CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

September 5, 2024

Jeffrey Wooten, PE Wooten Engineering PO Box 15814 Rio Rancho, NM 87174

jeffwooten.pe@gmail.com

Re: Dunkin

1600 Eubank NE

Traffic Circulation Layout

Engineer's Stamp Dated 8-6-24 (J21D004A)

Dear Mr. Wooten,

The TCL submittal received 8-6-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed <u>Drainage and Transportation Information Sheet</u> to the <u>PLNDRS@cabq.gov</u> for log in and evaluation by Transportation.

Albuquerque

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

NM 87103

www.cabq.gov

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD,PE,CFM Sr. Engineer, Planning Dept. Development Review Services

C: CO Clerk, File



City of Albuquerque Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: Dunkin Restaurant Legal Description: Parcel B-2-A, Lands of Auc City Address, UPC, OR Parcel: 1600 Eubank B	Hydrology File #_dio Clinic, Inc and International Development Ivd NE (UPC 102105801640221502)
Applicant/Agent: Wooten Engineering - Age Address: PO Box 15814, Rio Rancho, NM 87 Email: jeffwooten.pe@gmail.com	
Applicant/Owner: NMR-1600 RE, LLC Address: 1S376 Summit Ave, Oakbrook Terrace Email: muradf@fdngroup.com	Contact: Murad Fazal
Address: 1S376 Summit Ave, Oakbrook Terrace	e, IL Phone: 630-878-9965
Email: muradi@idngroup.com	
(Please note that a DFT SITE is one that needs Site Plan A	Approval & ADMIN SITE is one that does not need it.)
TYPE OF DEVELOPMENT: PLAT (#of lots) _ DFT SITE	RESIDENCE ADMIN SITE
RE-SUBMITTAL: YES NO	
DEPARTMENT: TRANSPORTATION	HYDROLOGY/DRAINAGE
Check all that apply under Both the Type of Submitta	l and the Type of Approval Sought:
TYPE OF SUBMITTAL:	TYPE OF APPROVAL SOUGHT:
ENGINEER/ARCHITECT CERTIFICATION	B UILDING PERMIT APPROVAL
PAD CERTIFICATION	CERTIFICATE OF OCCUPANCY
CONCEPTUAL G&D PLAN	CONCEPTUAL TCL DFT APPROVAL
GRADING & DRAINAGE PLAN	PRELIMINARY PLAT APPROVAL
DRAINAGE REPORT	FINAL PLAT APPROVAL
DRAINAGE MASTER PLAN	SITE PLAN FOR BLDG PERMIT DFT
CLOMR/LOMR	APPROVAL
TRAFFIC CIRCULATION LAYOUT (TCL)	SIA/RELEASE OF FINANCIAL GUARANTEE
ADMINISTRATIVE	FOUNDATION PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL	GRADING PERMIT APPROVAL
TRAFFIC IMPACT STUDY (TIS)	SO-19 APPROVAL
STREET LIGHT LAYOUT	PAVING PERMIT APPROVAL
OTHER (SPECIFY)	GRADING PAD CERTIFICATION
OTTIER (SI ECII 1)	WORK ORDER APPROVAL
	CLOMR/LOMR
	OTHER (SPECIFY)
DATE SUBMITTED: April 10, 2024	

CAUTION - NOTICE TO CONTRACTOR

24' Wide Shared

Access Easement

Rim: 5466.7

E Inv: ±5458.9'

W Inv: ±5459.1'

罗

BWd

Jbank

1608

and

1600

W W W W W W

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW MEXICO ONE CALL (811) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

24' Wide Shared

Access Easement

ALL BROKEN OR CRACKED SIDEWALK AND CURB AND GUTTER MUST BE REPLACED WITH NEW SIDEWALK AND STANDARD CURB AND GUTTER PER COA STD DWGS 2415A & 2430 REMOVAL SHALL BE TO THE NEAREST EXISTING JOINT.

Variable Width

Access Easement

NMR-1600 RE LLC, as owner of the property located at 1608 Eubank NE, shall grant a perpetual non-exclusive easement in favor of NMR-1600 RE LLC, or any future owner of 1600 Eubank NE for the joint use, access and shared maintenance of the trash endosure located at 1608 Eubank NE. Said easement agreement shall be recorded in the county record shall run with the land, and is binding upon and inures to the benefit of all subsequent owners of these properties or portions thereof, and may only be terminated if the parties to the easement obtain written approval from the City of Albuquerque's Solid Waste Department for alternate solid waste access and refuse collection.

