

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

December 17, 2024

Peter Butterfield, RA  
Peter Butterfield Architect  
13013 Glenwood Ct NE  
Albuquerque, NM 87111

[peter@pba-lane.com](mailto:peter@pba-lane.com)

**Re: 40 Unit Apartment Bldg  
8500 Indian School NE  
Traffic Circulation Layout**  
Engineer's Stamp Dated 7-24-24 (J20D042)

Dear Mr. Butterfield,

The TCL submittal received 12-13-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM  
Sr. Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

**Project Title:** 40 Unit Apartment Bldg **Building Permit #** \_\_\_\_\_ **Hydrology File #** \_\_\_\_\_

**DRB#** \_\_\_\_\_ **EPC#** \_\_\_\_\_

**Legal Description:** MIDDLE POR TR A BELLEHAVEN ADD'N **City Address OR Parcel** 85 Indian School Rd NE  
EXC ELY 89.26 FT

**Applicant/Agent:** Peter Butterfield architect **Contact:** Peter Butterfield

**Address:** 13013 Glenwood Hills Ct NE **Phone:** 505 514 1364

**Email:** peter@PBA-Lane.com

**Applicant/Owner:** MV INDUSTRIES REAL ESTATE LLC **Contact:** Mike Vigil

**Address:** 4908 CUMBRE DEL SUR CT NE **Phone:** 505 249 1198

**Email:** mikev@mvindustries.net

**TYPE OF DEVELOPMENT:** PLAT (#of lots) RESIDENCE DRB SITE ADMIN SITE: x

**RE-SUBMITTAL:** YES x NO

**DEPARTMENT:** x TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply:

### TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOOD PLAN DEVELOPMENT PERMIT APP.
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- x TRAFFIC CIRCULATION LAYOUT (TCL)  
ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DRB  
APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY)
- PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- x BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DRB APPROVAL
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOOD PLAN DEVELOPMENT PERMIT
- OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 12/10/2024



















Unit Quantities			Open Space Required		Parking Required	
Unit	Ftr	4	Per Unit	Total	Per Unit	Total
2-BR	(6)	24	285	6,840 sf	1.6 PS	38.4ps
1 BR	(4)	16	225	3,600 sf	1.2 PS	19.2 ps
<b>Totals</b>	<b>10</b>	<b>40</b>		<b>10,440 sf</b>		<b>57.6 ps (62 Provided)</b>

**TRAFFIC CIRCULATION  
LAYOUT APPROVED**

Sertil A. Kanbar 12/17/2024

Signed \_\_\_\_\_ Date \_\_\_\_\_

SITE LEGEND			
	SIGN		LIGHT POLE (2" DIA BASE)
	FIRE HYDRANT		BOLLARD
	WATER VALVE		WATER LINE
	SAS MANHOLE		UNDERGROUND POWER LINE
	TELEPHONE MANHOLE		GAS LINE
	WATER METER		SAS LINE
	POWER POLE		OVERHEAD POWER LINE
	6" WIDE PAINTED RED FIRE LANE		

## ADA SITE NOTES

SIGNAGE (NMBC 1110.1 AND ANSI 502.7)

