

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 5, 2024

Jeffrey Wooten, PE
Wooten Engineering
PO Box 15814
Rio Rancho, NM 87174

jeffwooten.pe@gmail.com

Re: Dunkin
1600 Eubank NE
Traffic Circulation Layout
Engineer's Stamp Dated 8-6-24 (J21D004A)

Dear Mr. Wooten,

The TCL submittal received 8-6-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: Dunkin Restaurant Hydrology File # _____
Legal Description: Parcel B-2-A, Lands of Audio Clinic, Inc and International Development
City Address, UPC, OR Parcel: 1600 Eubank Blvd NE (UPC 102105801640221502)

Applicant/Agent: Wooten Engineering - Agent Contact: Jeffrey T. Wooten, P.E.
Address: PO Box 15814 , Rio Rancho, NM 87174 Phone: 505-980-3560
Email: jeffwooten.pe@gmail.com

Applicant/Owner: NMR-1600 RE, LLC Contact: Murad Fazal
Address: 1S376 Summit Ave, Oakbrook Terrace, IL Phone: 630-878-9965
Email: muradf@fdngroup.com

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) _____ ☐ RESIDENCE
☐ DFT SITE ☒ ADMIN SITE

RE-SUBMITTAL: ☐ YES ☒ NO

DEPARTMENT: ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

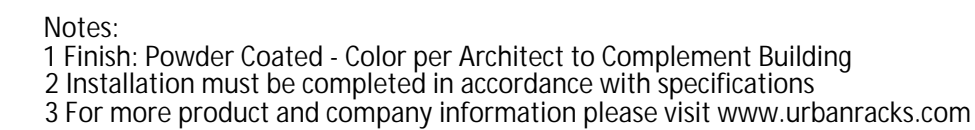
TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING & DRAINAGE PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DFT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT DFT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ OTHER (SPECIFY) _____

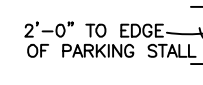
DATE SUBMITTED: April 10, 2024



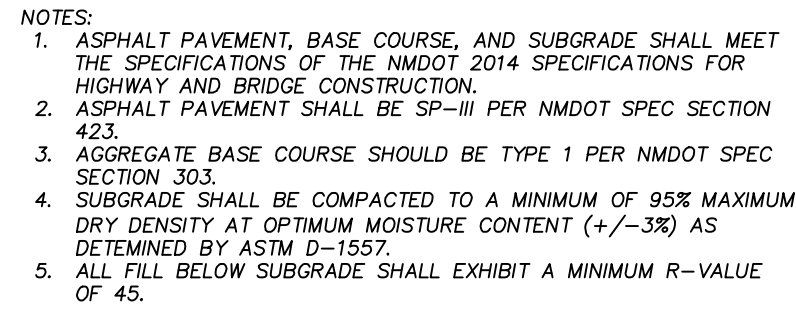
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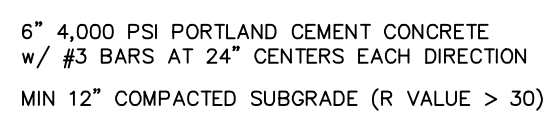
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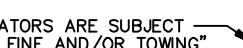


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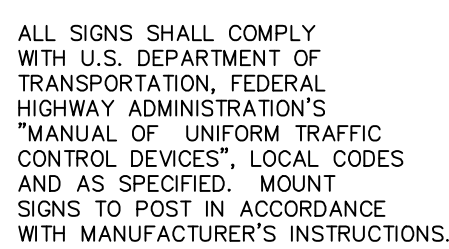
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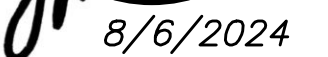
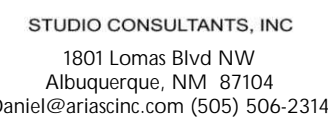
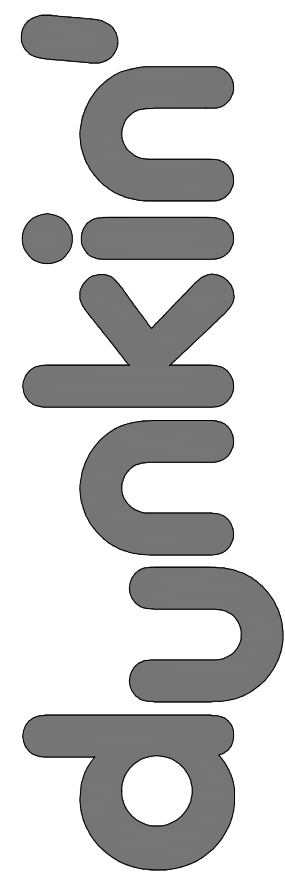
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THESE PLANS ARE CONFIDENTIAL PROPERTY OF INSPIRE BRANDS, UNDER RESTRICTED ACCESS.



