ITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Peter Butterfield, RA Peter Butterfield Architect 13013 Glenwood Ct NE Albuquerque, NM 87111

peter@pba-lane.com

December 17, 2024

40 Unit Apartment Bldg Re:

8500 Indian School NE **Traffic Circulation Layout**

Engineer's Stamp Dated 7-24-24 (J20D042)

Dear Mr. Butterfield,

The TCL submittal received 12-13-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabg.gov for log in and

Albuquerque

evaluation by Transportation.

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD,PE,CFM Sr. Engineer, Planning Dept. **Development Review Services**

C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: 40 Unit Apartment Bldg	_Building Permit #Hydrology File #				
DRB#	EPC#				
Legal Description: MIDDLE POR TR A BELLEHAY EXC ELY 89.26 FT	EN ADD'N City Address OR Parcel 85 Indian School Rd	<u>NE</u>			
Applicant/Agent: Peter Butterfield architect	Contact: Peter Butterfield				
Address: 13013 Glenwood Hills Ct NE	Phone: 505 514 1364				
Email: peter@PBA-Lane.com					
Applicant/Owner: MV INDUSTRIES REAL ESTA	TE LLC Contact: Mike Vigil				
Address: 4908 CUMBRE DEL SUR CT NE	Phone: 505 249 1198				
Email:mikev@mvindustries.net					
TYPE OF DEVELOPMENT: PLAT (#of RE-SUBMITTAL:YESx_ NO	ots)RESIDENCEDRB SITE ADMIN SITE:				
DEPARTMENT: XTRANSPORTATI Check all that apply:	ON HYDROLOGY/DRAINAGE				
TYPE OF SUBMITTAL:	TYPE OF APPROVAL/ACCEPTANCE SOUGH	HT:			
ENGINEER/ARCHITECT CERTIFICATION	<u>×</u> BUILDING PERMIT APPROVAL				
PAD CERTIFICATION	CERTIFICATE OF OCCUPANCY				
CONCEPTUAL G&D PLAN	CONCEPTUAL TCL DRB APPROVAL	CONCEPTUAL TCL DRB APPROVAL			
GRADING PLAN	PRELIMINARY PLAT APPROVAL				
DRAINAGE REPORT	SITE PLAN FOR SUB'D APPROVAL	SITE PLAN FOR SUB'D APPROVAL			
DRAINAGE MASTER PLAN	SITE PLAN FOR BLDG PERMIT APPRO	SITE PLAN FOR BLDG PERMIT APPROVAL			
FLOOD PLAN DEVELOPMENT PERMIT	.PPFINAL PLAT APPROVAL	FINAL PLAT APPROVAL			
ELEVATION CERTIFICATE	SIA/RELEASE OF FINANCIAL GUARAN	NTEE			
CLOMR/LOMR	FOUNDATION PERMIT APPROVAL	FOUNDATION PERMIT APPROVAL			
x TRAFFIC CIRCULATION LAYOUT (TCL)	GRADING PERMIT APPROVAL	GRADING PERMIT APPROVAL			
ADMINISTRATIVE	SO-19 APPROVAL				
TRAFFIC CIRCULATION LAYOUT FOR I	RBPAVING PERMIT APPROVAL				
APPROVAL	GRADING PAD CERTIFICATION				
TRAFFIC IMPACT STUDY (TIS)	WORK ORDER APPROVAL	WORK ORDER APPROVAL			
STREET LIGHT LAYOUT	CLOMR/LOMR				
OTHER (SPECIFY)	FLOOD PLAN DEVELOPMENT PERMIT	FLOOD PLAN DEVELOPMENT PERMIT			
PRE-DESIGN MEETING?	OTHER (SPECIFY)	OTHER (SPECIFY)			
DATE SUBMITTED: 12/10/2024					

