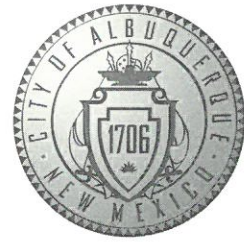


CITY OF ALBUQUERQUE



October 30, 2017

Greenbergfarrow
Trae rushing
1430 W. Peachtree St. NW
Atlanta GA, 30309

Re: Murphy Express
1358 Wyoming Blvd NE
Traffic Circulation Layout
Engineer's Stamp 10-27-17 (J20-D037)

Dear Mr. Rushing,

Based upon the information provided in your submittal received 10-24-17, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The no parking sign in the ADA access aisle may obstruct the ADA path. This sign is not needed.
2. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible. The pedestrian path next to the north entrance needs to be protected with curb or header wall.
3. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb. The parking next to the building should have parking bumpers. The plan refers to M3 on sheet C-12, but I am not seeing a M3.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact me at 924-3630.

Sincerely,

Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

LWP via: email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

MURPHY SITE: 1.08 AC
AREA DISTURBED: 1.21 AC

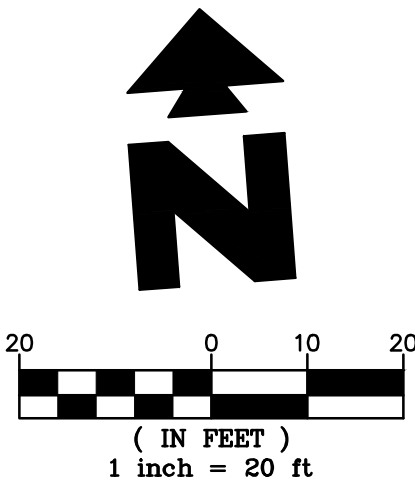
ZONING:
C-2 (COMMUNITY COMMERCIAL)

3445SF-6(S)-2015v2

SHEET NO.

