

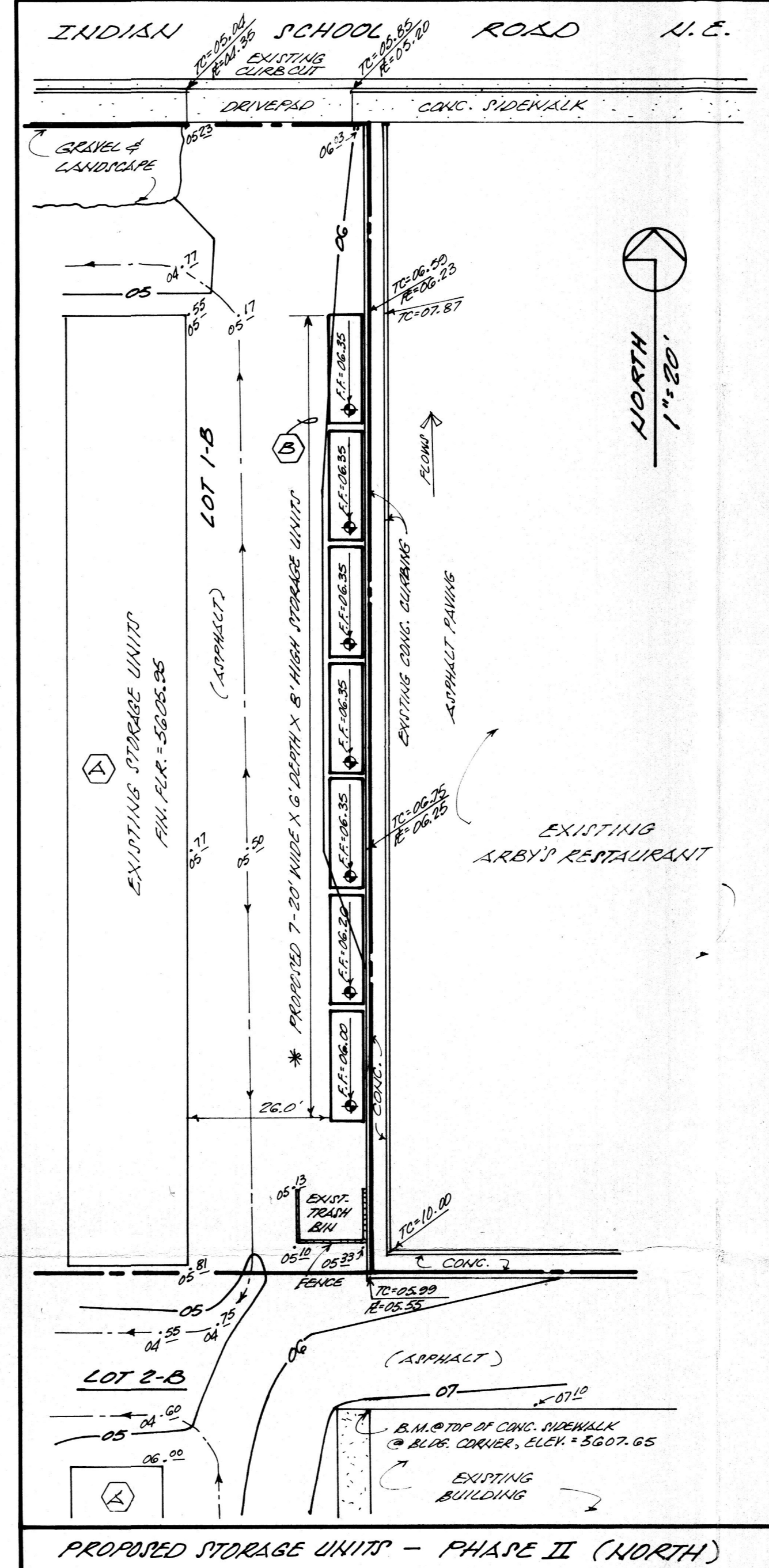
INDIAN SCHOOL ROAD N.E.
HAINES AVENUE N.E.
SITE PLAN
1" = 30'

- GENERAL NOTES:**
- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
 - NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD WITHIN THE SUBJECT SITE OTHER THAN THOSE SHOWN ON THE PLAT OF RECORD.
 - REFER TO "ARCHITECTURAL SITE PLAN" FOR FIELD LAYOUT OF THE PROPOSED IMPROVEMENTS.
 - TOPOGRAPHY SURVEY OBTAINED BY "TRANSIT-STADIA" METHOD.