INDIAN SCHOOL ROAD NE RÉMOVE EXISTING DRIVEPAD -----AND INSTALL NEW CURB PER COA DWG 2415A OVERHEAD UTILITY — PHONE BOX -COA DWG 2443 DETAIL C ADA RAMP— INSTALL DETECTABLE WARNING LINE POLE DEVICE PER COA DWG 2446 SITE LINE --- \$ 88°42'46" \(\frac{1}{2} \) 5' PUBLIC UTILITY EASEMENT 15**'**-0" 73'-2" LANDSCAPE FILED: JANUARY 30, 1962 PLAT BOOK C-5, PAGE 97 BUFFER 6' WIDE ADA ACCESSIBLE-PEDESTRIAN PATHWAY (8'-6"x18'-0") (8'-6"x18'-0") (8'-6"x18'-0") (8'-6"x18'-0") — CURB & GUTTER @ SIDEWALK (8'-6"x18'-0") (8'-6"x18'-0") RE: B3/TCL-2 (8'-6"x18'-0") (8'-6"x18'-0") (8'-6"x18'-0") (8'-6"x18'-0") (8'-6"x18'-0") (8'-6"x18'-0") (8'-6"x18'-0") (8'-6"x18'-0") 0" 8 18'-0" (8'-6"x18'-0" (8'-6"x18'-0") ADA COMPLIANT — RAMP PER D5/TCL-2 ╡ | (8'-6"x18'-0") (8'-6"x18'-0") PROPOSED APARTMENT BUILDING (8'-6"x18'-0") (8'-6"x18'-0") - BLOCK WALL ADA STALL RE-| | (8'-6"x18'-0") | D4/TCL-2 15**'**–0" LANDSCAPE (8'-6"x16'-0") BUFFER ₹ (8'-6"x18'-0") (8'-6"x16'-0") (8'-6"x18'-0") (8'-6"x16'-0") (8'-6"x18'-0") (8'-6"x16'-0") (8'-6"x18'-0") (8'-6"x16'-0") (8'-6"x18'-0") (8'-6"x16'-0") (8'-6"x18'-0") (8'-6"x16'-0") (8'-6"x18'-0") MOTORCYCLE STALL -RACK PER (8'-6"x16'-0") SIGN PER B5/TCL-2 (8'-6"x18'-0") (8'-6"x16'-0") ㅗ-PAINT Md ON 호 (8'-0"x16'-0") 📗 T ASPHALT @ MOTORCYCLE (8'-0"x16'-0") STALLS (8'-0"x16'-0") | 16'-0") | 58 | 11 └─CURB & GUTTER: [(8'-0"x16'-0") ASPHALTIC PAVING ₹ (8'-0"x16'-0") THROUGHOUT PARKING AREA [(8'-0"x16'-0") TRACT A-6-A, BLOCK 20 图 (8'-0"x16'-0") DALE J. BELLAMAH'S BELLEHAVEN -FILED: MAY 17, 1974 (8'-0"x16'-0") VOLUME D6, FOLIO 47 LANDSCAPE BUFFER S 89°47'14" W 6" WIDE PAINTED RED FIRE LANE MARK AS 'NO PARKING — - FIRE LANE' EVERY 15' WITH WHITE BLOCK CAPITAL LETTERS MIN. 5" IN HEIGHT AND 3/4" WIDE 20' PUBLIC ALLEY -PAVE EXISTING ALLEY WITH ASPHALTIC —— PAVING PER COA STANDARDS CONTINUOUS TO WYOMING BLVD. _____ SITE PLAN SCALE: 1"=20'-0"

EXECUTIVE SUMMARY

PROJECT IS LOCATED IN ZONE GRID MAP LOCATION J-20-Z, ZONED MX-M PER THE INTEGRATED DEVELOPMENT ORDINANCE. THE PROJECT IS A 48,799 S.F. 4-STORY APARTMENT BUILDING. THERE ARE (16) 1-BEDROOM UNITS AND (24) 2-BEDROOM UNITS FOR A TOTAL OF 40 UNITS.

ZONING DATA

DESIGNATION: $\mathsf{MX}\mathsf{-M}$ MIDDLE POR TR A BELLEHAVEN ADD'N EXC ELY 89.26 FT LEGAL DESCRIPTION: TOTAL SITE ACRES: 1.1 ACRES

OCCUPANCY TYPE: APARTMENT

PARKING REQUIREMENTS:

PARKING REQUIRED:

2-BEDROOM: (1.6 STALLS PER UNIT): 1.6x24 = 38.4 PARKING STALLS 1-BEDROOM (1.2 STALLS PER UNIT): 1.2x16 = 19.2 PARKING STALLS TOTAL PARKING REQUIRED: 57 STALLS

PARKING PROVIDED ADA STALLS REQUIRED: 4 (1 VAN ACCESSIBLE)

ADA STALLS PROVIDED: MOTORCYCLE SPACES REQUIRED: MOTORCYCLE SPACES PROVIDED:

BICYCLE SPACES REQUIRED: $57 \times 10\% = 5.7$ BICYCLE SPACES PROVIDED:

	Unit Quantities Open Space Required		Parking Required			
nit	Flr	4	Per Unit	Total	Per Unit	Total
BR	(6)	24	285	6,840 sf	1.6 PS	38.4ps
BR	(4)	16	225	3,600 sf	1.2 PS	19.2 ps
otals	10	40		10,440 sf	57.6 ps	(62 Provided)

TRAFFIC CIRCULATION LAYOUT APPROVED

Sertil A. Kanbar 12/17/2024

62 STALLS

SITE LEGEND LIGHT POLE (2' DIA BASE) FIRE HYDRANT BOLLARD WATER VALVE WATER LINE AS MANHOLE UNDERGROUND POWER LINE ELEPHONE MANHOLE SAS LINE WATER METER POWER POLE OVERHEAD POWER LINE — — 6" WIDE PAINTED RED FIRE LANE

ADA SITE NOTES

SIGNAGE (NMBC 1110.1 AND ANSI 502.7) A VERTICAL SIGN IS CENTERED AT THE HEAD OF EACH PARKING

DARK CHARACTERS ON A LIGHT BACKGROUND.

- CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND, WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND, OR
- SIGN DISPLAYS THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (NOTE: THE INTERNATIONAL SYMBOL OF ACCESSIBILITY PROVIDES WHITE SYMBOLS AND LETTERS ON A BLUE BACKGROUND, HOWEVER, ANSI AND 2010 STANDARDS DO NOT SPECIFY COLORS FOR
- SIGNAGE.) SIGNS TO BE WHITE BACKGROUND WITH A GREEN BORDER AND
- LEGEND (MUTCD SIGN # R7-8 AND R7-8A). SIGN MUST INCLUDE THE LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" (66-7-352.4C) NMSA 1978, EFFECTIVE
- 7-01-2010). VAN ACCESSIBLE SIGNS ARE PROVIDED BELOW THE OTHER SIGN THE VAN SPACE SIGNAGE IS NEEDED TO ALERT VAN USERS TO THE
- PRESENCE OF THE WIDER AISLE, BUT THE SPACE IS NOT INTENDED TO BE RESTRICTED ONLY TO VANS. (2010 STANDARDS 502.5)
- IN PARKING LOTS THE BOTTOM OF THE SIGN IS 60" MINIMUM ABOVE THE GROUND OR PARKING SURFACE. (ANSI 502.7)
- ALONG THE PUBLIC RIGHTS-OF-WAY MUTCD REQUIRES THE BOTTOM OF THE MUTCD R7-8 SIGN TO BE 84" ABOVE THE GROUND.
- IN THE PUBLIC RIGHTS-OF-WAY MUTCD RECOMMENDS WHITE STRIPING.

PAVEMENT MARKINGS (NMBC 1110.3)

- PARKING SPACE HAS A CLEARLY VISIBLE, BLUE, INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED ON THE PAVEMENT AT REAR OF THE SPACE (66-1-4.1.E NMSA 1978) OR MUTCD RECOMMENDS A WHITE SYMBOL ON A BLUE BACKGROUND. PARKING SPACE LINES BE PAINTED BLUE
- ACCESS AISLE HAS BLUE, DIAGONAL STRIPING (45 DEGREES). (66-1-4.1.B NMSA 1978).
- ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRES WOULD BE PLACED. (66-1-4.1.B NMSA
- IN THE PUBLIC RIGHTS-OF-WAY MUTCD RECOMMENDS WHITE STRIPING.

GENERAL NOTES

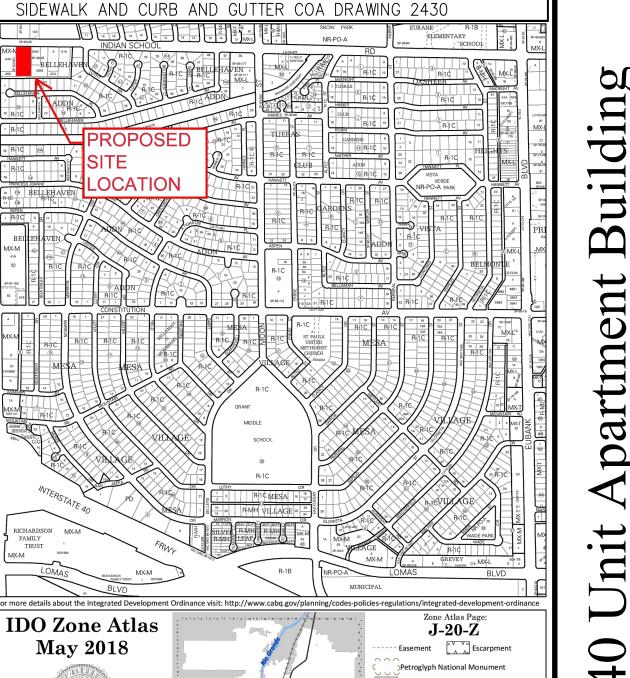
AGIS

DO Zoning information as of May 17, 2018

Integrated Development Ordinance (IDO).

The Zone Districts and Overlay Zones Gray Shading

- WORK ORDER REQUIRED FOR WORK WITHIN PUBLIC RIGHT OF WAY WITH DRC APPROVED PLANS.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
- ALL COA ROW CURB AND GUTTER, SIDEWALK, RAMPS AND DRIVEPADS MUST BE IN GOOD CONDITION AND ADA ACCESSIBLE I APPLICABLE. ANY ITEMS IN DISREPAIR MUST BE REMOVED AND REPLACED TO NEAREST CONTROL JOINT
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE SIGNS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA
- MAXIMUM SLOPE PERMITTED AT ADA STALLS AND ACCESS AISLES IS 2% (1:50)
- ALL BROKEN OR CRACKED ASPHALT TRAIL MUST BE REPLACED WITH NEW ASPHALT PER COA DRAWING 2415C
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH



Areas Outside of City Limits Character Protection Overlay (CPO) Zone

Historic Protection Overlay (HPO) Zone

View Protection Overlay (VPO) Zone Feet 0 250 500 1,000

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REVISIONS