New 20' Wide Shared

Refuse Access Easement

Existing

SAWCUT LINE - MATCH EXISTING

24' Wide Shared Access Easement

22' Wide Shared

Access Easement

FFE=5471.00

245.80'

S 89°09'52"

18'

40.89

LD B-2-B

Lands of Audio

Clinic, Yac. & International

NOT A PART

Existing

Building

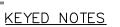
PARKING CALCUL	LATIONS	
BUILDING AREA:	AREA (SQL	JARE FEET)
RESTAURANT	+/- 1,	868 SF
OUTDOOR DINING	+/- 5	500 SF
PARKING REQUIREMENTS:	REQUIRED	PROVIDED
RESTAURANT (5.6/1,000 SF)	10 spaces	10 spaces
OUTDOOR DINING (3/1,000 SF)	2 spaces	2 spaces
TOTAL	10 spaces	12 spaces
	REQUIRED	PROVIDED
HANDICAP PARKING	1 spaces	2 spaces
MOTORCYCLE PARKING	1 spaces	1 spaces
BICYCLE PARKING	3 spaces	4 spaces
DRIVE—THRU QUEUEING	12 spaces	16 spaces

He



LEGAL DESCRIPTION:

Lot B-2-A of Lot B-2, Lands of Audio Clinic, Inc. & International Development. Section 16, Township 10&11 North, Range4 East, Bernalillo County, NM.



DETAIL ON SHEET C102.

TRAFFIC CIRCULATION LAYOUT APPROVED

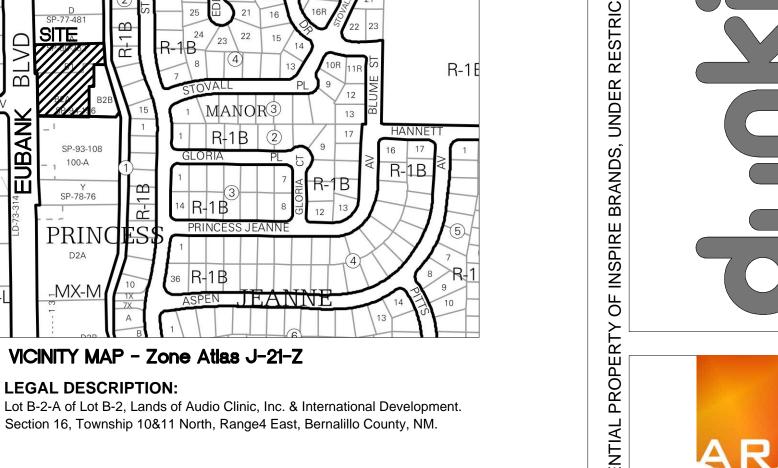
Sertil A. Kanbar 9/5/24

- 1. EXISTING DUMPSTER TO REMAIN AND BE UTILIZED FOR TRASH PICKUP.
- 2. INSTALL MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415B. GUTTER PAN SHALL BE SLOPED TO MATCH THE ADJACENT PAVEMENT.
- 3. INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430. SIDEWALK CROSS SLOPE SHALL BE 2% MAX AND SLOPE AWAY FROM CURB.
- 4. INSTALL ASPHALT PAVEMENT PER GEOTECHNICAL REPORT. RECOMMENDATIONS &
- 5. INSTALL HEAVY DUTY CONCRETE PAVEMENT PER GEOTECHNICAL REPORT. RECOMMENDATIONS & DETAIL ON SHEET C102.
- 6. INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES OR DRIVEWAY, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). MIN. TWO COATS.
- 7. PAINTED INTERNATIONAL WHEELCHAIR SYMBOL (BLUE) PER ADA STANDARDS. MIN. TWO COATS. INDICATE VAN ONLY SPACE AS SHOWN ON PLAN.
- 8. INSTALL H/C SIGNAGE PER DETAIL, SHEET C102. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING." REF DETAIL ON SHEET
- 9. INSTALL 4" WIDE PAINT STRIPES (WHITE) FOR ALL PARKING SPACES. MIN. TWO
- 10. PAINT WORDS 'NO PARKING' &/OR 'VAN' WITH LETTERS AT LEAST ONE FOOT HIGH AND 2 INCHES WIDE. MIN. TWO COATS.
- 11. INSTALL BIKE RACK(S) PER DETAIL, SHEET C-102.
- 12. INSTALL PRE-CAST WHEEL STOP PER DETAIL, SHEET C-102.
- 13. INSTALL PARALLEL CURB RAMP PER COA STD DWGS 2440 & 2443. TRUNCATED DOMES SHALL BE INSTALLED PER COA STD DWG 2446.
 - 14. LANDSCAPE AREA. REF. LANDSCAPE PLANS.
 - 15. MOTORCYCLE PARKING; 1 SPACE. ADD PAINT LABEL (2 COATS) AND SIGNAGE PER COA CODE. SIGN DETAIL ON SHEET C102.
 - 16. INSTALL STAMPED CONCRETE CROSSWALK PER DETAIL, SHEET C102.
 - 17. INSTALL DUNKIN' DONUTS BRAND 'DO NOT ENTER / SEE YOU SOON' SIGNAGE. REF. ARCHITECTURAL PLANS FOR DETAILS.
 - 18. INSTALL DUNKIN' DONUTS DRIVE THRU EQUIPMENT AND DIRECTIONAL SIGANGE/STRIPING. REF. ARCHITECTURAL PLANS FOR DETAILS.
 - 19. INSTALL 12' WIDE STOP BAR AND PAINT WORDS 'DO NOT ENTER' WITH LETTERS AT LEAST 24 INCHES HIGH AND 3 INCHES WIDE. COLOR: REFLECTIVE YELLOW. MINIMUM
 - 20. INSTALL CONCRETE BOLLARDS PER DETAIL, SHEET C102.

