

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 13, 2026

Jesse Luehring, P.E.
Critical View Engineering, LLC
10900 Florence Ave NE
Albuquerque, NM 87122

RE: 1416 Espejo St NE
Grading and Drainage Plan
Engineer's Stamp Date: 03/09/2026
Hydrology File: J20D043
Case # HYDR-2026-00089

Dear Mr. Luehring:

Based upon the information provided in your submittal received 03/10/2026, the Grading and Drainage Plan **is not approved** for Grading Permit and Building Permit. The following comments need to be addressed for approval of the above referenced project.

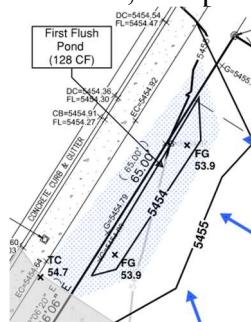
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

1. Please number the ponds and include a label on each with the SWQV and elevation, the 100-year volume and elevation, the peak 100 year inflow and outflow, the spillway crest elevation, the spillway flow depth, and the dam top elevation.



2. Please show calculations of both existing and proposed conditions. See calculation example below:

Basin	Area (sf)	Area (acres)	Treatment				Weighted E (ac-ft)	100-Year, 6-hr.		24 hour				
			Treatment A (%)	Treatment B (%)	Treatment C (%)	Treatment D (%)		Volume (ac-ft)	Flow (cfs)	Volume (ac-ft)				
ALLOWED	32676.00	0.750	0%	20%	0.150	46%	0.3451	34%	0.255	1.345	0.084	2.37	0.121	
PROPOSED	32676.00	0.750	20%	0.15	20%	0.150	38%	0.2851	22%	0.165	1.110	0.059	2.05	0.093
COMPARISON														

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm- zone 1

Ea= 0.55
Eb= 0.73
Ec= 0.95
Ed= 2.24

Qa= 1.54
Qb= 2.16
Qc= 2.87
Qd= 4.12

ONSITE Conditions

FIRST FLUSH WATER QUALITY VOLUME	REQUIRED (CF)	PROVIDED (CF)
WATER QUALITY	252	4083
FLOOD CONTROL	4058	4083

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3. Remove Note #3. A Pad Certification is not required for this site.
4. Change DTIS to Building Permit as the approval being sought.

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F) : Engineer's Certification Checklist For Non-Subdivision is required.

If you have any questions, please contact me at 505-924-3995 or baileythompson@cabq.gov.

Sincerely,

A handwritten signature in black ink, appearing to read 'Bailey Thompson', is written over a horizontal line.

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www.cabq.gov

Bailey Thompson, E.I.T.
Engineer Associate, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: G & D for 1416 Espejo St Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 4, Block B, Vista Belmonte Subdivision

City Address: 1416 Espejo St NE, Albuquerque NM 87112

Applicant: Critical View Engineering Contact: Jesse Luehring

Address: 10900 Florence Ave NE, Albuquerque NM 87122

Phone#: 505-321-5917 Fax#: _____ E-mail: criticalviewabq@gmail.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes No

