

# CITY OF ALBUQUERQUE



December 2, 2020

Jake Palmer  
Accelerated Development Services  
2415 Camelback Rd. #40  
Phoenix, AZ 85016

**Re: Restaurant with Drive-Thru  
1105 Juan Tabo Blvd NE  
30-Day Temporary Certificate of Occupancy  
Transportation Development Final Inspection  
Engineer's/Architect's Stamp dated 4-23-20 (J21D024)  
Certification dated 11-20-20**

Dear Mr. Palmer,


Based upon the information provided in your submittal received 11-20-20, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" If that language is present it is not visible in the detail. Please add ADA signs.
- Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
- Please remove trash container, construction debris and equipment.

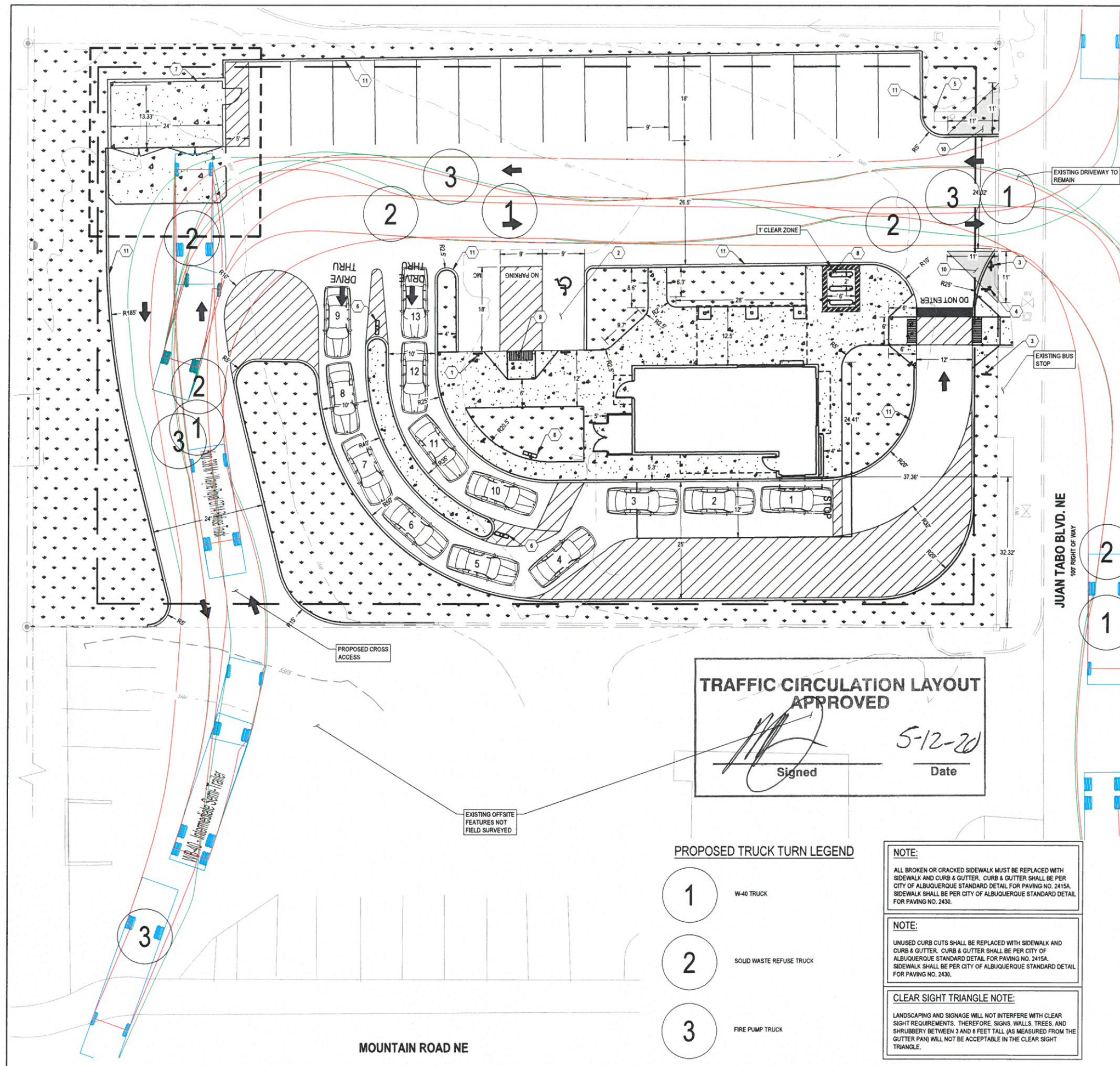
Once these corrections are complete, email pictures showing the changes to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov), and [epgomez@cabq.gov](mailto:epgomez@cabq.gov) for release of Final CO.