TWO COATS.

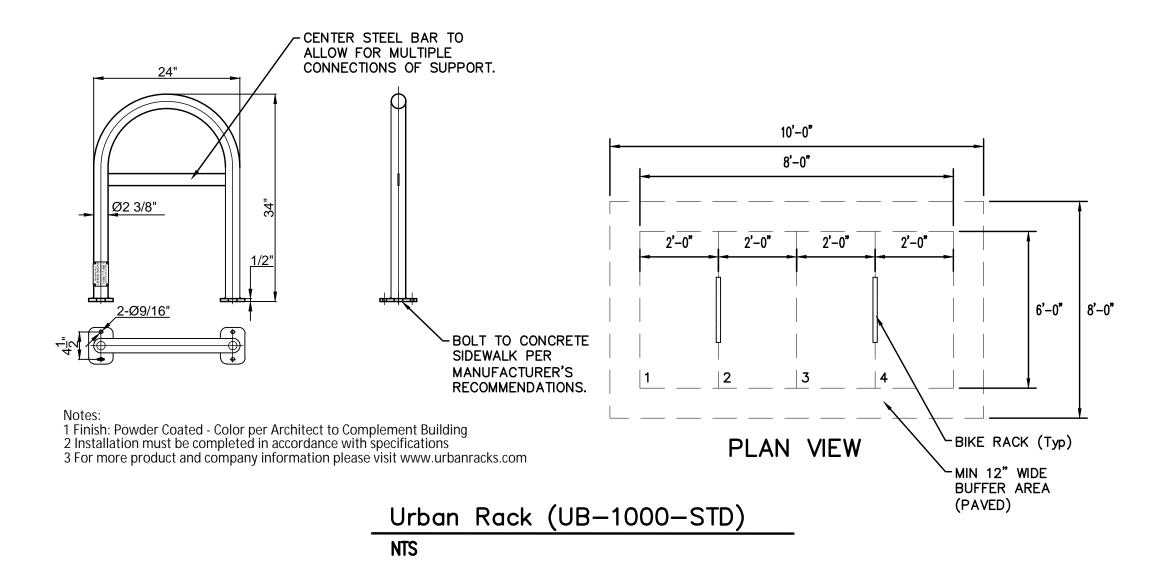
- 21. INSTALL STOP SIGN (R-1-1-30). SIGN POST DETAIL ON SHEET C102.
- 22. INSTALL PRIVATE ENTRANCE PER PLAN AND PER COA STD DWG 2426.
- 23. INSTALL CURB/GUTTER TO MATCH EXISTING PER COA STD DWG 2415A.
- 24. INSTALL MONOLITHIC CURB ONTO CONCRETE PAVEMENT TO MATCH THE MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415A. GUTTER PAN SHALL BE SLOPÉD TO MAÌCH THE ADJACENT PAVEMENT.
- 25. PAINT DUNKIN DIRECTIONAL ARROWS AND SYMBOLS PER DUNKIN STANDARDS.
- 26. 11'X11' MINI CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING, AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE; SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- 27. INSTALL ARROWS USING 90-MIL THERMOPLASTIC RETRO REFLECTORIZED STRIPING PER DETAIL ON SHEET C102.
- 28. INSTALL 'DO NOT ENTER' SIGN. USE SIGN POST DETAIL PER SHEET C102.
- 29. EXISTING SIGN TO BE REMOVED AND RELOCATED.