DEPARTMENT _____ TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

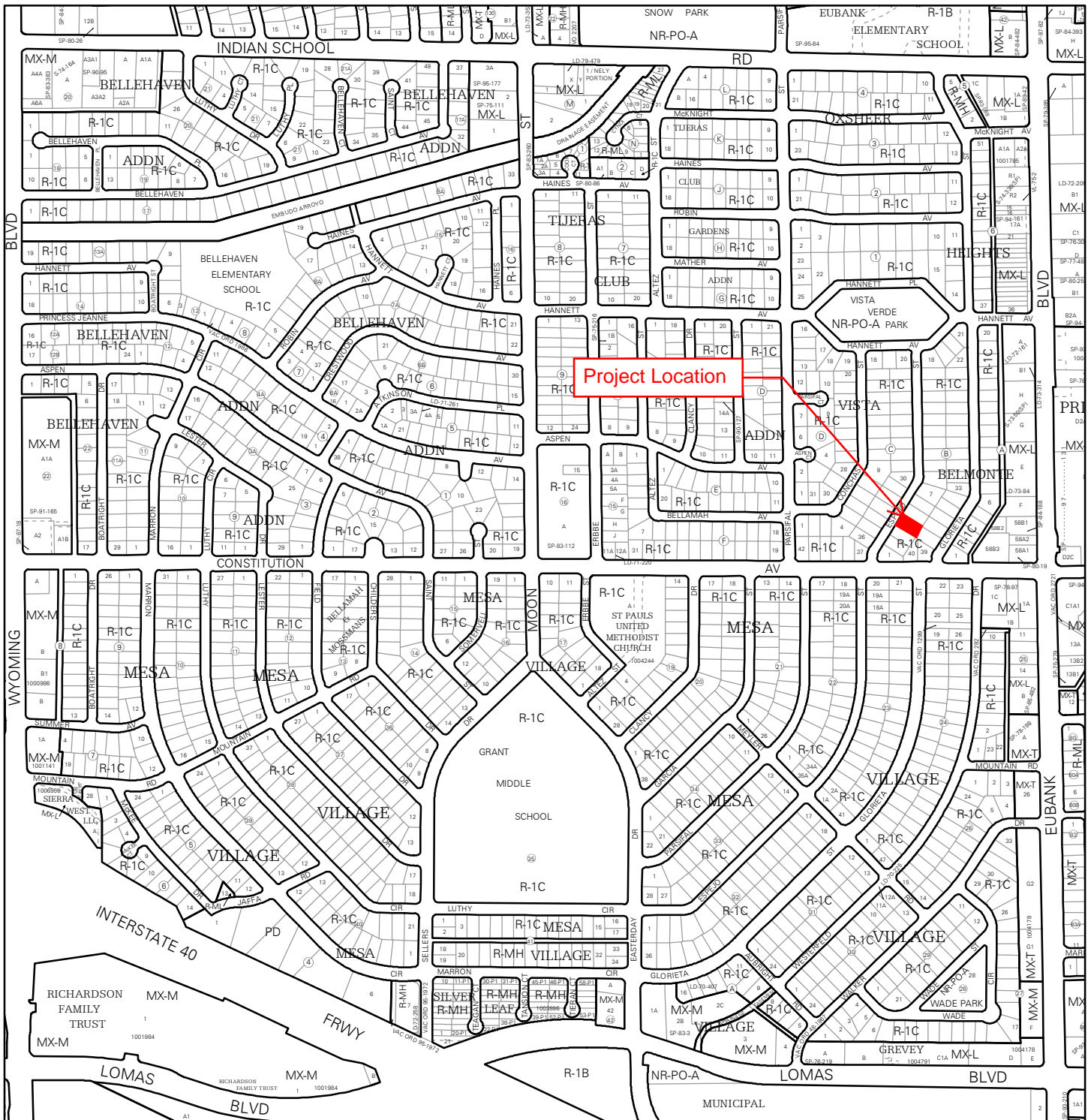
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

DATE SUBMITTED: 3/9/26 By: Jesse Luehring

COA STAFF: _____


ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

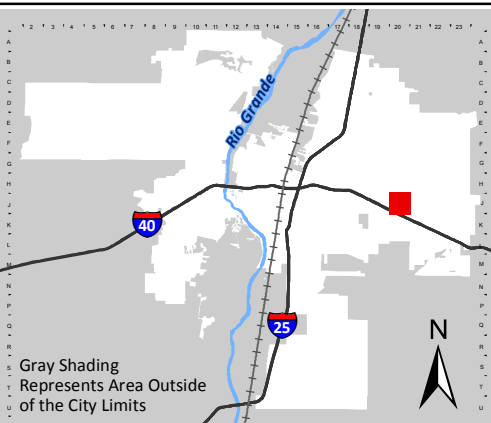


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
J-20-Z

- Easement
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Escarpment

Petroglyph National Monument

Scale: 0 250 500 1,000 Feet

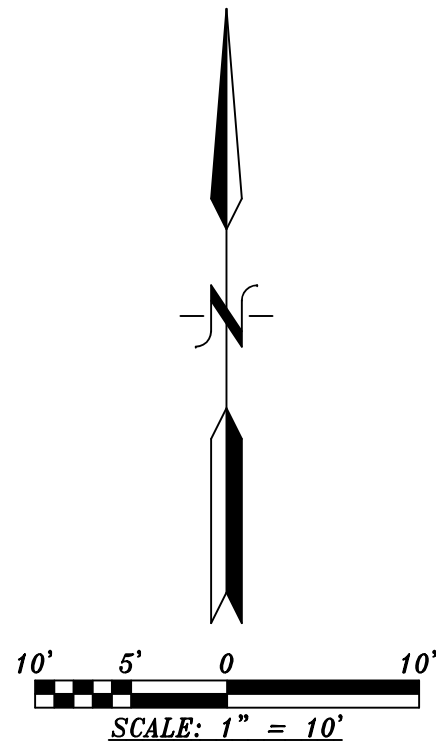
LOT 4, BLOCK "B"
VISTA BELMONTE SUBDIVISION
 WITHIN
 SECTION 17, T. 10 N., R. 4 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST 2025

LEGAL DESCRIPTION

LOT NUMBERED FOUR (4) IN BLOCK LETTERED "B" OF VISTA BELMONTE, A SUBDIVISION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 3, 1953 IN VOLUME C2, FOLIO 154.