If you have any questions, please contact me at (505) 924-3981.  
Sincerely,

  
Ernie Gomez,  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File





PROPERTY DATA:

MIXED USE - LOW INTENSITY DISTRICT (MX-L)

DRIVE THRU FACILITY WITH 13 CAR STACKED PROVIDED

BUILDING AREA: 862 SF

PROPERTY AREA: 0.5069 ACRES (~26000 SF)

	REQUIRED	PROPOSED
BUILDING SETBACKS		
JUAN TABO BLVD:	5'	35.9'
SIDE (NORTH):	5'	55.5'
SIDE (SOUTH):	5'	29.4'
LANDSCAPING SETBACKS		
BACK:	15'	15.0'
OPEN SPACE CALCULATIONS:	15%	24.83% (0.148 ACRES)
PARKING REQUIREMENTS		
REGULAR PARKING:	4	16
ADA:	1	1
MOTORCYCLE:	1	1
TOTAL:	6	18
BICYCLE:	3	3

CODED NOTES:

- CONTRACTOR TO INSTALL "MOTORCYCLE PARKING ONLY" SIGN. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
- ADA ACCESSIBLE PARKING SPACE WITH SIGNAGE. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
- CONTRACTOR TO INSTALL "STOP" SIGN. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
- CONTRACTOR TO INSTALL "DO NOT ENTER" SIGN. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
- EXISTING SIGN (TENANT SIGNAGE PERMITTED BY OTHERS)
- DRIVE THRU SIGN (PERMITTED BY OTHERS)
- DUMPSTER ENCLOSURE (PERMITTED BY OTHERS)
- INVERTED U BICYCLE RACK. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
- DETECTIBLE WARNING MAT WITH TRUNCATED DOMES. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
- CLEAR SIGHT TRIANGLE.
- STRAIGHT FACED CURB. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.

PROPOSED LEGEND

— X — X —	DECORATIVE FENCE
—	CURB
—	SIGN
—	DRIVE THRU SIGN (PERMITTED BY OTHERS)
—	LANDSCAPING
—	CONCRETE
—	SIDEWALK
—	MAJOR CONTOUR
—	MINOR CONTOUR
—	SETBACK

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed

Date

PROPOSED TRUCK TURN LEGEND

- W-40 TRUCK
- SOLID WASTE REFUSE TRUCK
- FIRE PUMP TRUCK

NOTE:

ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. CURB & GUTTER SHALL BE PER CITY OF ALBUQUERQUE STANDARD DETAIL FOR PAVING NO. 2415A. SIDEWALK SHALL BE PER CITY OF ALBUQUERQUE STANDARD DETAIL FOR PAVING NO. 2430.

NOTE:

UNUSED CURB CUTS SHALL BE REPLACED WITH SIDEWALK AND CURB & GUTTER. CURB & GUTTER SHALL BE PER CITY OF ALBUQUERQUE STANDARD DETAIL FOR PAVING NO. 2415A. SIDEWALK SHALL BE PER CITY OF ALBUQUERQUE STANDARD DETAIL FOR PAVING NO. 2430.

CLEAR SIGHT TRIANGLE NOTE:

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



CESO  
WWW.CESOINC.COM  
2020 N. CENTRAL AVE., STE 500, PHOENIX, AZ 85004  
PHONE: (602) 252-5000

Revisions/Comments	Date	By
TEST FIT REVISIONS PER MARK BAKER	2019/09/23	1
TRASH ENCLOSURE REVISION	2020/01/09	2
UPDATED PER COMMENTS	2020/04/02	3
UPDATED PER COMMENTS	2020/05/05	3