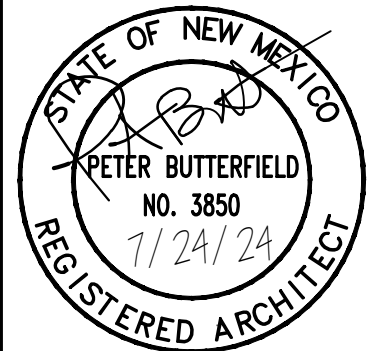
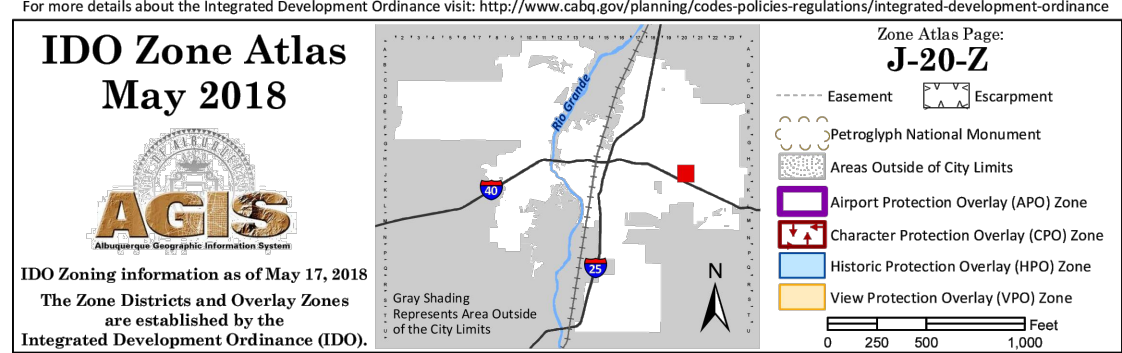
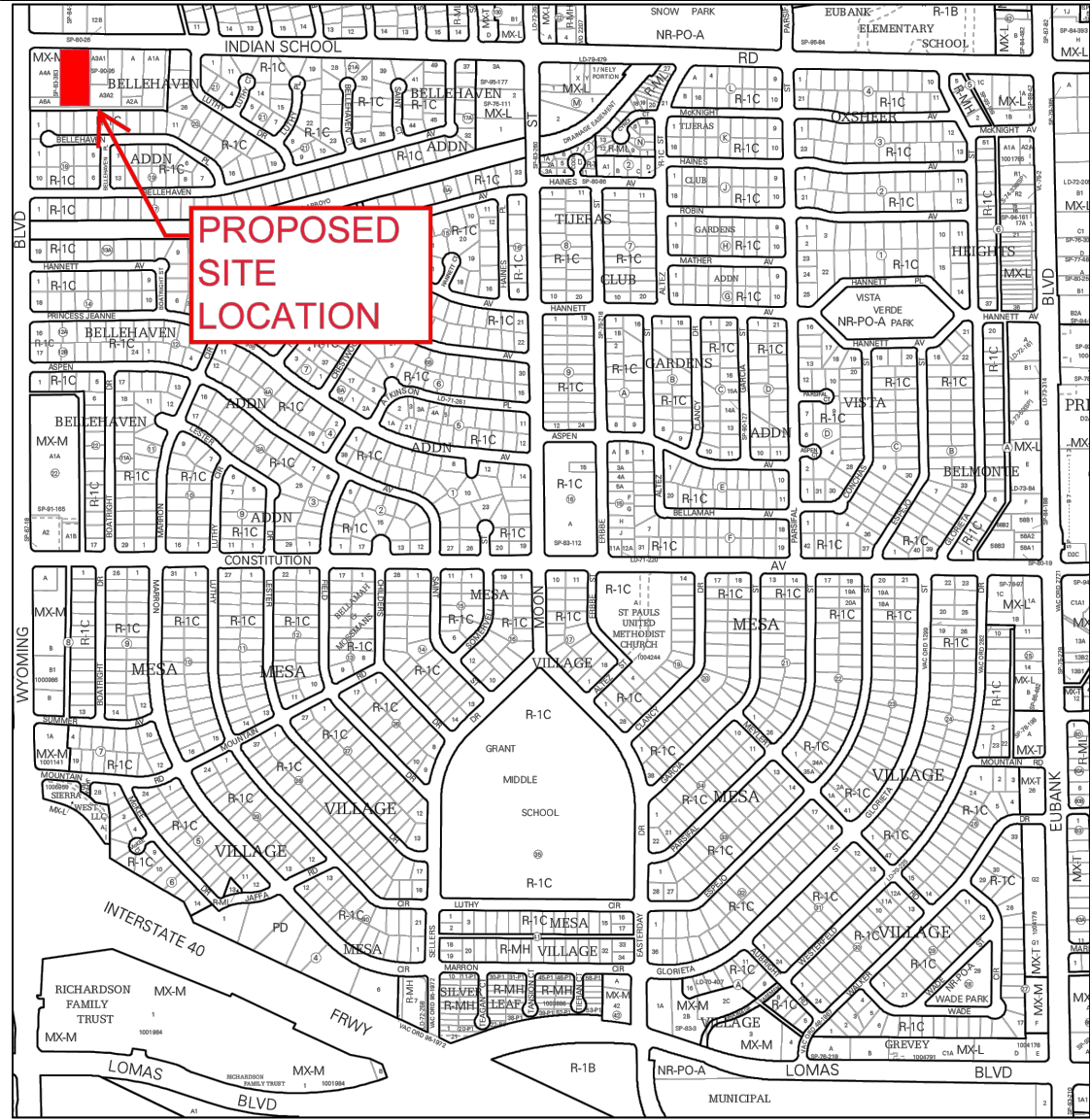
- A VERTICAL SIGN IS CENTERED AT THE HEAD OF EACH PARKING SPACE
- CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND, WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND, OR DARK CHARACTERS ON A LIGHT BACKGROUND.
- SIGN DISPLAYS THE INTERNATIONAL SYMBOL OF ACCESSIBILITY ( NOTE: THE INTERNATIONAL SYMBOL OF ACCESSIBILITY PROVIDES WHITE SYMBOLS AND LETTERS ON A BLUE BACKGROUND, HOWEVER, ANSI AND 2010 STANDARDS DO NOT SPECIFY COLORS FOR SIGNAGE.)
- SIGNS TO BE WHITE BACKGROUND WITH A GREEN BORDER AND LEGEND (MUTCD SIGN # R7-8 AND R7-8A).
- SIGN MUST INCLUDE THE LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" ("66-7-352.4C NMSA 1978, EFFECTIVE 7-01-2010). VAN ACCESSIBLE SIGNS ARE PROVIDED BELOW THE OTHER SIGN
- THE VAN SPACE SIGNAGE IS NEEDED TO ALERT VAN USERS TO THE PRESENCE OF THE WIDER AISLE, BUT THE SPACE IS NOT INTENDED TO BE RESTRICTED ONLY TO VANS. (2010 STANDARDS 502.5)
- IN PARKING LOTS THE BOTTOM OF THE SIGN IS 60" MINIMUM ABOVE THE GROUND OR PARKING SURFACE. (ANSI 502.7)
- ALONG THE PUBLIC RIGHTS-OF-WAY MUTCD REQUIRES THE BOTTOM OF THE MUTCD R7-8 SIGN TO BE 84" ABOVE THE GROUND.
- IN THE PUBLIC RIGHTS-OF-WAY MUTCD RECOMMENDS WHITE STRIPING.