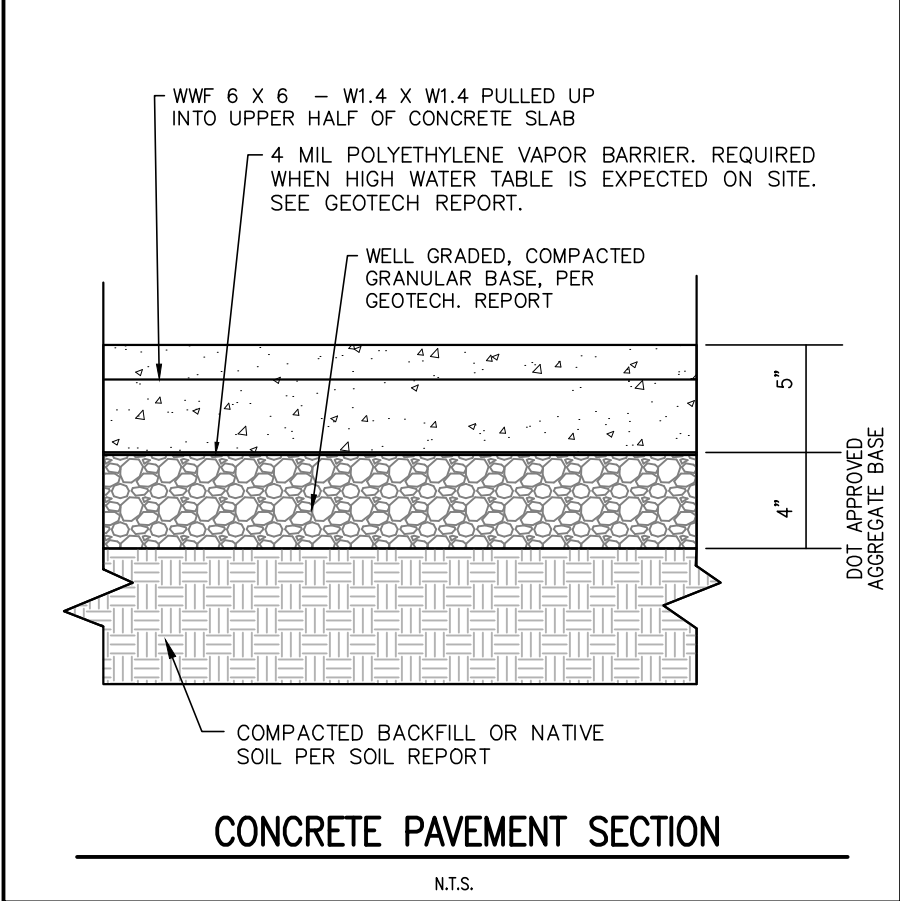
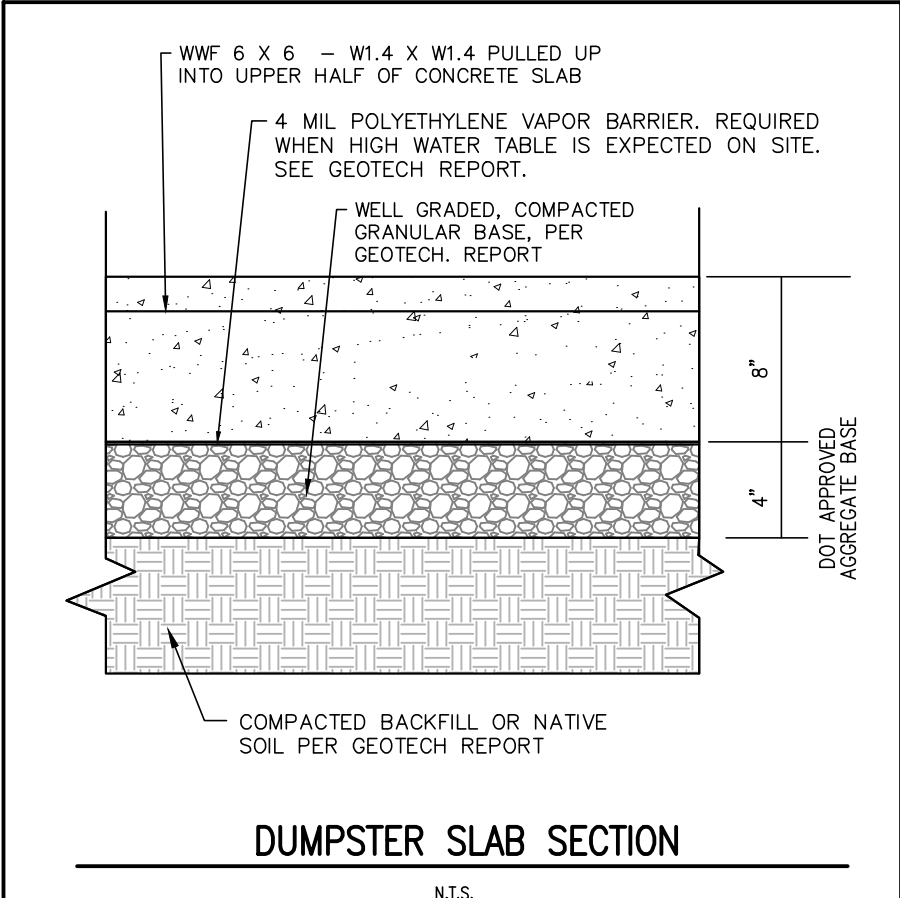
TCL-1

PROPOSED USE:
FUELING STATION WITH
CONVENIENCE STORE



POST-DEV LAND USE

IMPERVIOUS AREA	0.73 AC
PERVIOUS AREA	0.35 AC
TOTAL AREA	1.08 AC



PAVING DETAILS

[Pattern]	CONCRETE PAVING FOR TANK. SEE TANK/PIPING PLANS FOR DESIGN AND DETAILS.
[Pattern]	CONCRETE DUMPSTER SLAB
[Pattern]	CONCRETE PAVING

EXISTING

Sanitary Sewer Manhole	Telephone Pedestal
Sanitary Sewer Manhole as shown on provided plans - Not Found	Traffic Light Pole
Manhole Unknown Utility	Overhead Traffic Light Pole
Manhole as shown on provided plans - Not Found	Pedestrian Pushbutton Post
Storm Drain Inlet	Utility Box
Power Pole	Light Pole
Power Pole w/underground feed	Bollard
Power Pole/Light Pole	Concrete Symbol
Guy Wire	Gas Meter
Sanitary Sewer Clean-out	Gas Valve
Water Meter	Metal Post Fence
Water Valve	Chain Link Fence
Hydrant	Guard Rail
Electric Pedestal	West Manhole
Electric Meter	Communications Manhole
Traffic Box	Sign
	Tree