RESTAURANT WITH  
DRIVE-THRU  
1105 JUAN TABO BLVD NE  
ALBUQUERQUE, NM, 87112  
© 2019 CESO, INC



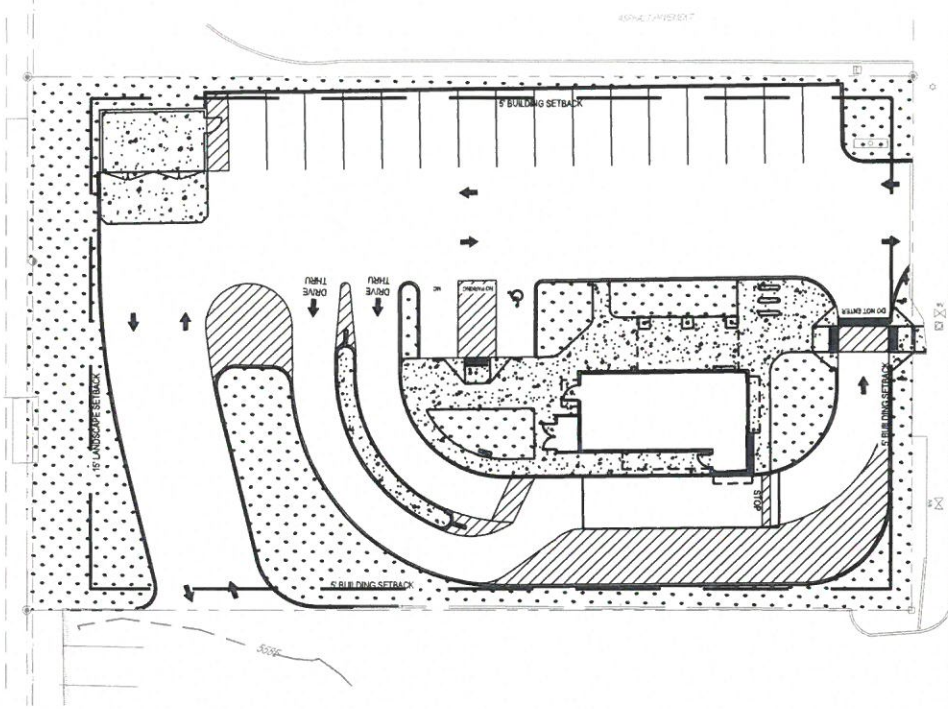
Project No.	756678-01
Scale	1" = 10'
Drawn	N. CURTIS
Checked	M. REGENOLD
Date	2020.01.30
Issue	

TRAFFIC CIRCULATION LAYOUT - PROPOSED  
Drawing No. TC1.1

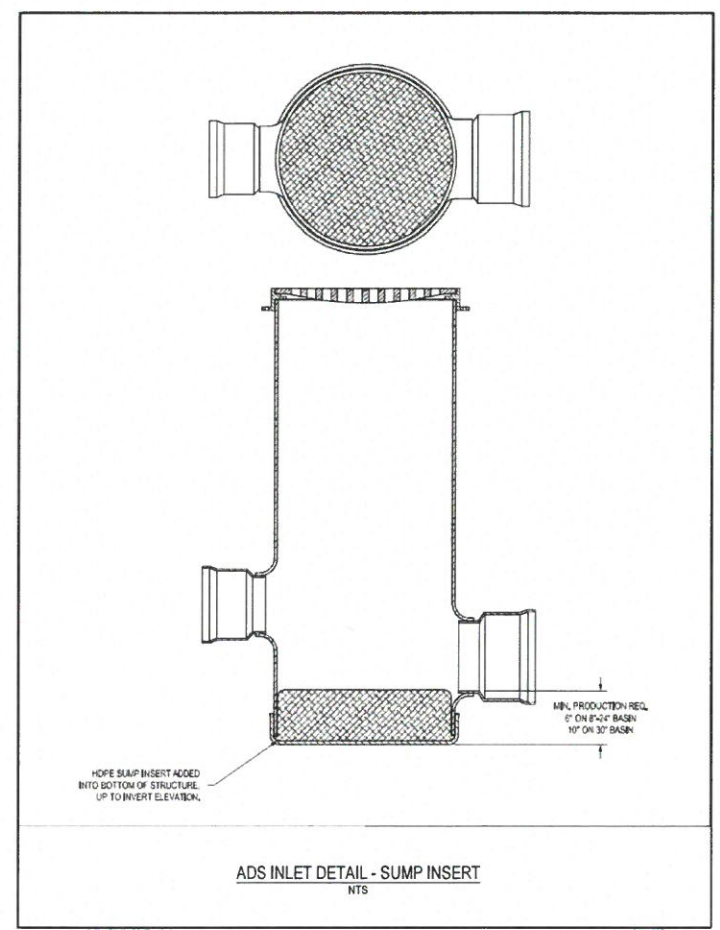




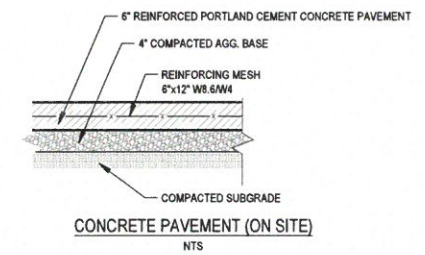
**TRAFFIC CIRCULATION LAYOUT**  
**APPROVED**  
5-12-20  
Signed \_\_\_\_\_  
Date \_\_\_\_\_