## PAVEMENT MARKINGS (NMBC 1110.3)

- PARKING SPACE HAS A CLEARLY VISIBLE, BLUE, INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED ON THE PAVEMENT AT REAR OF THE SPACE (66-1-4.1.E NMSA 1978) OR MUTCD RECOMMENDS A WHITE SYMBOL ON A BLUE BACKGROUND.
- PARKING SPACE LINES BE PAINTED BLUE
- ACCESS AISLE HAS BLUE, DIAGONAL STRIPING (45 DEGREES). (66-1-4.1.B NMSA 1978).
- ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRES WOULD BE PLACED. (66-1-4.1.B NMSA 1978)
- IN THE PUBLIC RIGHTS-OF-WAY MUTCD RECOMMENDS WHITE STRIPING.

## GENERAL NOTES

- WORK ORDER REQUIRED FOR WORK WITHIN PUBLIC RIGHT OF WAY WITH DRC APPROVED PLANS.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
- ALL COA ROW CURB AND GUTTER, SIDEWALK, RAMPS AND DRIVEPADS MUST BE IN GOOD CONDITION AND ADA ACCESSIBLE IF APPLICABLE. ANY ITEMS IN DISREPAIR MUST BE REMOVED AND REPLACED TO NEAREST CONTROL JOINT
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE SIGNS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA
- MAXIMUM SLOPE PERMITTED AT ADA STALLS AND ACCESS AISLES IS 2% (1:50)
- ALL BROKEN OR CRACKED ASPHALT TRAIL MUST BE REPLACED WITH NEW ASPHALT PER COA DRAWING 2415C
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER COA DRAWING 2430



