 2007.

LEGEND

	EXISTING	PROPOSED
CONTOUR	— — —5365— — —	——5850——
PROPERTY LINE		
ROAD		
SETBACK		
WALL		
SPOT ELEVATION	+65.13	TC63.70 FL63.20

(*) RELO

TRACT B, BLOCK 8

WITHIN

MESA VILLAGE SUBDIVISION

CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

ADDRESS: 1346 WYOMING BLVD. NE

30-May-07

Calculations: Total Basin

Calculations are based on "Section 22.2 Hydrology of the Development Process Manual, Volume 2, Design Criteria for the City of Albuquerque, New Mexico, January 1993 - basins < 40 acres".

Precipitation Zone = 3

Depth at 100-year, 6-hour storm: (Table A-2) P = 2.60 inches

Areas: (acres)	Existing	Proposed
Treatment A	0.00	0.00
Treatment B	0.00	0.09
Treatment C	0.00	0.00
Treatment D	0.59	0.50
Total (acres) =	0.59	0.59

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.12	0.11	0.07	0.07	0.04	0.04
Volume (cubic feet) =	5,054	4,584	3,213	2,840	1,906	1,635

Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	0.00	0.00	0.00	0.00	0.00	0.00
Treatment B	0.00	0.23	0.00	0.11	0.00	0.02
Treatment C	0.00	0.00	0.00	0.00	0.00	0.00
Treatment D	2.96	2.51	2.00	1.70	1.20	1.02
Total Q (cfs) =	2.96	2.74	2.00	1.80	1.20	1.04

JACKIE S. McDOWELL NEW MEXICO REGISTERED PROFESSIONAL ENGINEER

5-30-07

UTILITY COMPANY INFORMATION:
P.N.M. GAS & ELECTRIC SERVICES 848-4944
QWEST COMMUNICATIONS 245-8706
COMCAST CABLE 761-6273

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

GRADING
5-30-07
1=20
CAU0107L

CITY OF ALBUQUERQUE, BERNALILLO COUNTY			NEW MEXICO
TRACT B, BLOCK 8 MESA VILLAGE SUBDIVISION CAUWELS & STUVE			
KUNKLE – VALENCIA BAR RENOVATION GRADING & DRAINAGE PLAN			
McDowell Engineering, Inc. 7820 Beverly Hills Ave. NE, Albuquerque, NM 87122 Tele: (505) 828-2430 Fax: (505) 821-4857			
Designed JSM	Drawn STAFF	Checked JSM	Sheet 1 of 1
File CAU0107L	Date MAY,2007		