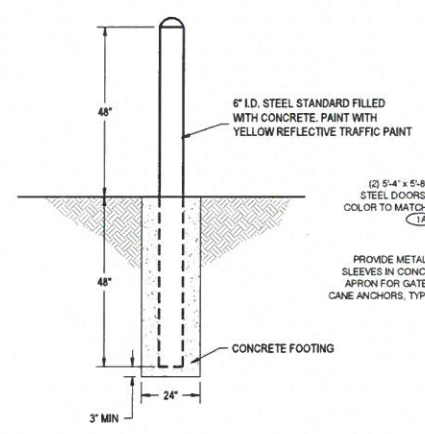
**DUMPSTER LAYOUT**  
1"=20'



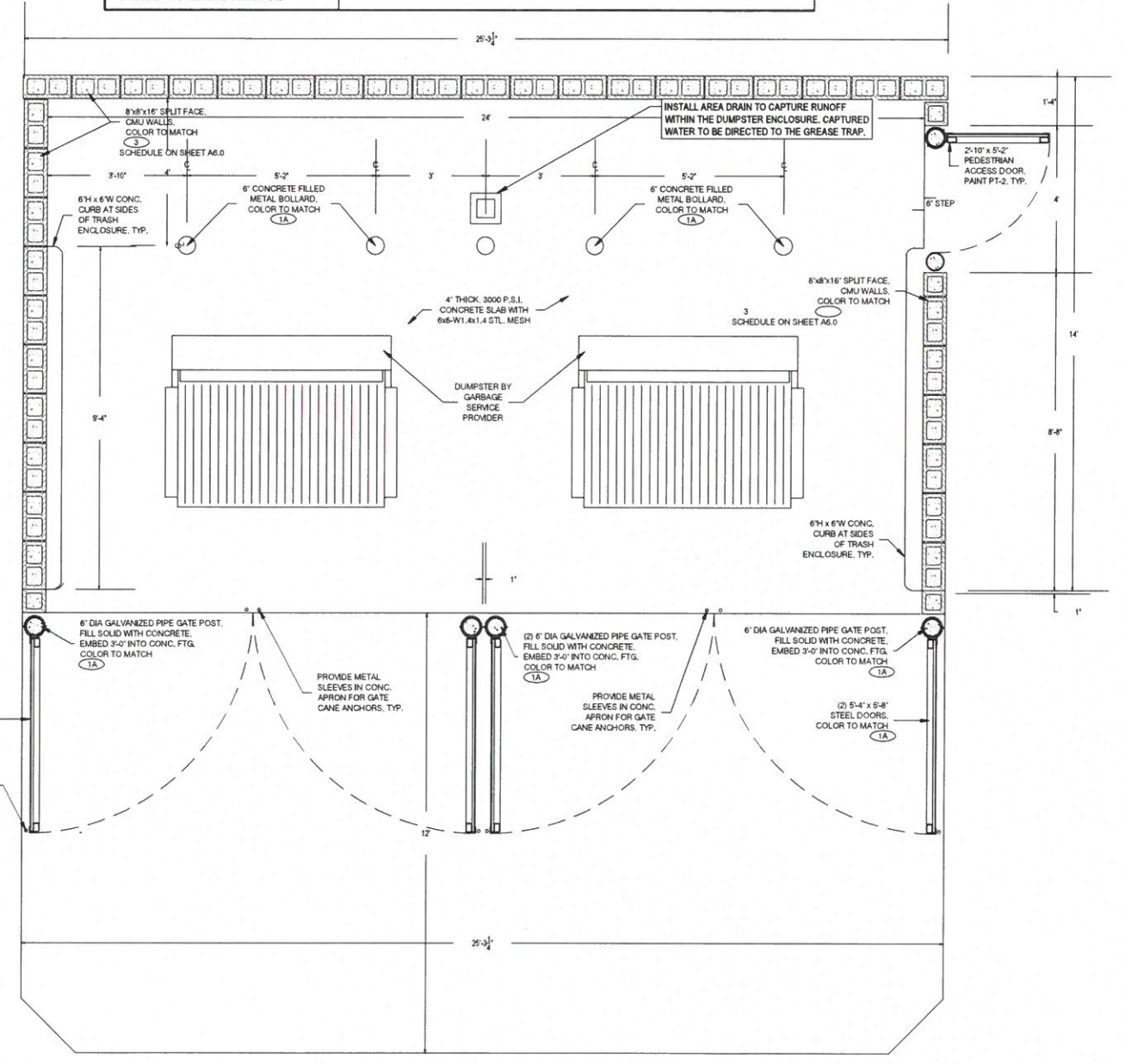
**ADS INLET DETAIL - SUMP INSERT**  
NTS