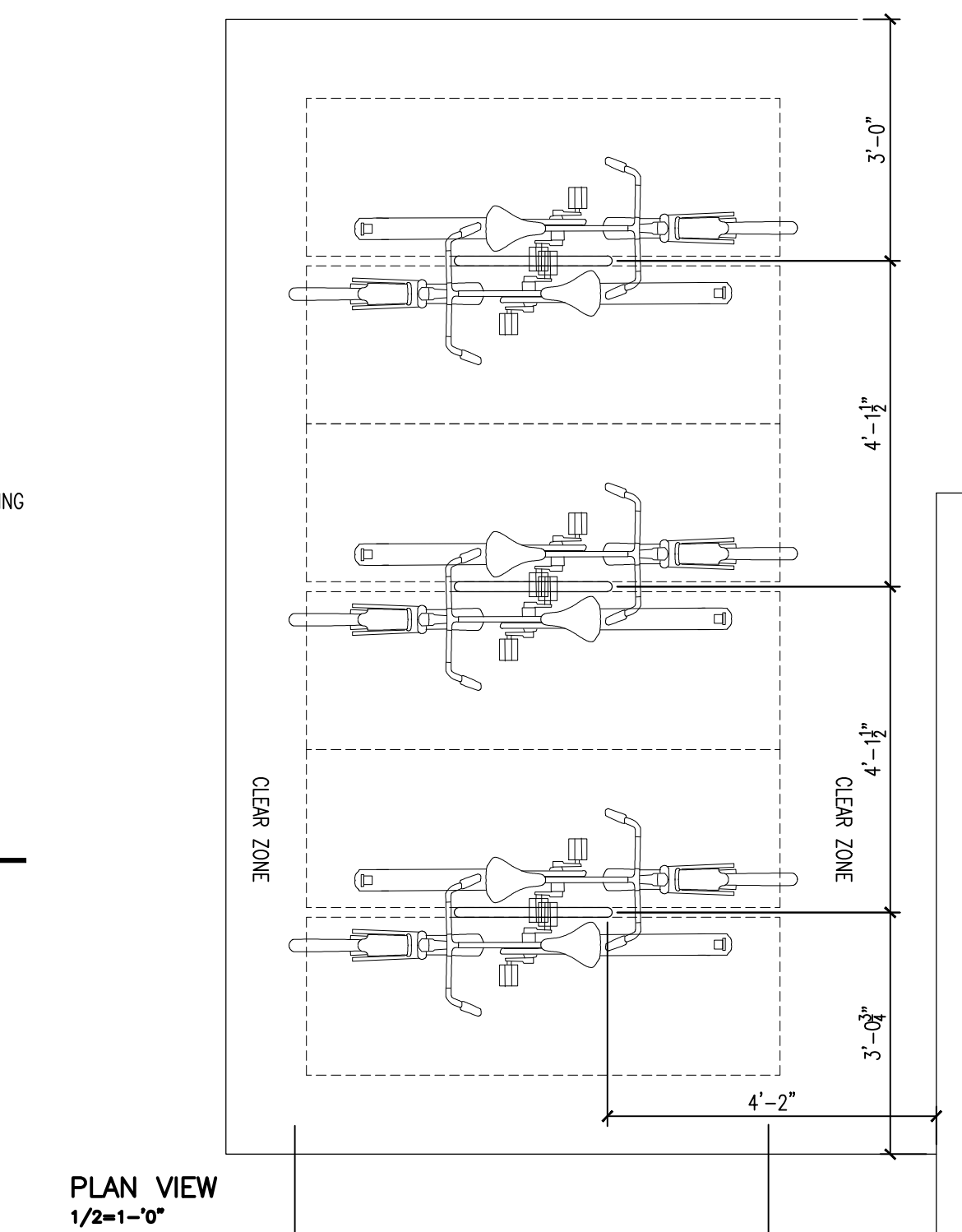
DRAWING NAME  
REVISIONS

40 Unit Apartment Building  
8500 Indian School  
