

LEGEND:

- T.C. = 61.20 = TOP OF CURB ELEVATION
- E. = 63.10 = CURB ROW LINE ELEVATION
- G1 --- = EXISTING OR PROPOSED CONCRETE
- G2 --- = EXISTING CONTOUR
- G3 --- = PROPOSED CONTOUR
- G4 --- = EXISTING FENCE
- G5 --- = PROPOSED SPOT ELEVATION
- G6 --- = PROPOSED LIMIT OF NEW PAVING

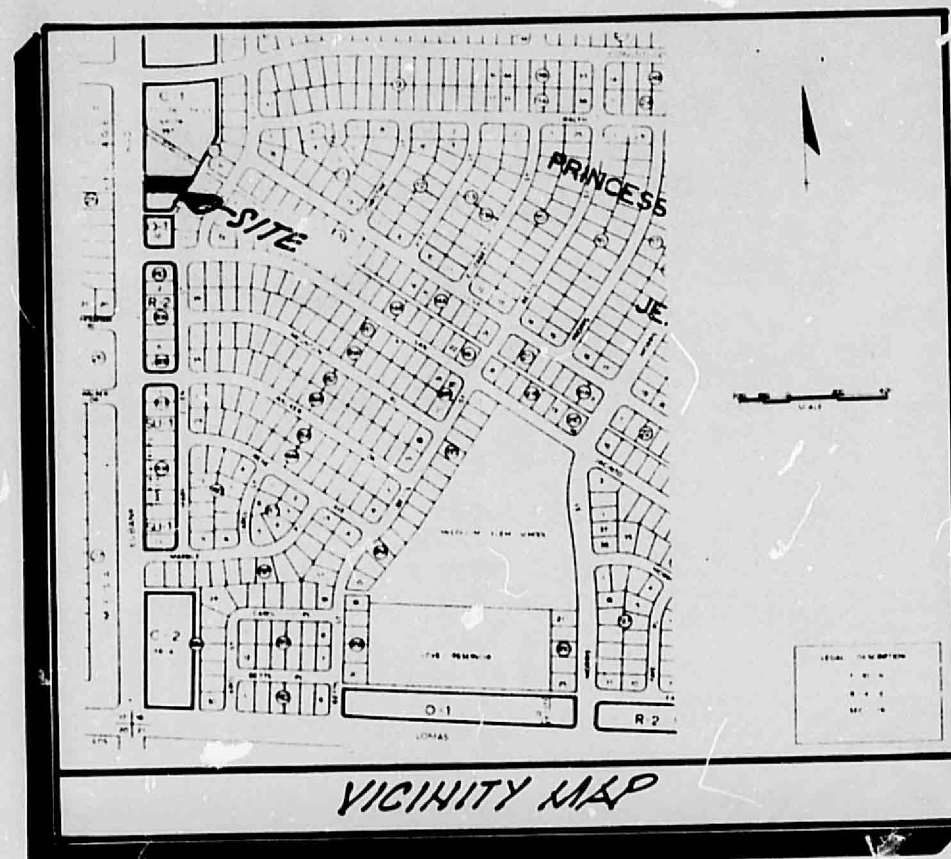
LEGAL DESCRIPTION:

LOT "13-B-2" OF THE SUMMARY PLAT OF LOT 13-B, BLOCK 10-A, OF THE REPLAT OF LOT 13, BLOCK 10-A, OF DALE J. BELLAMAH'S PRINCESS JEANNE PARK ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 21, 1975, (BK. B10, 159).

FENCH MARK:

CITY OF ALBUQUERQUE - SURVEY SECTION STATION "6-141", A STANDARD BRASS CAP LOCATED ON THE NORTH MEDIAN AT THE INTERSECTION OF EUBANK BLVD., N.E., AND CONSTITUTION AVENUE N.E.; M.S.L. ELEVATION = 5463.89.

NOTE: PROJECT R.M. AS SHOWN ON THE PLAN HEREON.



J-21-2

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT FOR STORM RUN-OFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREETS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT WITHIN PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 765-1234 FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

GENERAL NOTES:

- TOPOGRAPHY SURVEY OBTAINED BY "TRANSIT - STADIA" METHOD.
- NO BOUNDARY CORNERS HAVE BEEN SET PER THIS SURVEY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN THOSE SHOWN ON THE PLAT OF RECORD AS REFERRED TO ON THE PLAN HEREON.

DRAINAGE COMMENTS:

THE FOLLOWING ITEMS CONCERNING THE SUBJECT SITE ARE CONTAINED ON THE GRADING AND DRAINAGE PLAN HEREON:

- SITE GRADING AND DRAINAGE PLAN.
- VICINITY MAP
- LEGAL DESCRIPTION
- LIMITS AND CHARACTER OF THE EXISTING AND PROPOSED IMPROVEMENTS.
- DRAINAGE CALCULATIONS

AS SHOWN ON THE VICINITY MAP ON THE PLAN HEREON, THE SUBJECT SITE IS LOCATED APPROXIMATELY 400' SOUTH OF CONSTITUTION AVENUE N.E. ON THE EAST SIDE OF EUBANK BLVD., N.E., ALBUQUERQUE, NEW MEXICO; THE SUBJECT SITE IN ITS PRESENT CONDITION IS UNDEVELOPED.