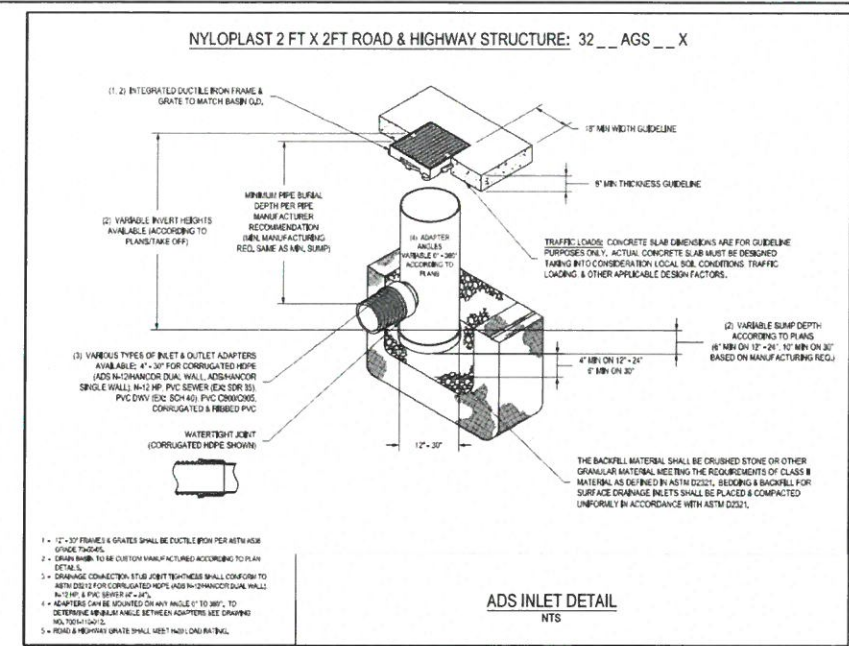
**CONCRETE PAVEMENT (ON SITE)**  
NTS



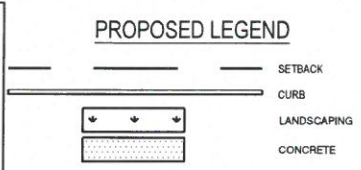
**FIXED BOLLARD DETAIL**  
NTS



**DUMPSTER DETAIL**  
1"=2'



**ADS INLET DETAIL**  
NTS



**CESO**  
WWW.CESODIG.COM  
2020 N. CENTRAL AVE. STE 160 PHOENIX, AZ 85004  
PHONE: (602) 333-9900

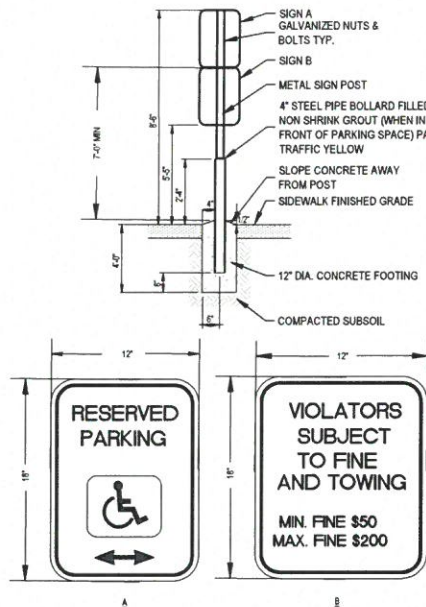
Date	Revisions/Comments
2019.09.23	TEST FIT REVISIONS PER MARK BAKER
2020.01.09	TRASH ENCLOSURE REVISION
2020.04.02	UPDATED PER COMMENTS
2020.04.24	UPDATED PER COMMENTS

**Accelerated**  
DEVELOPMENT SERVICES

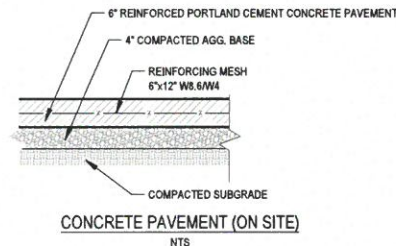
**RESTAURANT WITH DRIVE-THRU**  
1105 JUAN TABO BLVD NE  
ALBUQUERQUE, NM, 87112  
© 2019 CESO, INC

Project No. 756678-01  
Scale 1" = 10'  
Drawn N. CURTIS  
Checked M. REGENOLD  
Date 2020.01.30  
Issue  
Drawing Title  
**DUMPSTER LAYOUT PLAN**  
Drawing No. TC1.2