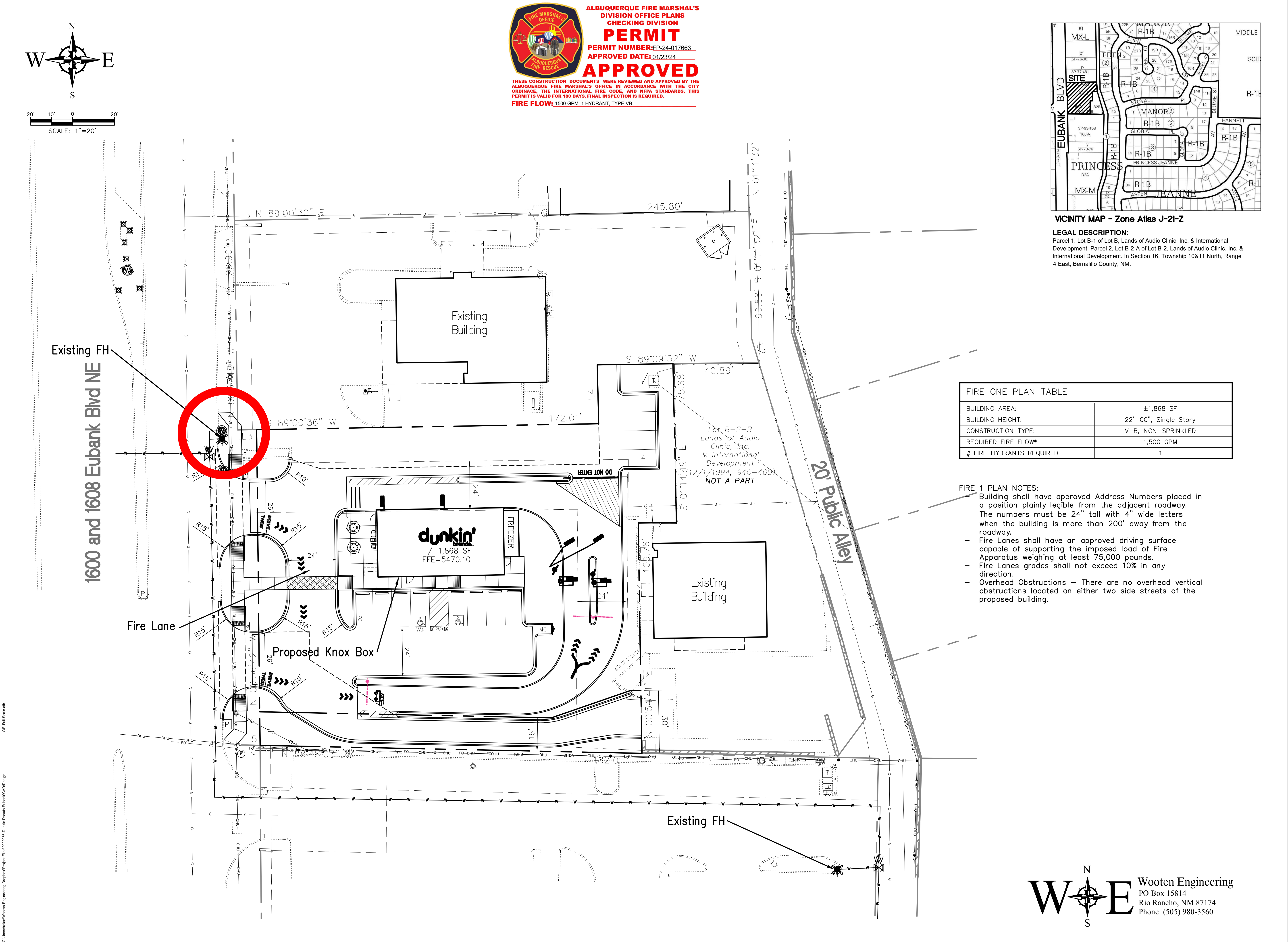
SET REVISIONS		DATE	DATE	09/05/2023
NO	DESCRIPTION			
			SCALE	as noted
			DRAWN	RMG
			CKD	JTW
			APPD	JTW