Albuquerque NM

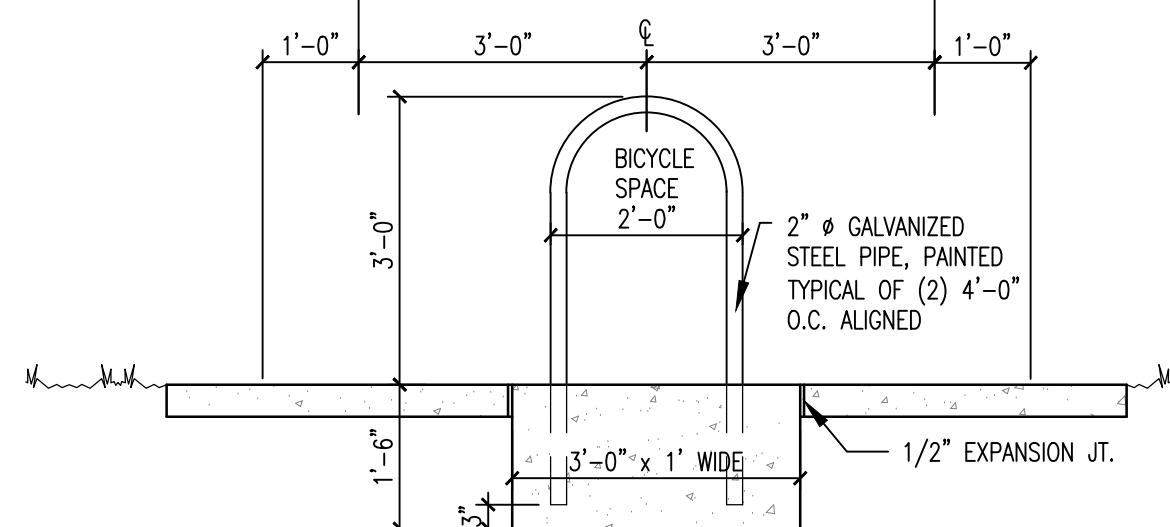


**A3 CONCRETE CURB & GUTTER**  
1'-1'-0"

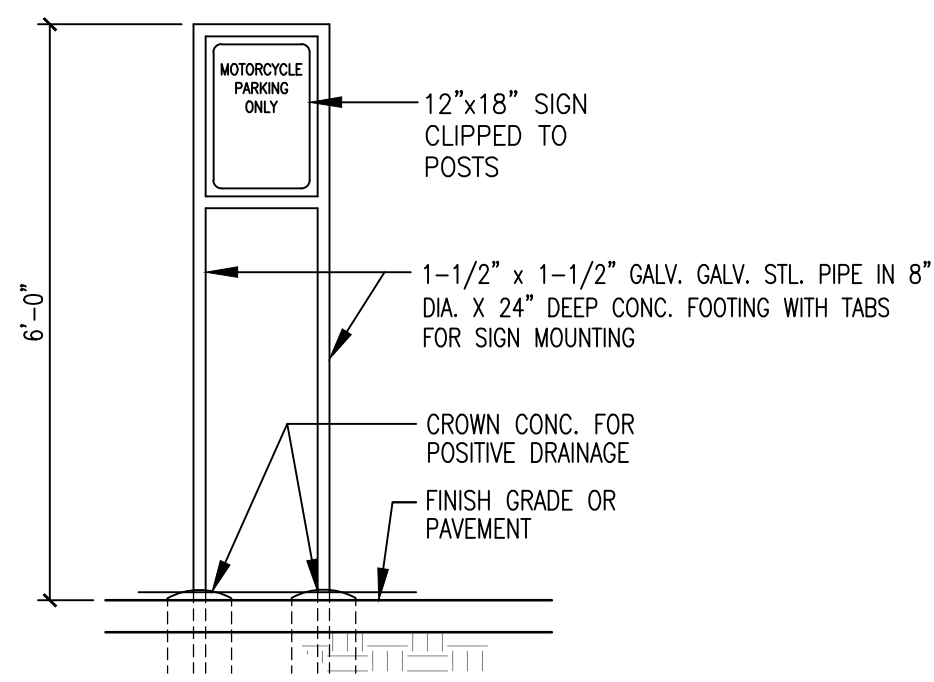