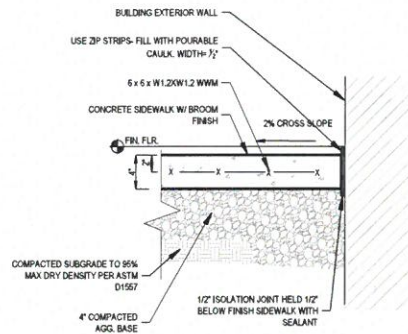




**HANDICAPPED PARKING SIGNAGE DETAIL**  
NOT TO SCALE

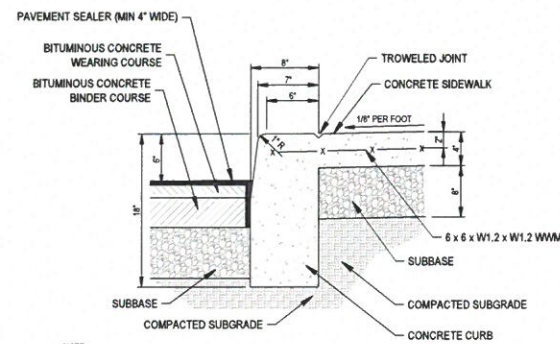


**CONCRETE PAVEMENT (ON SITE)**  
NTS



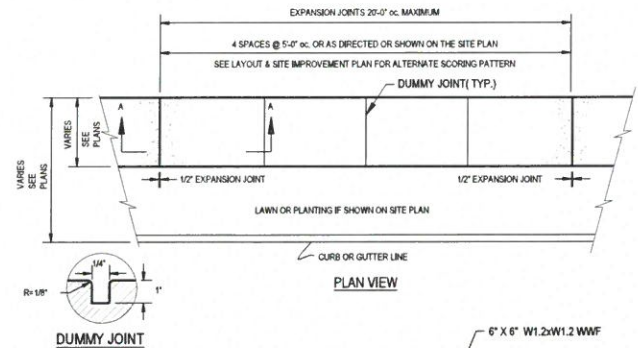
NOTE:  
1. ALL CONCRETE CURBS AND SIDEWALKS TO BE 4000 P.S.I. CONCRETE

**SIDEWALK DETAIL**  
NTS

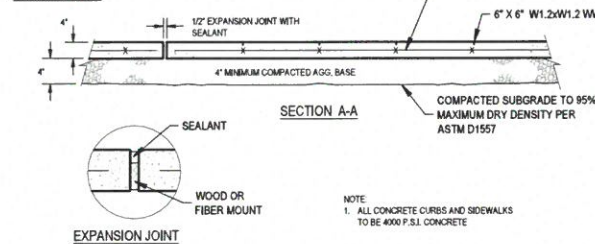


NOTE:  
1. ALL CONCRETE CURBS AND SIDEWALKS TO BE FC 4000 P.S.I. CONCRETE AT 28 DAYS  
2. CURB EXPANSION JOINTS TO MATCH SIDEWALK EXPANSION JOINT SPACING

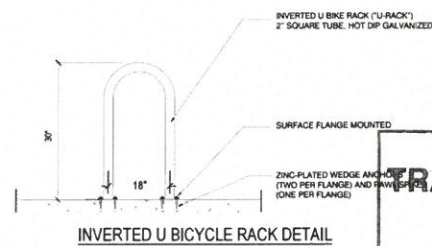
**INTEGRAL CURB & SIDEWALK ONSITE**  
NTS



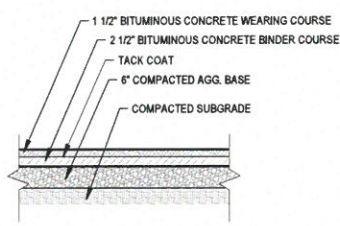
**DUMMY JOINT**



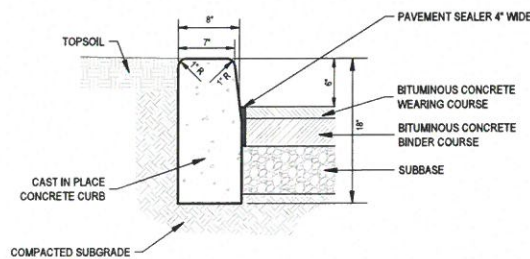
**CONCRETE SIDEWALK DETAIL**  
NTS



**INVERTED U BICYCLE RACK DETAIL**  
NTS

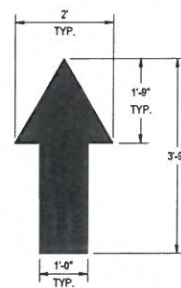


**STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT (ON SITE)**  
NTS



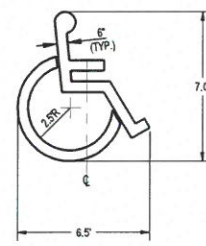
NOTE:  
1. ALL CONCRETE CURBS AND SIDEWALKS TO BE FC 4000 P.S.I. CONCRETE AT 28 DAYS.  
2. CURB EXPANSION JOINT SPACING IS 10'-0" MAXIMUM. FILL WITH PREFORMED EXPANSION JOINT RECESSED 1/2 INCH BELOW TOP OF CURB.  
3. MAXIMUM HEIGHT OF CURB TO PAVEMENT IS 6".