PROPOSED

---	BOUNDARY LINE
---	CONCRETE INTEGRAL CURB
---	CONSTRUCTION FENCE (SEE DETAIL SHEETS)
---	CONSTRUCTION FENCE ON PAVEMENT (SEE DETAIL SHEETS)
---	BUILDING/CANOPY CONTROL POINT

- GENERAL SITE NOTES
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CURB RETURN RADII SHALL BE 5', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
 - UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON:
 - ALL CURB ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 1A.
 - PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVING PLAN OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES.
 - SEE ASSOCIATED PLANS FOR CANOPY, COLUMN, PUMP ISLAND DETAILS AND LAYOUT.
 - CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
 - THE LOCATION OF THE CONSTRUCTION FENCE ON THE DRAWINGS IS FOR GRAPHICAL REPRESENTATION ONLY. THE CONTRACTOR IS TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA.
 - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - CONTRACTOR SHALL PURCHASE AND INSTALL A MAILBOX, AND SHALL COORDINATE LOCATION OF MAILBOX WITH MURPHY CONSTRUCTION MANAGER AND/OR ON-SITE REPRESENTATIVE AND LOCAL POSTMASTER.
 - ALL PROPOSED PAVEMENT STRIPING OR MARKINGS SHALL FOLLOW THE SPECIFICATIONS FOR PAINT INCLUDED IN DETAIL 10A.

PARKING INFORMATION: MURPHY OIL

DESCRIPTION	BUILDING AREA (S.F.)	REQUIRED:			
		RATIO	REGULAR	ACCESSIBLE	VAN ACCESSIBLE
MURPHY OIL	3,445	/200 S.F.	17	1	18
STALL DIMENSIONS:		PROVIDED:			
90': 9' x 19' (11 SPACES)		RATIO	REGULAR	ACCESSIBLE	VAN ACCESSIBLE
90': 9' x 20' (8 SPACES)		/200 S.F.	19	2	21
90': 8' x 20' (2 SPACES)					

