

# CITY OF ALBUQUERQUE



## ***Planning Department Transportation Development Services***

June 16, 2015

Mr. Phillip Clark  
Clark Consulting Engineers  
19 Ryan Rd.  
Edgewood, NM 87015

**Re: Gordon Warehouse  
8508 Constitution NE  
Traffic Circulation Layout**  
Engineer's/Architect's Stamp dated 6-12-15 (J20-D037A)

Dear Mr. Clark,

The TCL submittal received 6-15-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Please note that the ADA access isle painted wording "NO PARKING" must be placed at the rear of the parking space, so as to be close to where an adjacent vehicle's rear tire would be placed. This wording is shown at the top of the parking space on the submittal drawing and must be correct for Final CO.

Albuquerque

New Mexico 87103

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

c: File  
CO Clerk



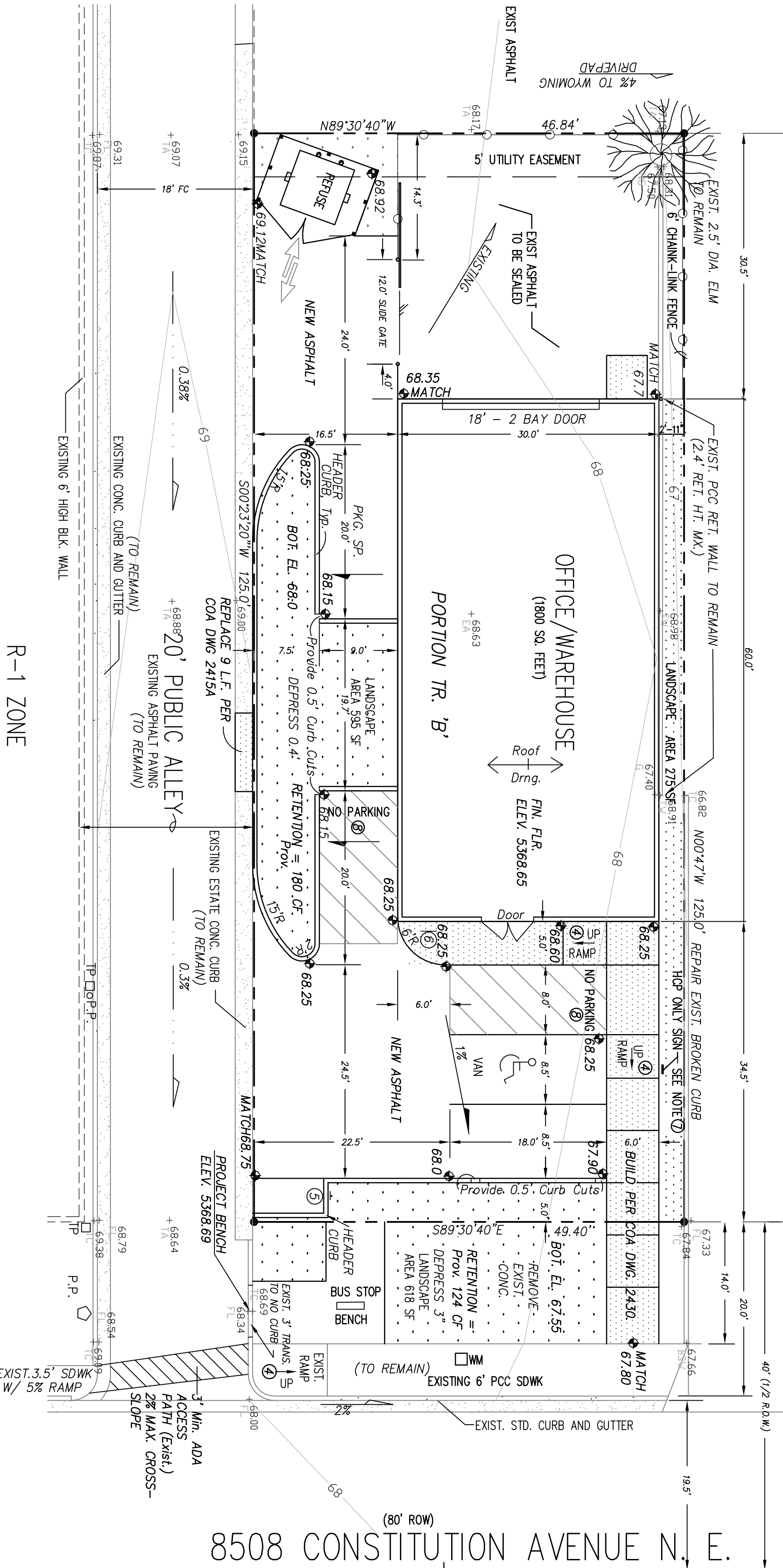
WYOMING BLVD. N. E.