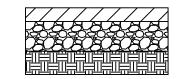




1801 Lomas Blvd NW Albuquerque, NM 87104 Daniel@ariascinc.com (505) 506-2314

00/05/2023	03/03/2023	•	SCALE as noted	RMG	WTC	À E	2
Ц К		1	SCALE	DRAWN RMG	CKD	APPD	<u>.</u>
	DATE						
SET REVISIONS	NO DESCRIPTION						





- 3" ASPHALTIC CONCRETE (2 LIFTS) 6" AGGREGATE BASE COURSE MIN. 12" COMPACTED SUBGRADE
- 1. ASPHALT PAVEMENT, BASE COURSE, AND SUBGRADE SHALL MEET THE SPECIFICATIONS OF THE NMDOT 2014 SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION.
- 2. ASPHALT PAVEMENT SHALL BE SP-III PER NMDOT SPEC SECTION 423. 3. AGGREGATE BASE COURSE SHOULD BE TYPE 1 PER NMDOT SPEC SECTION 303.
- 4. SUBGRADE SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM
- DRY DENSITY AT OPTIMUM MOISTURE CONTENT (+/-3%) AS DETEMINED BY ASTM D-1557.

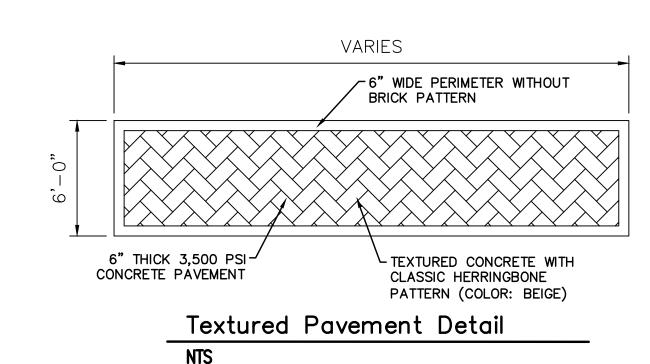
 5. ALL FILL BELOW SUBGRADE SHALL EXHIBIT A MINIMUM R-VALUE OF 45.

Asphalt Pavement Section

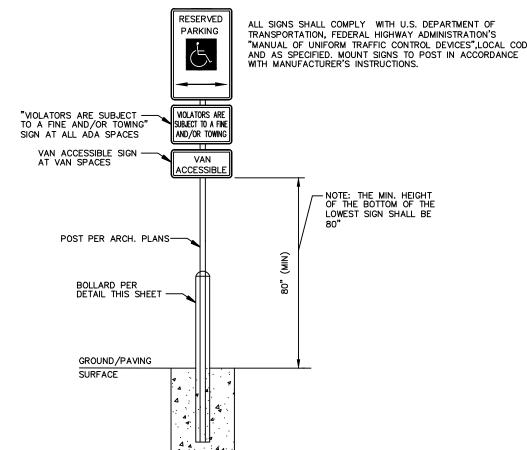
6" 4,000 PSI PORTLAND CEMENT CONCRETE w/ #3 BARS AT 24" CENTERS EACH DIRECTION MIN 12" COMPACTED SUBGRADE (R VALUE > 30)

NOTE: REFERENCE ACI 330R-01 "DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS" FOR ADDITIONAL REQUIREMENTS OF CONSTRUCTION AND LOAD TRANSFER JOINT SPACING.