**STRAIGHT FACED CURB DETAIL**  
NTS



**TRAFFIC FLOW ARROW**

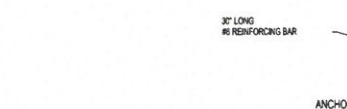
**PAVEMENT MARKINGS**  
NTS



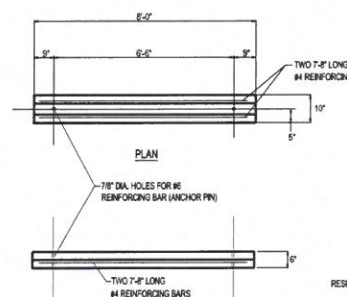
**ACCESSIBLE PARKING SYMBOL**  
NTS

**TRAFFIC CIRCULATION LAYOUT APPROVED**

Signed \_\_\_\_\_ Date 5-12-20



**ANCHOR PIN**

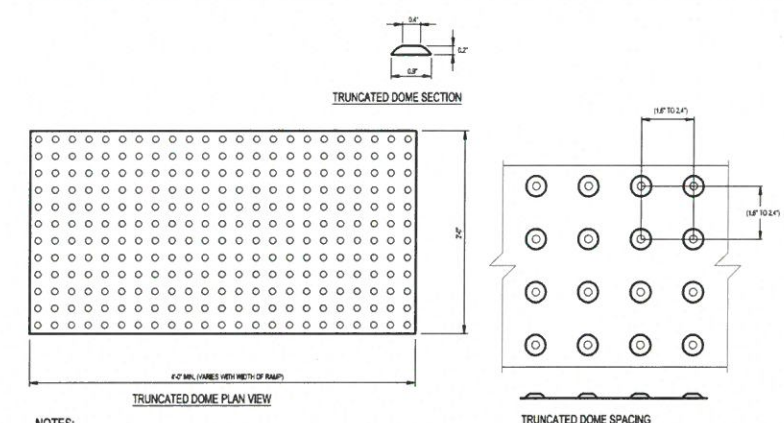


**ELEVATION**

NOTES:

1. ALL MATERIALS USED TO MANUFACTURE THE CONCRETE PARKING BLOCK SHALL BE IN ACCORDANCE WITH CMS 604.
2. THE MATERIAL REQUIREMENTS FOR THE ANCHOR PIN SHALL BE IN ACCORDANCE WITH CMS 509.02.
3. ALL #4 REINFORCING BARS SHALL BE EPOXY COATED AS PER CMS 509.
4. REINFORCING STEEL SHALL BE PLACED 2" CLEAR (MINIMUM) FROM THE SURFACE OF THE CONCRETE.
5. PAVEMENT WILL BE MADE AS ITEM SPECIAL, CONCRETE PARKING BLOCK, EACH AND INCLUDES REINFORCING STEEL AND ANCHOR PINS.

**BUMPER BLOCK DETAIL**  
NTS



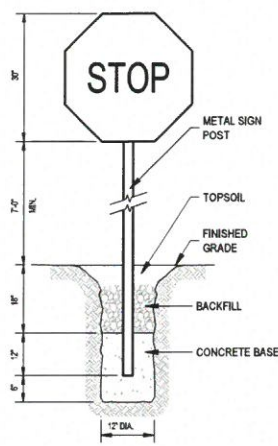
**TRUNCATED DOME SECTION**

**TRUNCATED DOME PLAN VIEW**

NOTES:

1. ALL DETECTABLE WARNING DEVICES USED IN NEW CONSTRUCTION SHALL BE OF RIGID PRECAST OR EMBEDDED PRODUCT APPROVED BY THE CITY ENGINEER. RETRO FIT MATS WILL ONLY BE ALLOWED ON EXISTING RAMP WITH PRIOR APPROVAL OF THE CITY ENGINEER FOR MATERIAL TYPE AND INSTALLATION (RE SURFACING).
2. WIDTH OF DETECTABLE WARNING AREA SHALL BE A MINIMUM OF 4 FEET AND VARY WITH WIDTH OF RAMP.
3. LENGTH OF DETECTABLE WARNING AREA SHALL BE 2 FEET REGARDLESS OF SECTION WIDTH.
4. DETECTABLE WARNING AREA CAN BE SQUARE WHERE USED IN A CURB RADIUS.
5. DETECTABLE WARNING DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.
6. IF PAVERS ARE TO BE USED, PAVERS SHALL BE 6" THICK AND CAST FROM 5000 PSI CONCRETE.
7. MATS ARE TO BE RIGID WITH TURN DOWN EDGES EMBEDDED IN CONCRETE TO ELIMINATE TRIP HAZARD.
8. TRUNCATED DOMES TO BE BLACK IN COLOR.