**(A4) SIDEWALK SECTION**  
1"=1'-0"



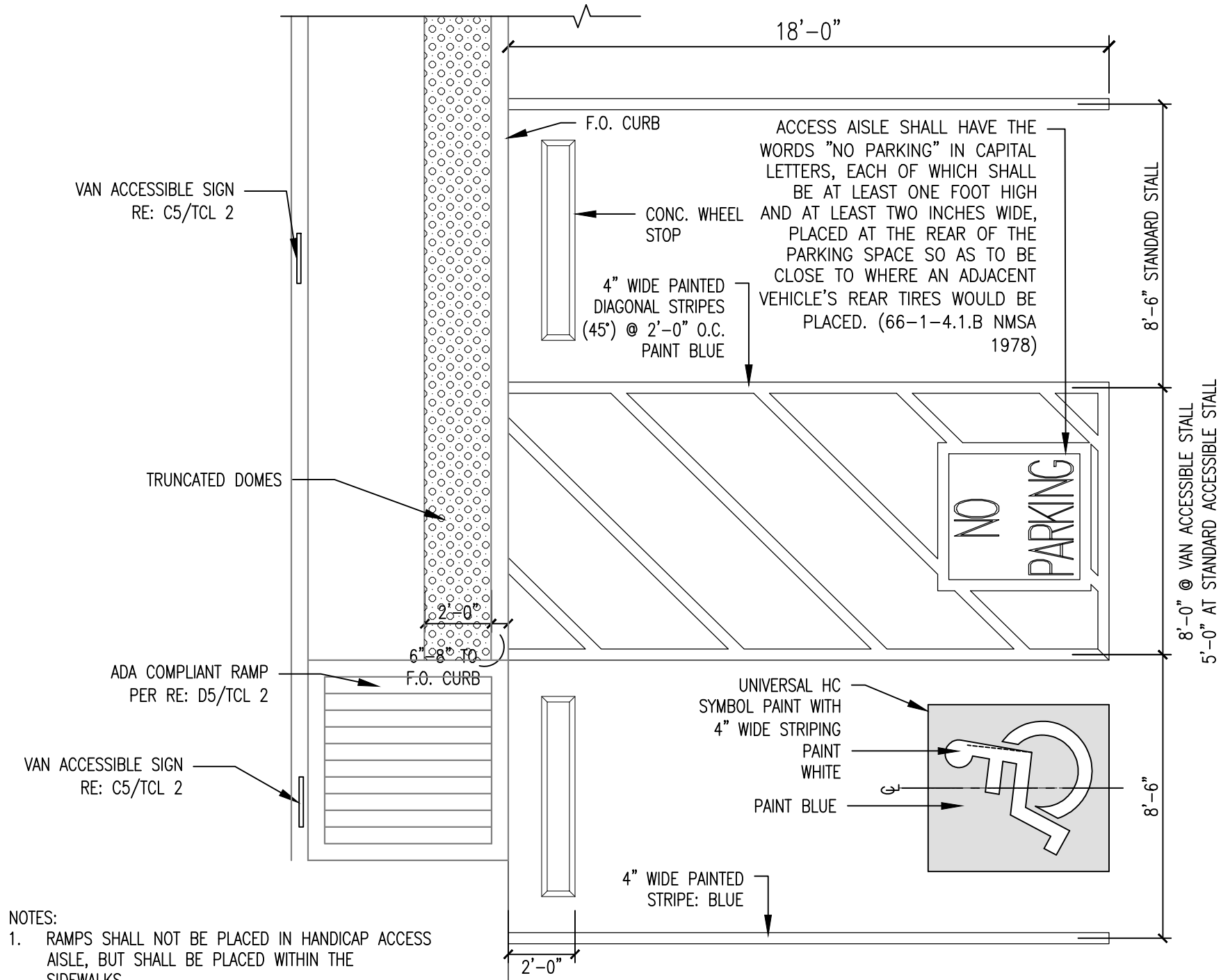
PLAN VIEW  
1/2=1-0"