- CONSTRUCTION NOTES:**
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 765-1234 FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
 - ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 - ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

- EROSION CONTROL MEASURES:**
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT FOR STORM RUN-OFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:
- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DICES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTIES.
 - ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREETS.
 - THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT WITHIN PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

- LEGEND:**
- T.C. = 03.04 = TOP OF CURB ELEVATION
 - ± = 02.40 = CURB FLOW LINE ELEVATION
 - ▭ = EXISTING OR PROPOSED CONCRETE
 - - - - = EXISTING CONTOUR (DIRT)
 - — — = PROPOSED CONTOUR & EXISTING
 - — — = EXISTING FENCE
 - ⬆ = PROPOSED SPOT ELEVATION



INDIAN SCHOOL ROAD N.E.
TABO BLVD. N.E.
PROPOSED STORAGE UNIT - PHASE II (NORTH)

LEGAL DESCRIPTION:

PORTION OF LOTS "1-B" AND "3-A", IN BLOCK SEVENTY-FIVE (75), OF EASTRIDGE PLAZA ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

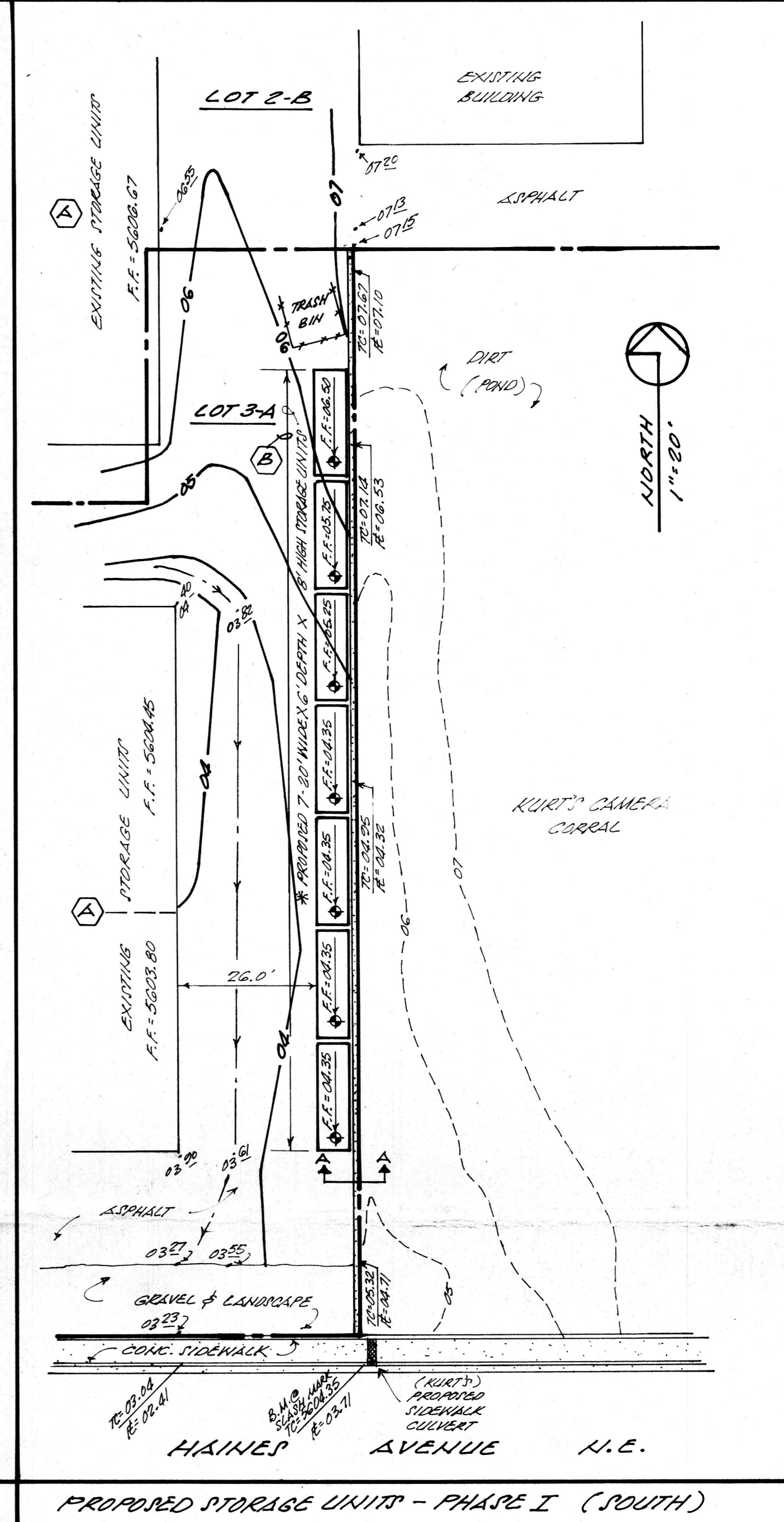
BENCH MARK REFERENCE:

ACS STATION "10-H21", LOCATED AT THE INTERSECTION OF JUAN TABO N.E. AND INDIAN SCHOOL ROAD N.E., M.S.L.D. ELEVATION = 5610.088; PROJECT BENCH MARK(S) AS SHOWN ON THE PLAN HEREON.

DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE WEST SIDE OF JUAN TABO BLVD. N.E. BETWEEN INDIAN SCHOOL ROAD N.E. AND HAINES AVENUE, N.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

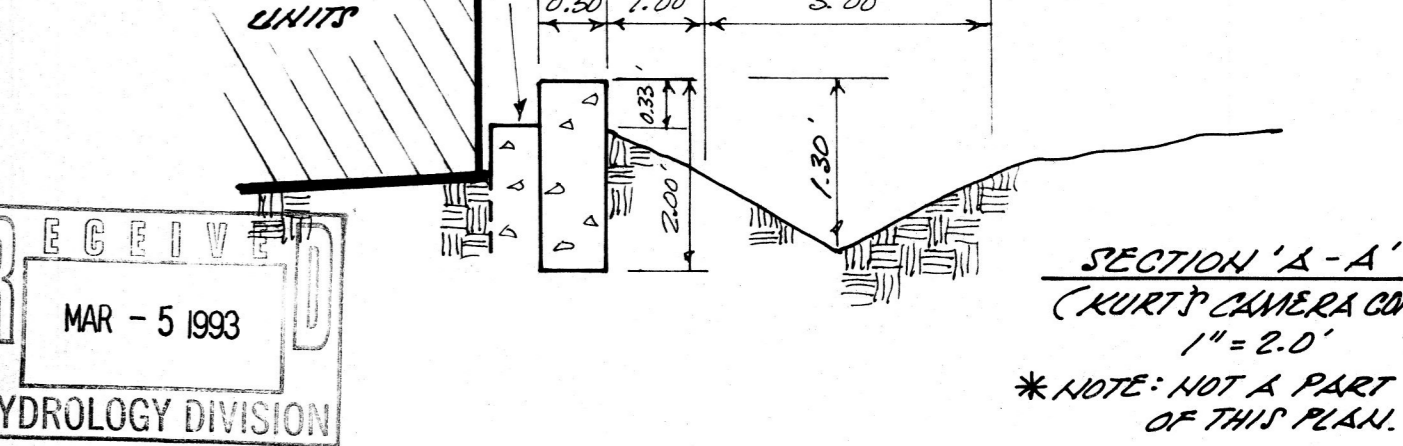
THE SUBJECT SITE, (1.) DOES NOT LIE WITHIN A DESIGNATED FLOOD PLAIN, (F.E.M.A. PANEL 31 OF 50), (2.) IS FULLY DEVELOPED WITH AN EXISTING MINI-STORAGE WAREHOUSE DEVELOPMENT; (3.) THE PROPOSED STORAGE UNITS ARE TO BE CONSTRUCTED ON WHAT IS PRESENTLY EXISTING ASPHALT PAVING, AND WILL THEREFORE NOT INCREASE THE DEVELOPED RUN-OFF WITHIN SAID DEVELOPMENT.