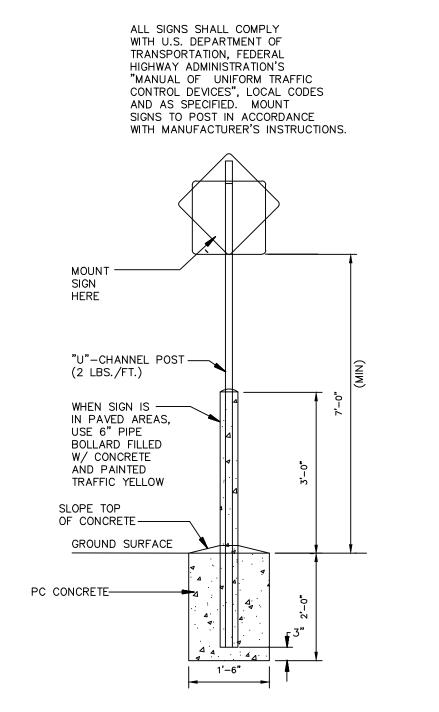
Concrete Pavement Section



TRAFFIC CIRCULATION LAYOUT APPROVED Sertil A. Kanbar 9/5/24

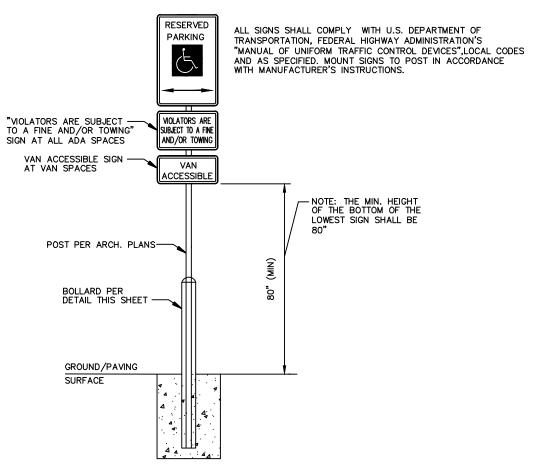


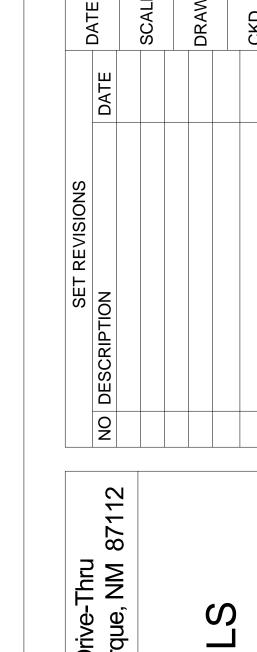
H/C Sign Detail



Standard Sign Base







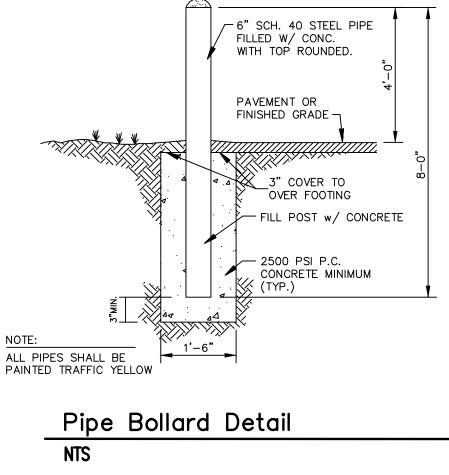
STUDIO CONSULTANTS, INC

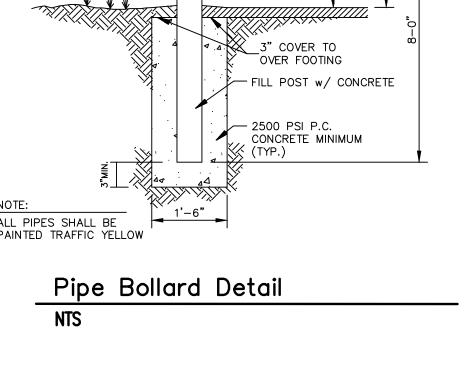
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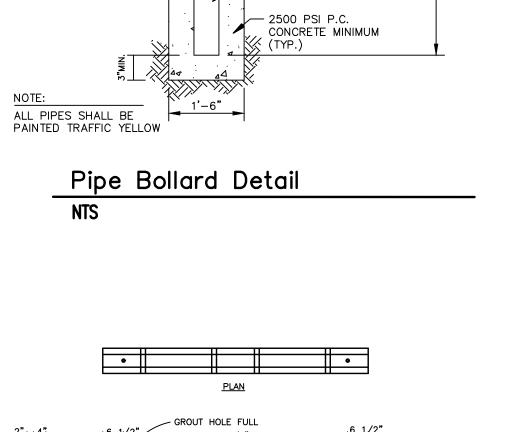
Daniel@ariascinc.com (505) 506-2314