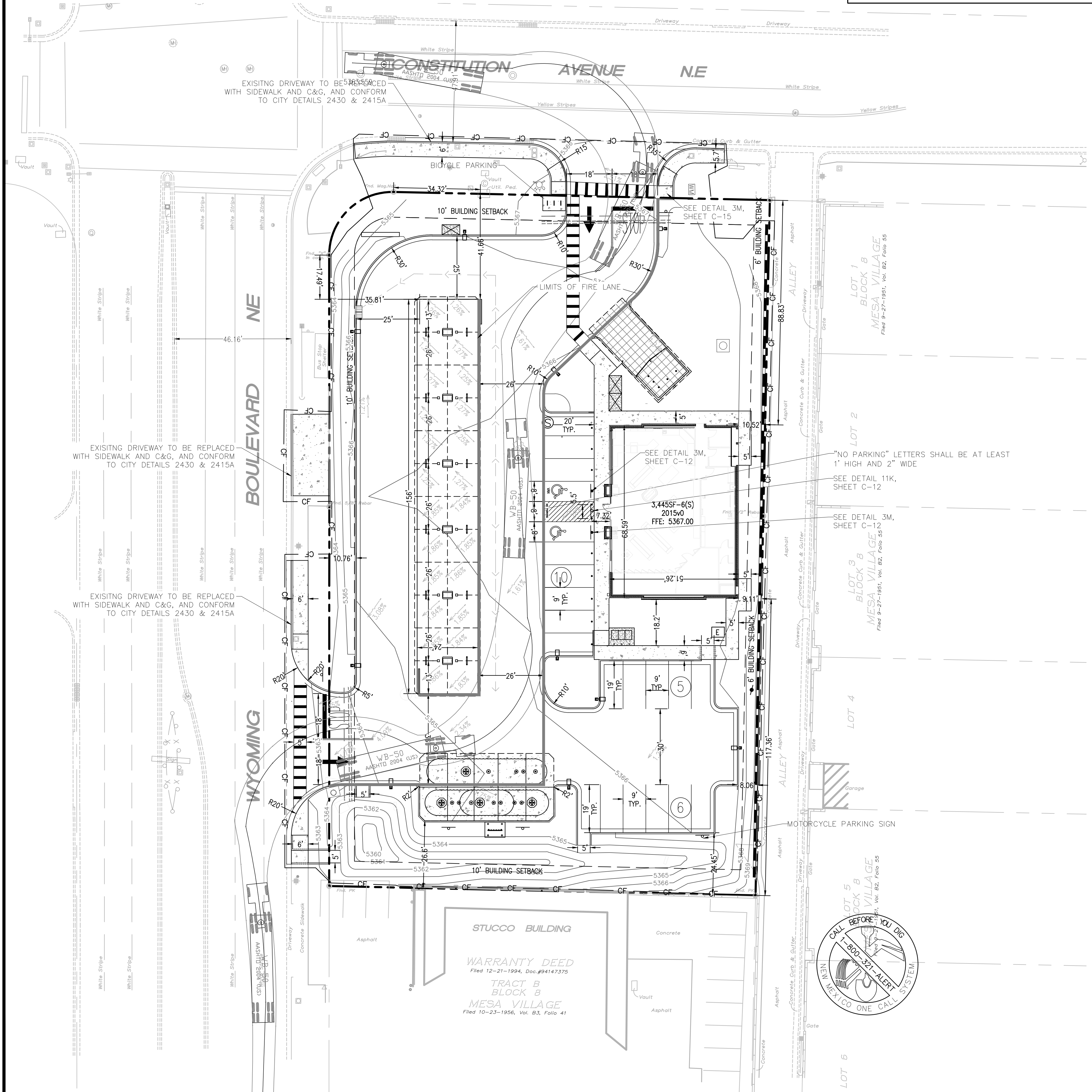
GreenbergFarrow

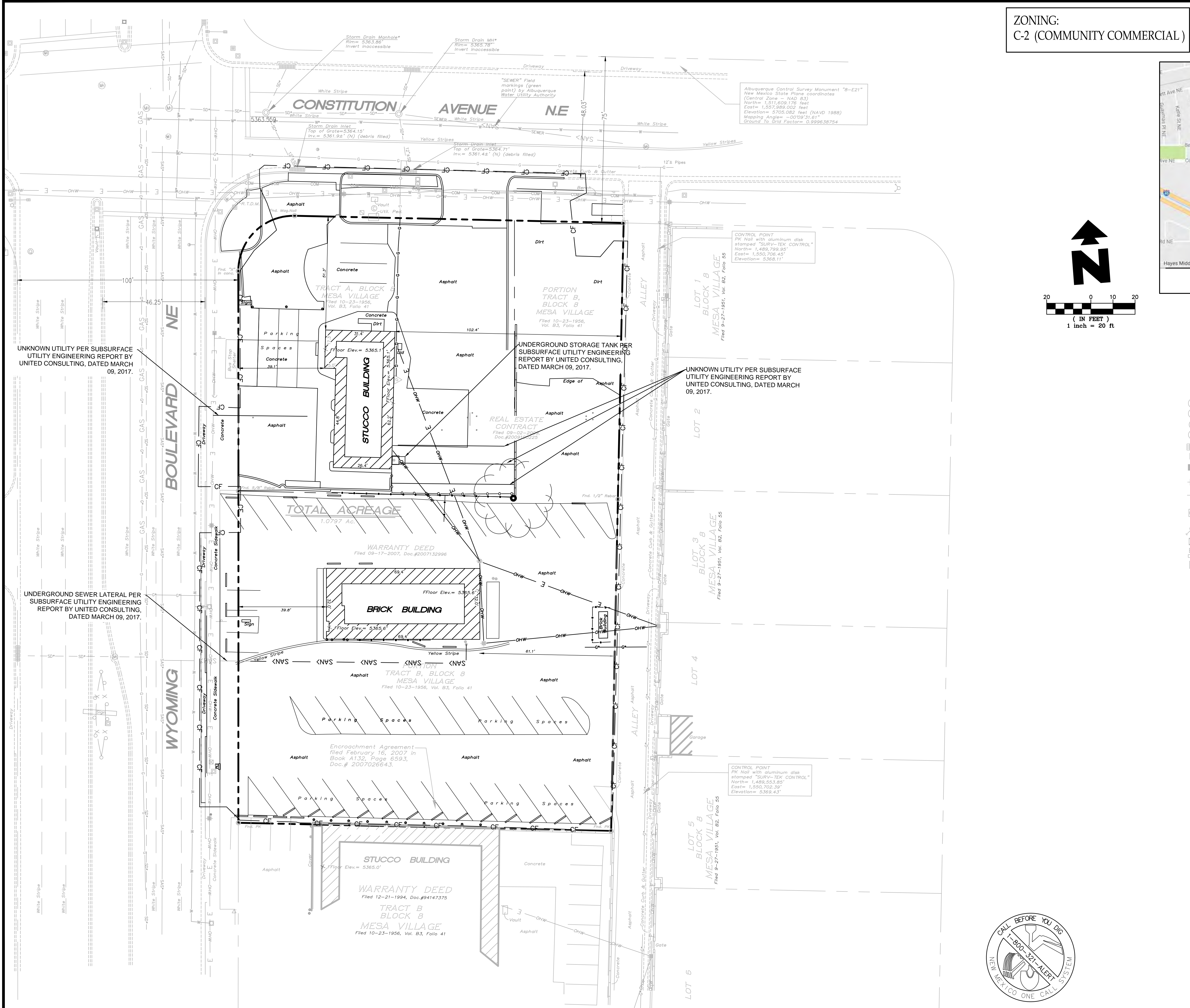
1430 W. PEACHTREE ST. NW
ATLANTA, GA 30309
PHONE: (404) 524-1400
DWG NAME: ALBUQUERQUE_NM
JOB NO.: 201012210
20101221.0