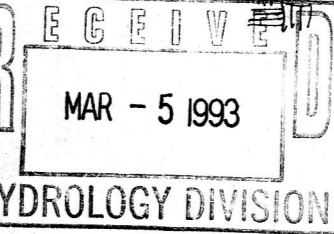
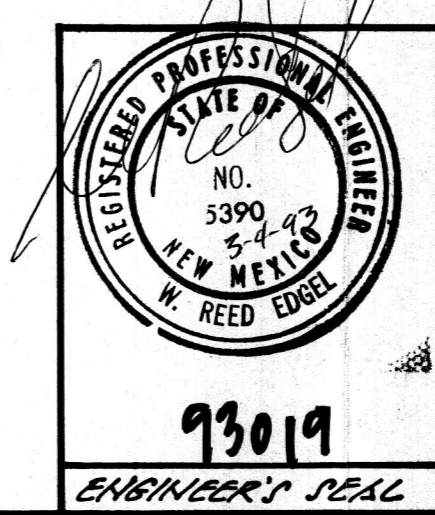
INDIAN SCHOOL ROAD N.E.
HAINES AVENUE N.E.
PROPOSED STORAGE UNIT - PHASE I (SOUTH)

NOTE: RUNOFF OF PROPOSED STORAGE UNITS TO CONTINUE IN HISTORIC DIRECTION(S).

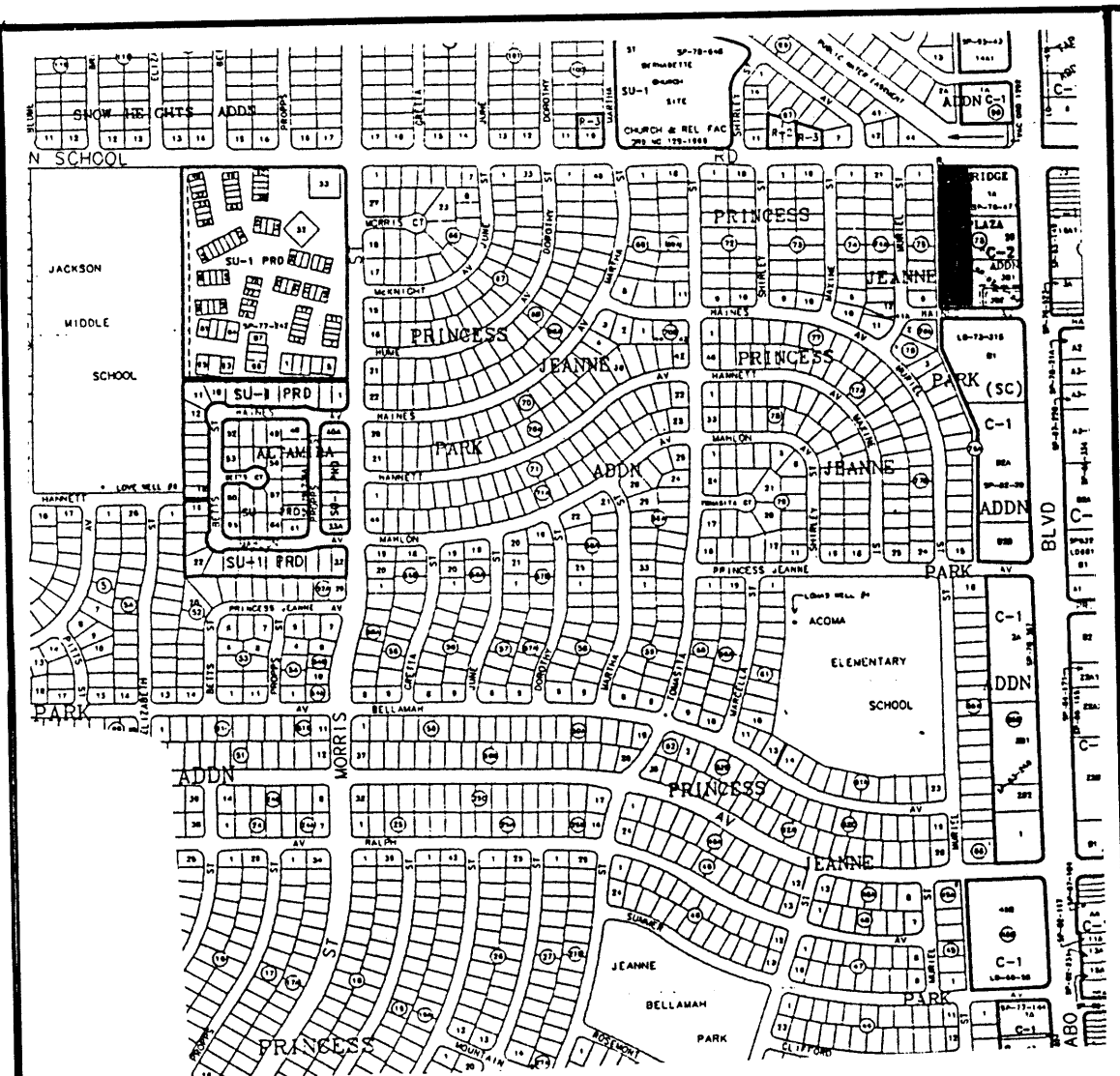
NOTE: REFERENCE IS MADE TO THE CITY APPROVED DRAINAGE PLAN OF "KURT'S CAMERA CORRAL" (DATED: OCTOBER, 1992) FOR PROPOSED DRAINAGE IMPROVEMENTS ALONG THE COMMON PROPERTY LINE AS SHOWN ON THE PLAN HEREON, (NO IMPROVEMENTS HAVE BEEN DONE AS OF THIS DATE, MARCH, 1993).