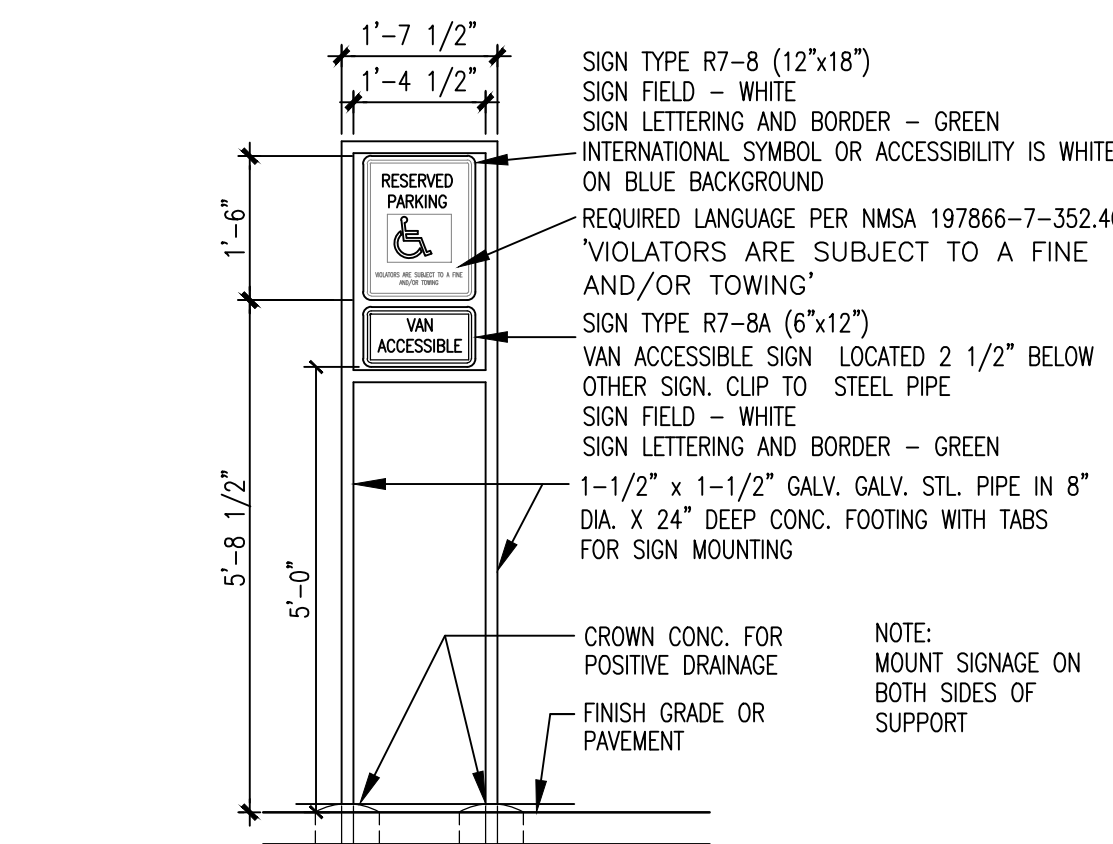
**A5 BICYCLE RACK**  
1/2"=1'-0"