MURPHY OIL USA, INC.

200 PEACH ST.
EL DORADO, AR 71730

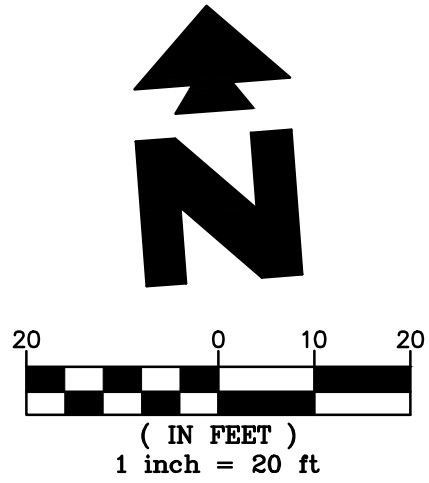
MURPHY
USA





ZONING:
C-2 (COMMUNITY COMMERCIAL)

3445SF-6(S)-2015v2



EXISTING	
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	Manhole as shown on provided plans - Not Found
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	Power Pole
	Power Pole w/underground feed
	Power Pole/Light Pole
	Guy Wire
	Sanitary Sewer Clean-out
	Water Meter
	Water Valve
	Hydrant
	Electric Pedestal
	Electric Meter
	Traffic Box
	Telephone Pedestal
	Traffic Light Pole
	Overhead Traffic Light Pole
	Pedestrian Pushbutton Post
	Utility Box
	Light Pole
	Bollard
	Concrete Symbol
	Gas Meter
	Gas Valve
	Metal Post Fence
	Chain Link Fence
	Guard Rail
	Gwest Manhole
	Communications Manhole
	Sign
	Tree

PROPOSED	
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	CONCRETE INTEGRAL CURB
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SHEET NO.

TCL-2

TCL PRE-DEV COND

MURPHY EXPRESS

1368 WYOMING BLVD

ALBUQUERQUE NEW MEXICO

MURPHY OIL USA, INC.

MURPHY USA

200 PEACH ST.

EL DORADO, AR 71730

GreenbergFarrow

1430 W. PEACHTREE ST., NW

ATLANTA, GA 30309

PHONE: (404) 524-1400

DWG NAME: ALBUQUERQUE, NM

JOB NO.: 20101221.0

20101221.0

REV-1

10-27-17

DATE

TR

PM

DES

DRW