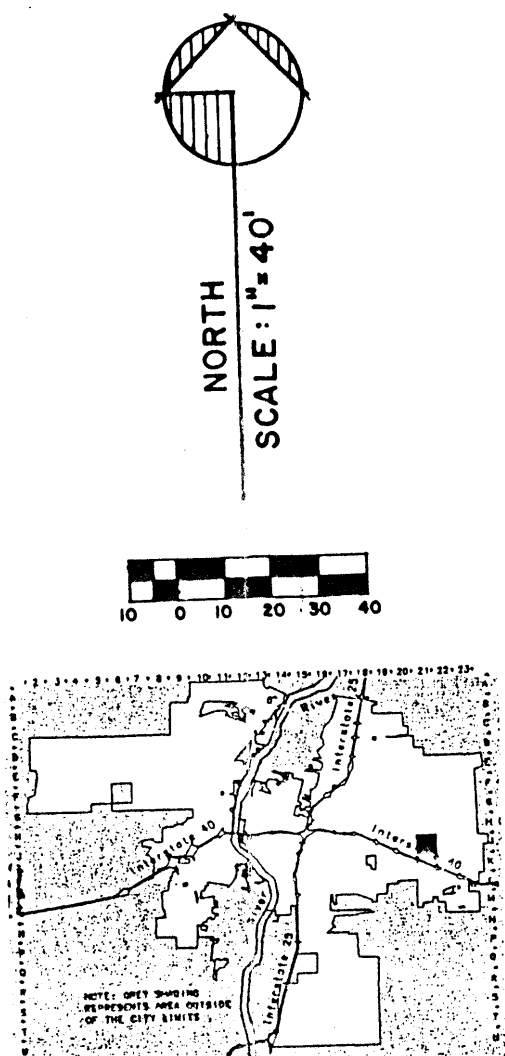
SECTION 'A-A'
(KURT'S CAMERA CORRAL)
1" = 2.0'
*NOTE: NOT A PART OF THIS PLAN.



DRAINAGE PLAN FOR ADDITIONAL MINI-STORAGE UNITS AT "JUAN TABO SELF STORAGE" 1733 JUAN TABO BLVD. N.E. ALBUQUERQUE, NEW MEXICO MARCH, 1993



Zone Atlas Page J-21-Z
VICINITY MAP



LOCATION MAP

GENERAL NOTES:

- 1.) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- 2.) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON

LEGEND:

- TOP OF CURB ELEVATION = 70+02.80
- CURB FLOWLINE ELEVATION = 70+03.17
- EXISTING SPOT ELEVATION = 70+03.20
- EXISTING CONTOUR ELEVATION = 70+03.00
- PROPOSED SPOT ELEVATION = 70+03.80
- PROPOSED CONTOUR ELEVATION = 70+04.00
- PROPOSED OR EXISTING CONCRETE SURFACE = [Symbol]
- EXISTING FENCE LINE = [Symbol]

LEGEND:

- POWER POLE = PP ●
- FIRE HYDRANT = FH ▲
- WATER METER = WM ○
- EXISTING CHAIN LINK FENCE = [Symbol]
- EXISTING STORAGE BUILDING = [Symbol]
- PROPOSED STORAGE BUILDING = [Symbol]
- LIGHT POLE = [Symbol]
- EXISTING LANDSCAPE AREA = [Symbol]

LEGAL DESCRIPTION:

LOT "1-B-1", EASTRIDGE PLAZA ADDITION, TO THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

BENCH MARK REFERENCE:

ACS STATION "15-H22", ELEVATION 5612.966 (NGVD 29); PROJECT T.B.M. AS SHOWN ON THE PLAN HEREON.