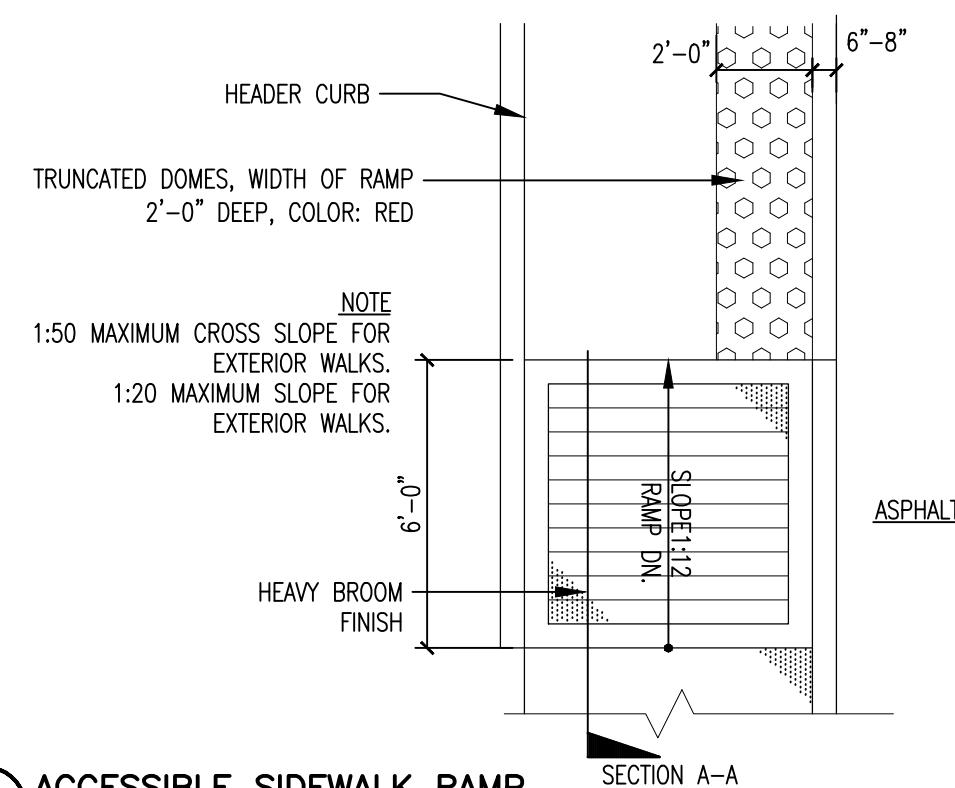
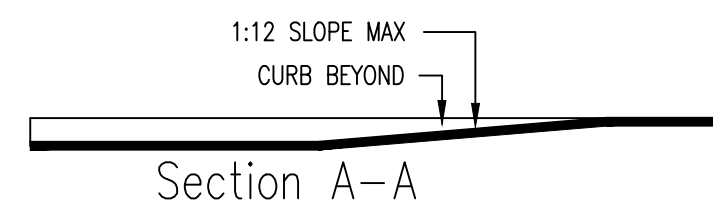
(B5) MOTORCYCLE SIGN ELEVATION  
1/2"=1'-0"



**(D4) TYPICAL ADA PARKING STALLS DETAIL**  
1/4"=1'-0"



C5 H.C. SIGN ELEVATION  
1/2"=1'-0"



**D5 ACCESSIBLE SIDEWALK RAMP**  
1/4"=1'-0"

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## REVISIONS

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