Survey Notes:

- 1: CONTOUR INTERVAL IS ONE (1) FOOT.
- 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "19-H20", HAVING AN ELEVATION OF 5440.322, NAVD 1988.
- 3: UTILITIES SHOWN HEREON ARE IN THE APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 4: OWNER OF RECORD PER THE BERNALILLO COUNTY ASSESSORS OFFICE IS RICH WAYNE C & LYNN N
- 5: LEGAL DESCRIPTION AND EASEMENTS SHOWN ARE BASED ON THE PLATS OF RECORD AND FIELD INFORMATION
- 6: PLATS USED TO ESTABLISH BOUNDARY.
 A: VISTA BELMONTE SUBDIVISION
 FILED: MARCH 3, 1953 IN VOLUME C2, FOLIO 154
- 7: FIELD WORK PERFORMED ON AUGUST 2025



LEGEND
 CB = CURB
 FL = FLOWLINE
 G = GROUND
 EC = EDGE OF CONCRETE
 TC = TOP OF CONCRETE
 DC = DRIVE CUT

Narrative:

This is a grading and drainage plan for the construction of the building pad for the Lot at address 1416 Espejo St. NE (UPC 102005846528511138)

The purpose of this plan is to establish the finished floor elevation, house layout, site concrete layout, and general lot drainage of the site. This drainage plan has been prepared in accordance with the 2020 revision to the City of Albuquerque Development Process Manual. This is a brownfield lot that was previously developed with a single family home that was demolished circa 2021.

Drainage Intent:

Existing Conditions: This lot is an 0.17 acre vacant land property within the Vista Belmonte Subdivision that was previously developed. The lot slopes approximately 1.5% to the west toward the street. There are negligible offsite flows entering the property. All onsite flows exit to the street, eventually to the Embudo Arroyo approximately .25 miles to the Northwest. This is virtually the only undeveloped lot in the area.