EXISTING CONCRETE SIDEWALK

99.44'

Scale: 1" = 10'

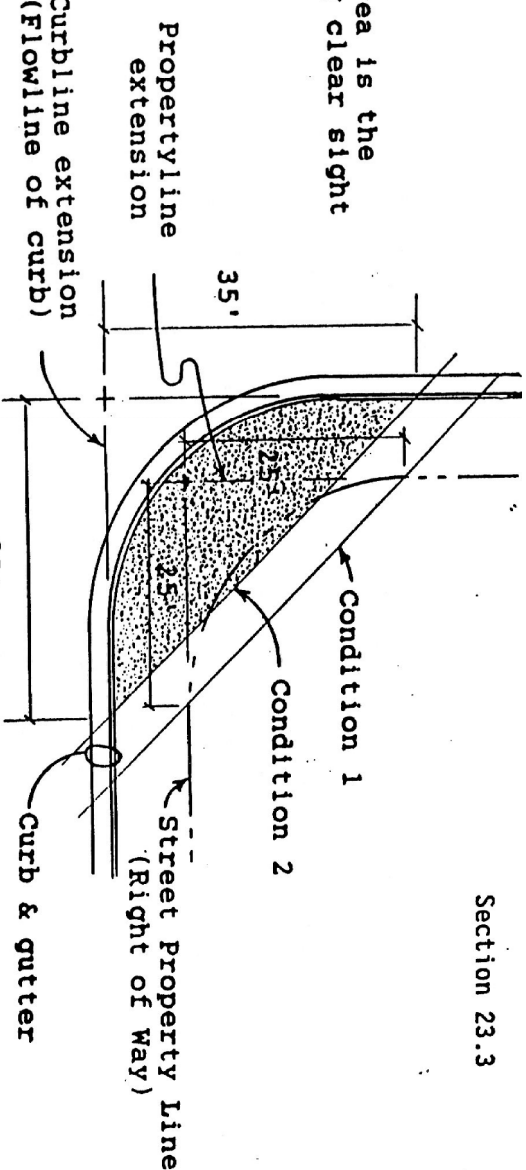
TRACT A NOTE: THE OWNER OF TRACT B, ALSO OWNS TRACT A  
A-CLASSIC GLASS SHOP



R-1 ZONE

Section 23.3

Shaded area is the  
resulting clear sight  
triangle.



SITE TRIANGLE DETAIL

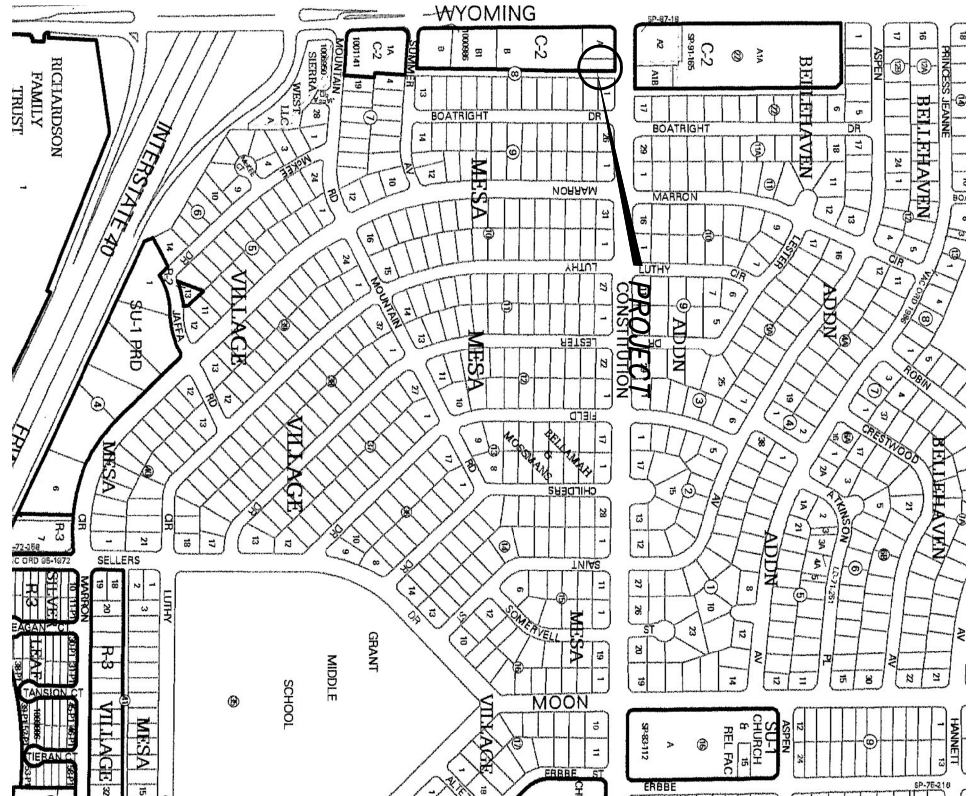
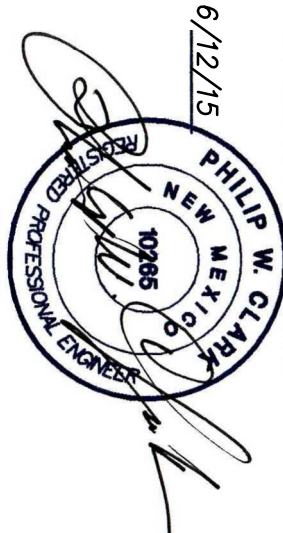
TRAFFIC NOTES:

1. ALL DIMENSIONS TO FACE OF CURB, UNLESS NOTED OTHERWISE.
2. ALL TRAFFIC ELEMENTS SHOWN SHALL BE CONSTRUCTED FROM THIS SHEET, AND REQUIRED FOR CERTIFICATE OF OCCUPANCY. A TEMPORARY C.O. SHALL NOT BE ISSUED.
3. TRIMMED-DOCKS PER AHS-4474-2006 & AHS-4474-2006.
4. TYPICAL RAMP SLOPE 12:1 MIN. EXISTING WITH BROOK FINISH CONCRETE.
5. 1-4X8 MOTORCYCLE SPACE, W/18"X12" SIGN
6. 1-BIKE RACK
7. ADA VAN ACCESSIBLE SIGN SHALL HAVE THE REQUIRED VERBAGE OF "NO ADJUTS SIGNS, WALLS, TREES AND SHRUBS BTRN, 3-8 FEET TALL ARE NOT ACCEPTABLE WITHIN THIS AREA. SEE DETAIL LEFT.
8. LANDSCAPING & SIGNAGE SHALL NOT INTERFERE W/ CLEAR SIGHT REQUIREMENTS.

PARKING SPACES PROVIDED: 3

PARKING CALCULATIONS - C2 ZONING

1800 SF/2000.....1 PKG SPACE  
2807200...OFFICE .....2 PKG SPACE



VICINITY MAP ZONE J-20  
NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS FOR PUBLIC WORKS CONSTRUCTION, 1988, W/ 8 UPDATES.
2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL.

LEGEND

- +24.0 EXIST. SPOT ELEVATION
- 10 EXIST. CONTOUR
- 24.0 NEW SPOT ELEVATION
- 54 NEW CONTOUR
- NEW SHADE
- FL FLOWLINE
- OP EXISTING POWER POLE
- NG OR G NATURAL GROUND, EXISTING
- TW TOP OF WALL
- R/C REBAR AND CAP, EXISTING
- C/E CHAIN LINK FENCE, EXISTING
- NEW P.C.C., CONCRETE
- NEW SOFT LANDSCAPING

PROJECT DATA

LEGAL DESCRIPTION (EXISTING):  
THE NORTH 125 FEET, OF THE EAST 49/46 FEET OF TRACT B, BLOCK 8, BELLAIR & MOSSMAN SUBDIVISION, OF MESA WILAGE, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
PROJECT BENCHMARK  
PROJECTED TOP OF CURB @ PROJECT NORTHEAST PROPERTY CORNER  
SEE PLAN, ELEVATION = 5368.69, AS TIED FROM ACS CONTROL MONUMENT  
12.420 (ELEV. 5368.69) NAD08  
TOPOGRAPHIC DESIGN SURVEY  
PERFORMED MAY 2015, UNDER DIRECTION OF PHILIP W. TURNER, P.S., TERRAMETRICS NM, SUPPLEMENTED BY CLARK CONSULTING ENGINEERS

Clark Consulting Engineers

19 Ryan Road Edgewood, New Mexico 87015

Tele: (505) 281-2444 Fax: (505) 281-2444

DATE: 6/11/15 REVISION: 1

6/11/15 MOOR DATE: 6/11/15

8508 CONSTITUTION AVE. NE

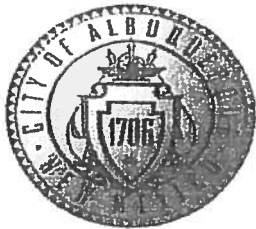
TON GORDON WAREHOUSE

Layout Plan

DESIGNED BY: PWC DRAWN BY: CCE JOB #: GORDON-17

CHECKED BY: PWC DATE: 5/9/15 FILE #: 101 1 OF 1





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Attn: Gary Sandoval  
Jhx  
Puc

Project Title: Gordon Klare house Building Permit #: \_\_\_\_\_ City Drainage #: J20/037A

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: \_\_\_\_\_

Engineering Firm: Clark Consulting Engineers Contact: Phil

Address: 19 Ryan Rd. Edgewood NM 87015

Phone#: 281-2444 Fax#: Same E-mail: CCEA169@AOL.COM

Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

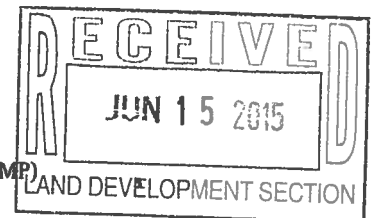
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_

☒ Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: 6/12/15

By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development