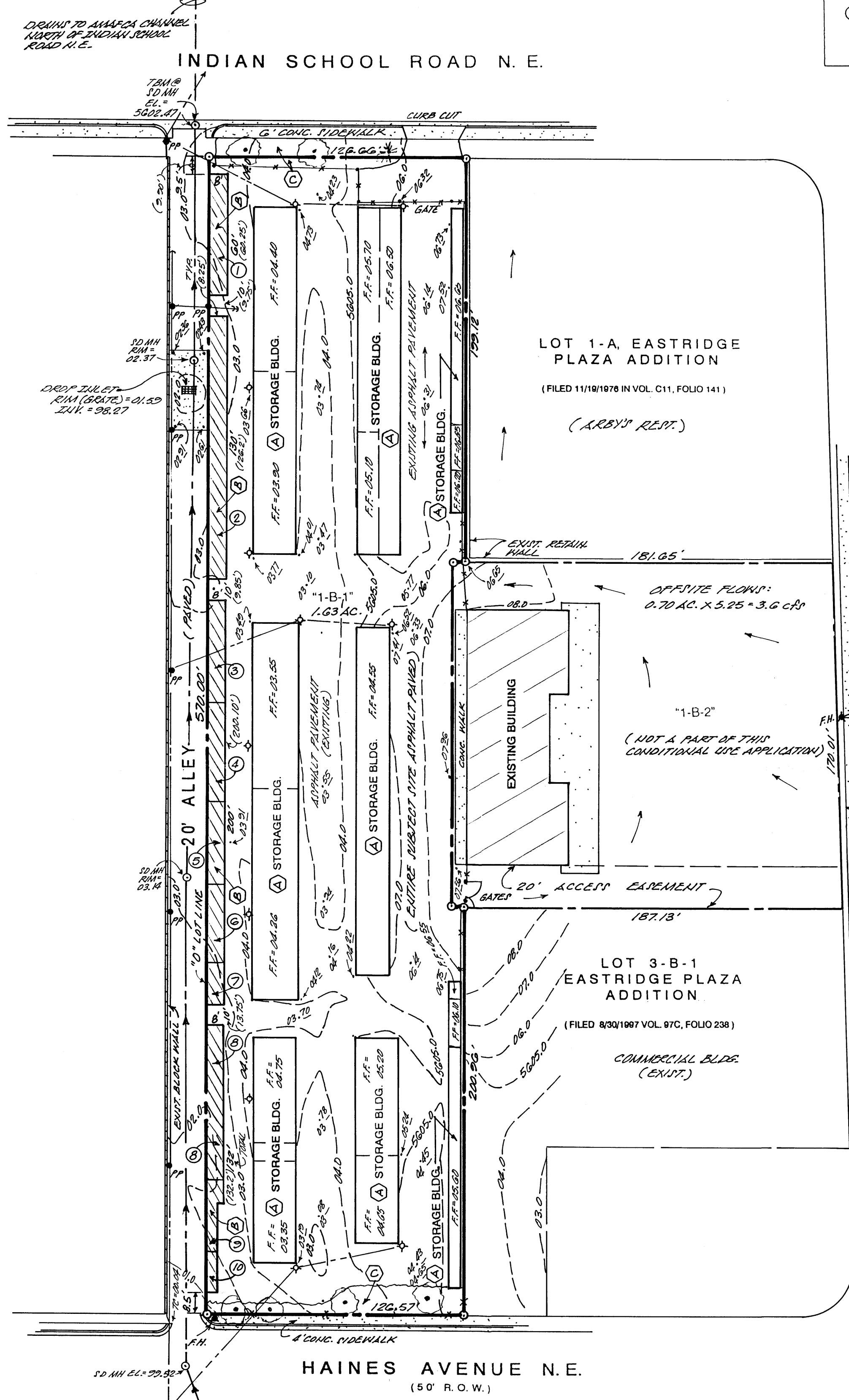
EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- 1.) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SHALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- 2.) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- 3.) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- 1.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OR SUB-SURFACE UTILITIES.
- 2.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3.) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4.) ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.