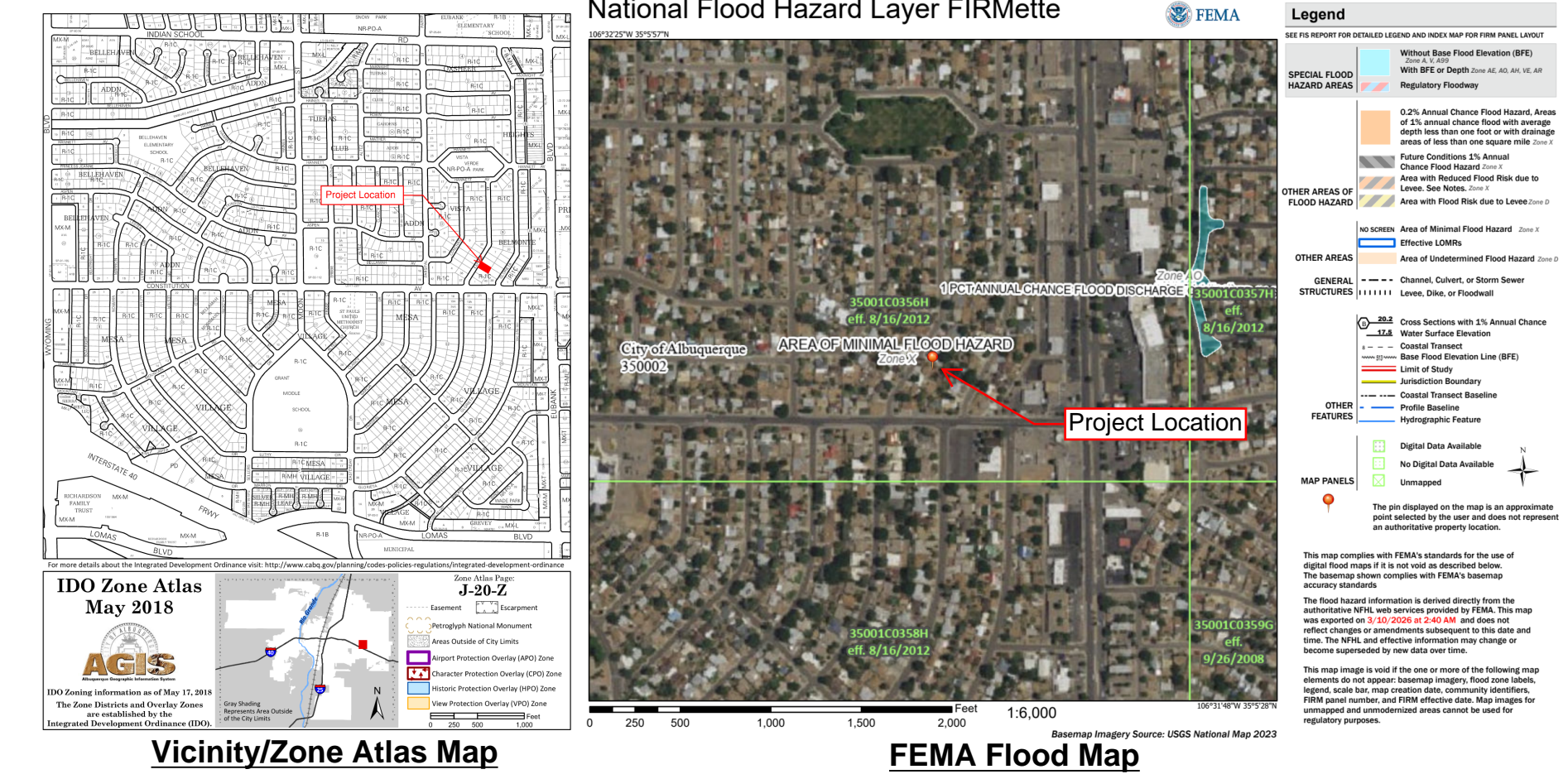
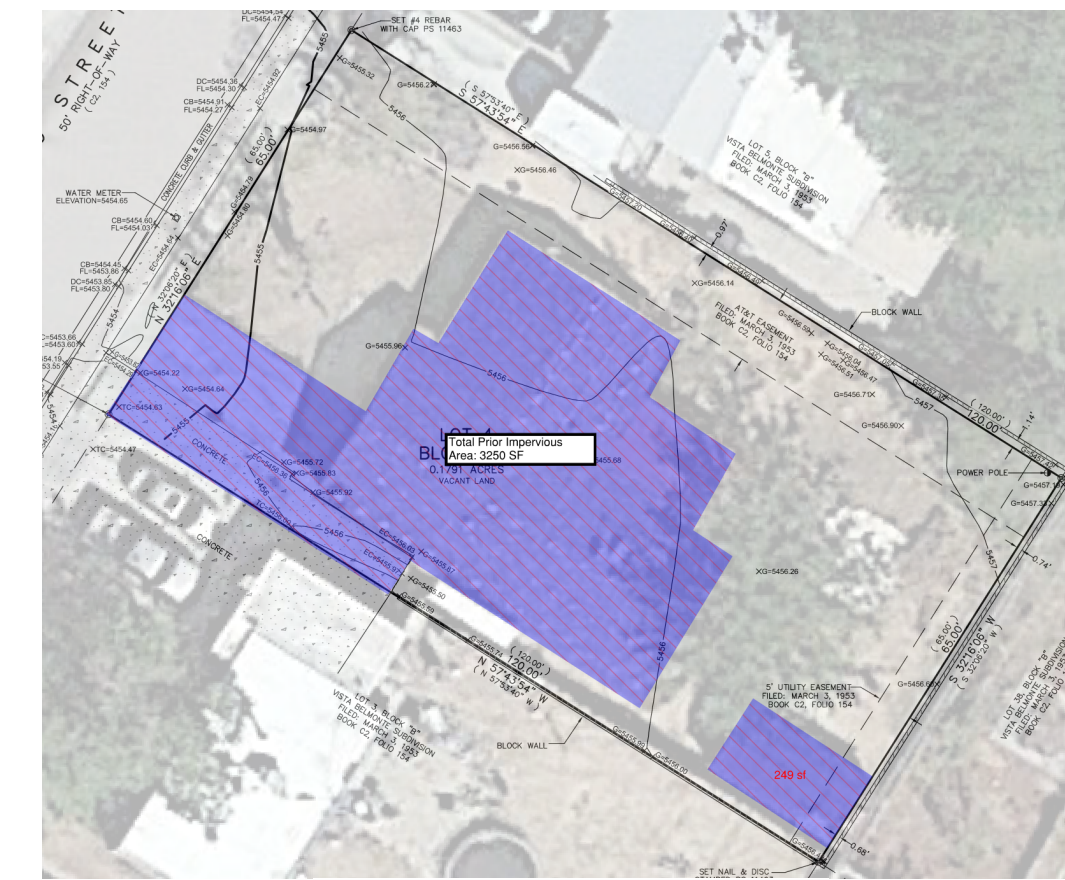
Proposed Conditions: Improvements to the lot include a new residence and concrete driveway that will add approximately 3345 SF of impervious area, or 45% of the property area. This amounts to a negligible increase (<100 SF) compared the previous lot development, and in line with the surrounding area. The lot is designed to drain to Espejo to the West, with first flush stormwater quality pond retaining the required 73 CF behind the sidewalk. Storm event flows in excess of this volume will discharge from the water quality detention ponds by overflowing the sidewalk and draining to the inlets in the street.