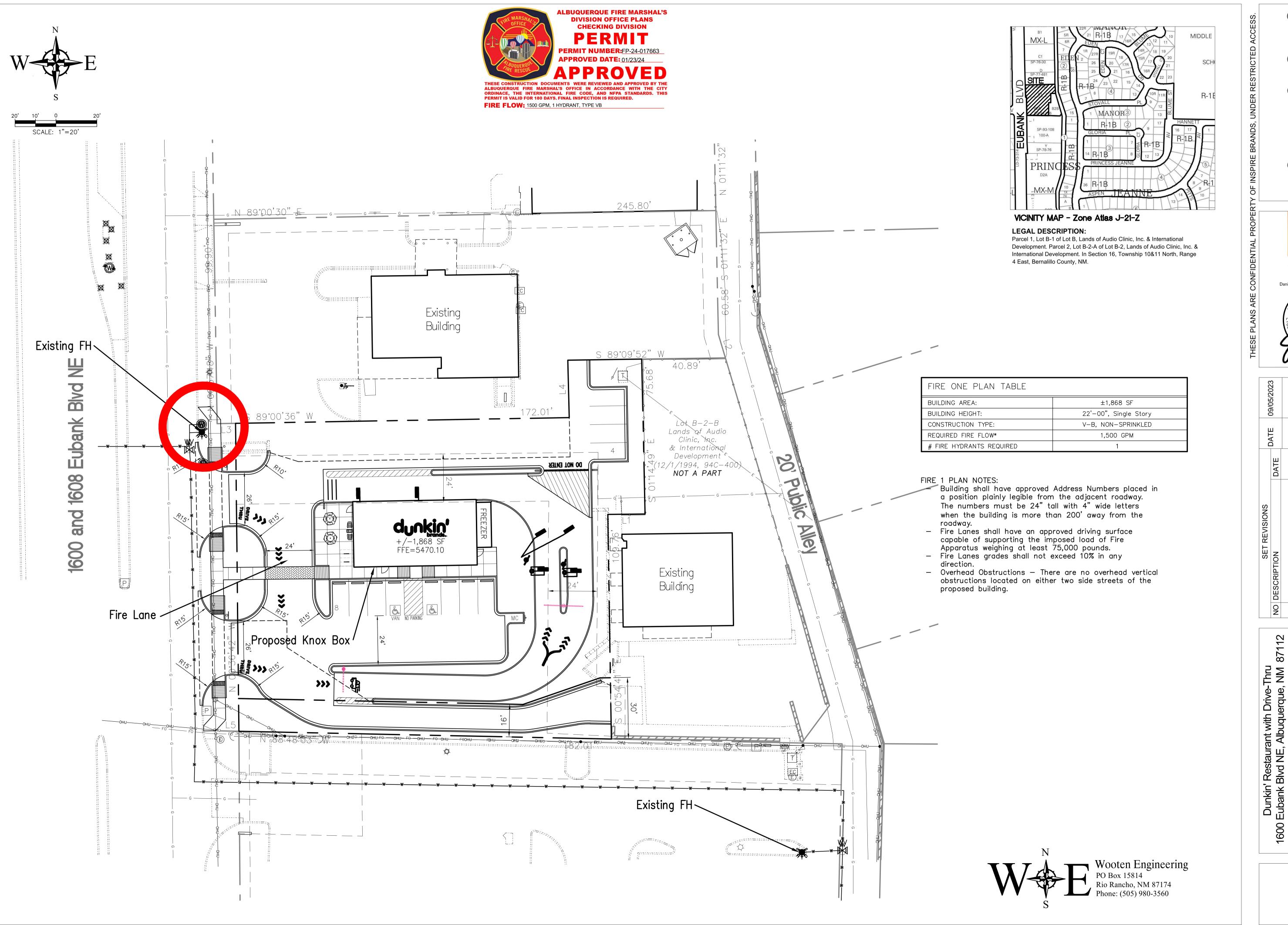
Dunkin' Restaurant with Drive-Thru 1600 Eubank Blvd NE, Albuquerque, NM 87112 DETAIL SITE

INSTALLATION PLAN Precast Concrete Wheel Stop NTS











SET REVISIONS	SIONS	 	00/06/2002
NO DESCRIPTION	DATE	<u> </u>	03/03/2023
		SCALE	SCALE as noted
		DRAWN RMG	RMG
		СКО	MLC
		WTI CIGGO	ΛΉ

FIRE 1 PLAN

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