Dunkin' Restaurant with Drive-Thru
1600 Eubank Blvd NE, Albuquerque, NM 87112

SITE DETAILS

PC NUMBER

C102





ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION

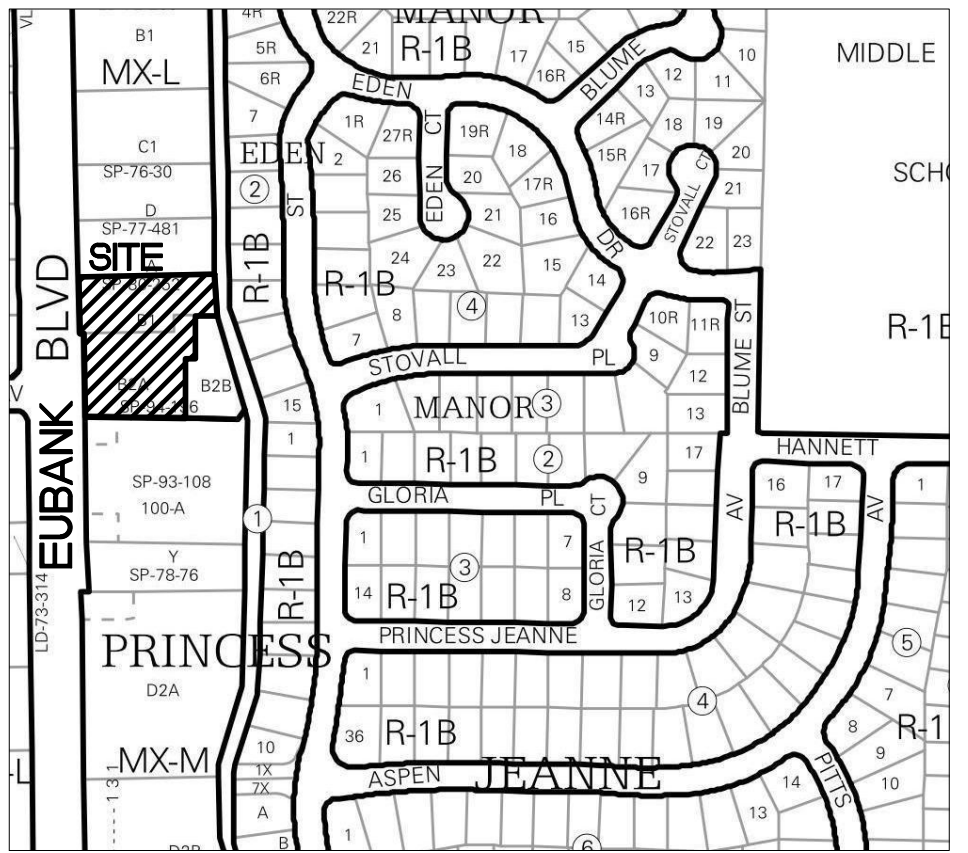
PERMIT

PERMIT NUMBER:FP-24-017663
APPROVED DATE: 01/23/24

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE
ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY
ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS
PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

FIRE FLOW: 1500 GPM, 1 HYDRANT, TYPE VB




VICINITY MAP - Zone Atlas J-21-Z

LEGAL DESCRIPTION:
Parcel 1, Lot B-1 of Lot B, Lands of Audio Clinic, Inc. & International Development. Parcel 2, Lot B-2-A of Lot B-2, Lands of Audio Clinic, Inc. & International Development. In Section 16, Township 10&11 North, Range 4 East, Bernalillo County, NM.

FIRE ONE PLAN TABLE	
BUILDING AREA:	±1,868 SF
BUILDING HEIGHT:	22'-00", Single Story
CONSTRUCTION TYPE:	V-B, NON-SPRINKLED
REQUIRED FIRE FLOW*	1,500 GPM
# FIRE HYDRANTS REQUIRED	1

- FIRE 1 PLAN NOTES:**
- Building shall have approved Address Numbers placed in a position plainly legible from the adjacent roadway. The numbers must be 24" tall with 4" wide letters when the building is more than 200' away from the roadway.
 - Fire Lanes shall have an approved driving surface capable of supporting the imposed load of Fire Apparatus weighing at least 75,000 pounds.
 - Fire Lanes grades shall not exceed 10% in any direction.
 - Overhead Obstructions – There are no overhead vertical obstructions located on either two side streets of the proposed building.



Wooten Engineering

PO Box 15814
Rio Rancho, NM 87174
Phone: (505) 980-3560

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STUDIO CONSULTANTS, INC
1801 Lomas Blvd NW
Albuquerque, NM 87104
Daniel@ariastudio.com (505) 506-2314



1/22/2024

SET REVISIONS	NO	DESCRIPTION	DATE	09/05/2023	SCALE	as noted	DRAWN	RMG	CKD	JTW	APPD	JTW

Dunkin' Restaurant with Drive-Thru
1600 Eubank Blvd NE, Albuquerque, NM 87112

FIRE 1 PLAN

PC NUMBER

F1

09092022