FINISH FLOORS:

PROPOSED: "AS-BUILT"

①	5603.75	5603.72
②	5603.80	5603.76
③	5603.60	5603.56
④	5603.20	5603.84
⑤	5604.40	5604.37
⑥	5603.20	5602.86
⑦	5603.40	5602.34
⑧	5603.40	5603.17
⑨	5603.15	5602.91
⑩	5602.50	5602.20

TABLE A-9. PEAK DISCHARGE (cfs/acre)

Zone	Treatment (2-YR, 10-TR)			
	A	B	C	D
1	1.37 (0.00, 0.24)	2.00 (0.33, 0.76)	2.83 (0.47, 1.49)	4.37 (1.69, 2.89)
2	1.56 (0.00, 0.38)	2.38 (0.08, 0.95)	3.14 (0.60, 1.71)	4.70 (1.86, 3.14)
3	1.87 (0.00, 0.58)	2.60 (0.21, 1.19)	3.45 (0.78, 2.00)	5.02 (2.04, 3.39)
④	2.20 (0.05, 0.87)	2.92 (0.38, 1.45)	3.73 (1.00, 2.26)	5.25 (2.17, 3.57)

TABLE A-10. PEAK INTENSITY (IN/HR at t=0.2 hour)

Zone	Intensity (2-YR, 10-YR)
1	4.70 (1.84, 3.14)
2	5.05 (2.04, 3.41)
3	5.18 (2.21, 3.65)
④	5.61 (2.34, 3.83)

TABLE A-4. LAND TREATMENTS

Treatment	Land Condition
A	Soil unaccompanied by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Cropland. Unlined Arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil unaccompanied by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil unaccompanied by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Cover or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil unaccompanied by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In lieu of specific measurement for treatment D, the areal percentages in TABLE A-5 may be employed.

DRAINAGE COMMENTS:

As shown on the plan hereon, the subject site lies on the South side of Indian School Road N.E. and West of Juan Tabo Blvd. N.E., in the city of Albuquerque, Bernalillo County, New Mexico.

The subject site comprises of an existing mini-storage unit facility that has storage buildings and asphalt paving thereon; the proposed plan is to construct additional mini-storage units along the westerly portion of the subject property which at the present time consists of existing asphalt paving; therefore, there will be no increase of surface flows.

The subject site, 1.) Does not lie within a designated floodplain (Re: F.E.M.A. Panel 357 of 825), 2.) Does not contribute to the offsite flows of adjacent properties, 3.) Will accept and pass through approximately 3.6 cfs of offsite flows from the retail property which lies East of and adjacent to the subject site.

DRAINAGE CALCULATIONS:

Per Section 22.2, Hydrology of the Development Process Manual, Volume 2., Design Criteria for the City of Albuquerque, Bernalillo County, New Mexico.

Site Area : 1.63 acres
Precipitation Zone : Four (4)
Peak Intensity : In./Hr. @ T_c = Twelve (12) minutes, 100yr./ 6hr. = 5.61

Existing and Proposed Conditions :

Treatment	Area/Acres	Factor	CFS
C	0.05	X 3.73	= 0.19
D	1.58	X 5.25	= 8.30

"Q_p" = 8.49 cfs

DRAINAGE CERTIFICATION:

I, LEVI J. VALDEZ, N.M.P.E. NO. 5693, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED FEBRUARY 11, 2005. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

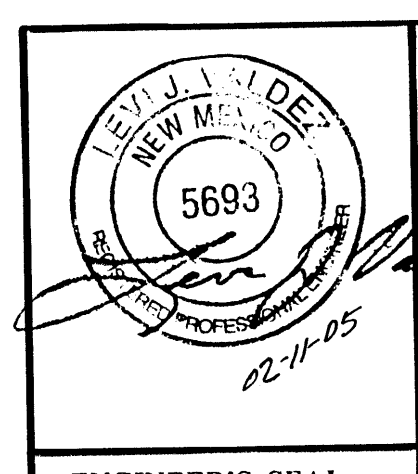
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT, FOR ANY OTHER PURPOSES.

Levi J. Valdez
LEVI J. VALDEZ, N.M.P.E. NO. 5693
DATE: 07-08-05



"ENGINEER'S CERTIFICATION"
(JULY-2005)

Rec'd
7/15/05



A PROPOSED GRADING AND DRAINAGE PLAN FOR JUAN TABO SELF STORAGE (INDIAN SCHOOL RD. N.E. AT JUAN TABO BLVD. N.E.) ALBUQUERQUE, NEW MEXICO

ENGINEER'S SEAL

J-21/D36