**DETECTABLE WARNING MAT DETAIL**  
NOT TO SCALE

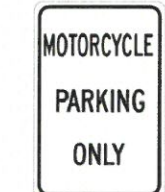


**STOP SIGN**  
NTS

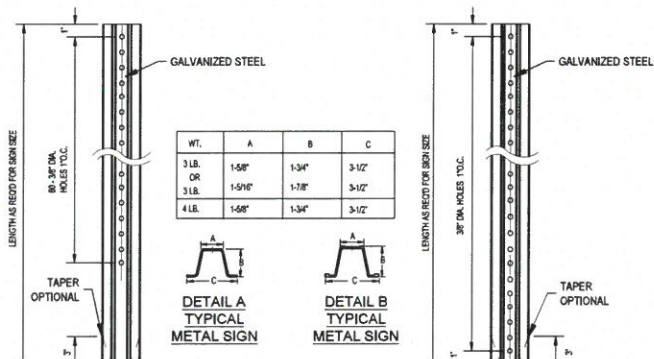
NOTE:  
1. PROVIDE SIGN IN ACCORDANCE WITH MUTCD SPECIFICATIONS.



**"DO NOT ENTER" SIGN (R5-1) DETAIL**  
NTS



**"MOTORCYCLE PARKING ONLY" SIGN DETAIL**  
NTS

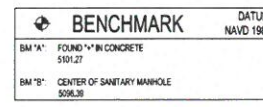


**DETAIL A HOLE LOCATION**

**DETAIL B HOLE LOCATION**

- NOTES:
1. STEEL FOR POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 499-81 GRADE 60 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A178 CARBON STEEL TEE RAIL HAVING NOMINAL WEIGHT OF 30 LBS OR GREATER PER LINEAR FOOT.
  2. AFTER FABRICATION ALL STEEL POSTS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A-123.
  3. SIGN MOUNTING HEIGHT TO BE PER MUTCD REQUIREMENTS.
  4. ALL SIGN POSTS SHALL HAVE "BREAK AWAY" FEATURES THAT MEET AASHTO REQUIREMENTS CONTAINED IN "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS". THE "BREAK AWAY" FEATURES SHALL BE STRUCTURALLY ADEQUATE TO CARRY THE SIGN SHOWN ON THE PLANS AT 60 MPH WIND LOADINGS. INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

**TYPICAL METAL SIGN POSTS**  
NTS



BENCHMARK  
DATE: NAVD 1988  
BM "A" FOUND 1/2" IN CONCRETE 5101.27  
BM "B" CENTER OF SANITARY MANHOLE 5096.38



FORTY-FOUR (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW MEXICO UTILITIES PROTECTION SERVICE AT 811 OR 1-800-321-2537 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW MEXICO UTILITIES PROTECTION SERVICE



2020 N. CENTRAL AVE., STE. 100, PHOENIX, AZ 85004  
PHONE: (602) 733-4000

Date	Revisions/Comments
2019.09.23	TEST FIT REVISIONS PER MARK BAKER
2020.01.09	TRASH ENCLOSURE REVISION
2020.04.02	UPDATED PER COMMENTS
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1105 JUAN TABO BLVD NE  
ALBUQUERQUE, NM, 87112  
© 2019 CESO, INC.



Project No. 756678-01  
Scale: NO SCALE  
Drawn: N. CURTIS  
Checked: M. REGENOLD  
Date: 2020.01.30  
Issue: 2020.01.30  
Drawing Title: CONSTRUCTION DETAILS

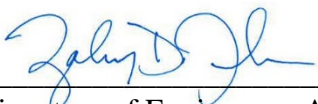
Drawing No. C8.0



## TRAFFIC CERTIFICATION

I, Zachary D Freshner, NMPE 25812, OF THE FIRM CESO, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 5/12/2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Andrew Medina, NMPS 12649 OF THE FIRM SANDIA LAND SURVEYING LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VIEWED THE PROJECT SITE VIRTUALLY ON 11/20/2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Temporary Certificate of Occupancy.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

  
\_\_\_\_\_  
Signature of Engineer or Architect

11/20/2020  
Date



ENGINEER'S STAMP