THE PROJECT SITE, (1.) DOES NOT LIE WITHIN A FLOOD PLAIN, (2.) DOES NOT LIE ADJACENT TO A NATURAL OR ARTIFICIAL WATER COURSE, (3.) HAS NO DRAINAGE EASEMENTS ON THE PROPERTY; THE SUBJECT SITE DOES NOT ACCEPT OR CONTRIBUTE TO OFF-SITE FLOWS OF ADJACENT PROPERTIES.

BASED ON A SITE INVESTIGATION, IT HAS BEEN DETERMINED THAT THE FREE DISCHARGE OF SURFACE FLOWS OF THE EXISTING AND PROPOSED QUANTITIES HAVE NO ADVERSE EFFECT ON DOWNSTREAM PROPERTIES.

THE SUBJECT SITE IN ITS PRESENT CONDITION DOES NOT CONTRIBUTE TO OFF-SITE FLOWS OF ADJACENT PROPERTIES, AND WILL NOT CONTRIBUTE TO OFF-SITE FLOWS OF ADJACENT PROPERTIES IN THE DEVELOPED CONDITION; HOWEVER, IT DOES IN ITS PRESENT CONDITION ACCEPT MINIMAL OFF-SITE FLOWS FROM THE ADJACENT PROPERTY TO THE NORTH OF THE SUBJECT SITE, AND WILL CONTINUE TO ACCEPT THOSE OFF-SITE FLOWS IN THE DEVELOPED CONDITION.

DRAINAGE CALCULATIONS:

I. REFERENCES:

- CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) VOLUME 2, DESIGN CRITERIA, CHAPTER 22, DRAINAGE, FLOOD CONTROL AND EROSION CONTROL.
- SOIL SURVEY OF BERNALILLO COUNTY AND PARTS OF SANDOVAL AND VALENCIA COUNTIES, NEW MEXICO, UNITED STATES DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE.

II. GENERAL INFORMATION:

- SOIL TYPE IS Etc. EMBUDO - TIJERAS COMPLEX, TYPE "B", AND SLOPES WESTERLY AT APPROXIMATELY 3%.
 - IMPERVIOUSNESS:
- | TYPE OF SURFACE | EXISTING AREA SQ. FT. | ACRES | PROPOSED AREA SQ. FT. | ACRES |
|---------------------|-----------------------|-------|-----------------------|-------|
| BUILDING ROOF | - | - | 2,050.0 | 0.050 |
| CONCRETE SURFACES | - | - | 160.0 | 0.002 |
| ASPHALT SURFACES | - | - | 4,856.0 | 0.110 |
| LANDSCAPING | - | - | 1,896.3 | 0.044 |
| UNDEVELOPED SURFACE | 8,962.3 | 0.21 | - | - |
| SITE TOTAL | 8,962.3 | 0.21 | 8,962.3 | 0.210 |
| PERCENT IMPERVIOUS | 0 % | | 79 % | |

- "C" FACTOR (SEE REFERENCE A., PLATE 22.2 C-1).
1. UNDEVELOPED "C" FACTOR = 0.34
2. DEVELOPED "C" FACTOR = 0.75

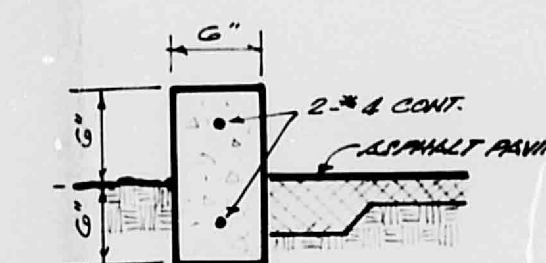
- RAINFALL, 100-YEAR, 6-HOUR, R_6 : (SEE REF. A., PLATE 22.2 D-1), $R_6 = 2.4$ INCHES

- TIME OF CONCENTRATION, T_c : USE THE MINIMUM OF TEN (10) MINUTES FOR TIME OF CONCENTRATION.

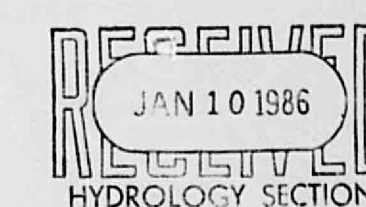
- RAINFALL INTENSITY, I : (SEE REFERENCE A., PLATE 22.2 D-2)
 $I = K \times T_c^{-0.51} = 2.4 \times 6.66 \times (10)^{-0.51} = 5.07$ IN./HR.

III. PER DISCHARGE:

- EXISTING CONDITIONS (USE RATIONAL EQUATION).
 $Q_{100} = 0.34 \times 5.07 \times 0.21 = 0.36$ cfs
 $Q_{10} = 0.657 \times 0.36 = 0.24$ cfs (REF. A., PLATE 22.2 D-1)
- DEVELOPED CONDITIONS
 $Q_{100} = 0.75 \times 5.07 \times 0.21 = 0.80$ cfs
 $Q_{10} = 0.657 \times 0.80 = 0.53$ cfs



DETAIL "X" - CURBING
1" = 1'-0"



GRADING AND DRAINAGE PLAN
FOR
TIM CHAVEZ - HAIRDRESSING SALON
EUBANK BOULEVARD, N.E.
ALBUQUERQUE, NEW MEXICO
JANUARY, 1986

J21/D22

NOTE: SEE ARCHITECTURAL SITE PLAN FOR BUILDING DIMENSIONS AND LOCATION TO PROPERTY LINES.