Additional improvements may include the construction of garden walls and gates. Drainage paths shall not be impacted by these improvements.

Grading Plan

Stormwater Quality Volumes (DPM 6-12):

The required Stormwater Quality Volume to be managed on this lot is for a 0.48" storm (redevelopment). After accounting for initial abstraction, this results in a net of 0.26" rainfall on impervious (Type D) soils, or 73 cubic feet of retention storage for this property. The initial storage on site will be collected and held in the shallow landscape pond near Espejo Rd sidewalk.



Lot 4 Block B VISTA BELMONTE SUBD

Developed Land Treatment		Zone 3 DMP Coefficients (Table 6.2.13)				Developed Calcs	
Land Type	Proposed Area Lot (SF)	Proposed Area %	100-Yr Storm Inch Depth (6 hr)	100-Yr Excess Precip (In)	Peak Discharge CFS/AC	Peak Rate of Discharge (CFS)	Req. SWQV Volume (Ac-Ft)
Type D	3345	45%	2.43	2.58	4.49	0.34	0.017
Type C	2629	35%	2.43	1.09	3.17	0.19	0.005
Type B	1500	20%	2.43	0.86	2.49	0.09	0.002
Type A	0	0%	2.43	0.67	1.84	0.00	0.000
Total		7474	100%			0.62	0.024

Peak Discharge:	0.622 CFS
Stormwater Quality Volume:	72.5 Cubic Ft
100-Yr Storm Volume:	1065.5 Cubic Ft
100-Yr Storm Retention Volume:	72.5 Cubic Ft

Total Drainage Basin Area: 7474 SF, 0.172 AC

Drainage Calculations

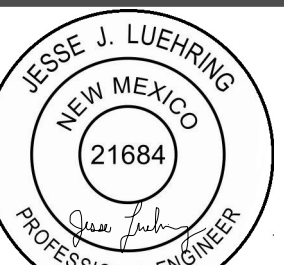
General Notes

1. All perimeter walls shall be permitted separately
2. No grading shall be allowed on adjacent properties
3. A pad certification is required before the building permit is issued
4. An as-built certification is required before certificate of occupancy is issued.
5. All disturbed areas shall be stabilized with concrete, gravel, asphalt, or native seed mix
6. It is recommended to contract with a licensed geotechnical engineer for all aspects of earthwork and engineered fill material
7. Driveway cutout shown in concept form only, and shall comply with NM Standard Specs for Public Works Construction, specifically Std Detail 2425
8. Any sideyard gates shall allow drainage conveyance to the front of the property as shown. All disturbed areas shall be stabilized with concrete, gravel, asphalt, or native seed mix
9. All ponding areas, including at lot outflow to have 2'-4" cobblestone

LEGEND

- BOUNDARY LINE
- - - EASEMENT
- 5331— PROPOSED MINOR CONTOUR (1')
- 5330— PROPOSED MAJOR CONTOUR (5')
- 5411— EXISTING MINOR CONTOUR (1')
- 5410— EXISTING MAJOR CONTOUR (5')
- x 5235.65 EXISTING SPOT ELEVATION

Scale: 1" = 10'



Critical View Engineering, LLC

10900 Florence Ave NE
 Albuquerque NM, 87122
 505-321-5917

GRADING AND DRAINAGE PLAN

1416 ESPEJO ST. NE
ALBUQUERQUE NM 87112