

December 9, 2020

Jake Palmer
Accelerated Development Services
2415 Camelback Rd. #40
Phoenix, AZ 85016

**Re: Restaurant with Drive-Thru
1105 Juan Tabo Blvd NE
Request for Certificate of Occupancy
Transportation Development Final Inspection**
Engineer's/Architect's Stamp dated 4-23-20 (J21D024)
Certification dated 11-20-20

Dear Mr. Palmer,

Based upon the information provided in your pictures received 12-4-20, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

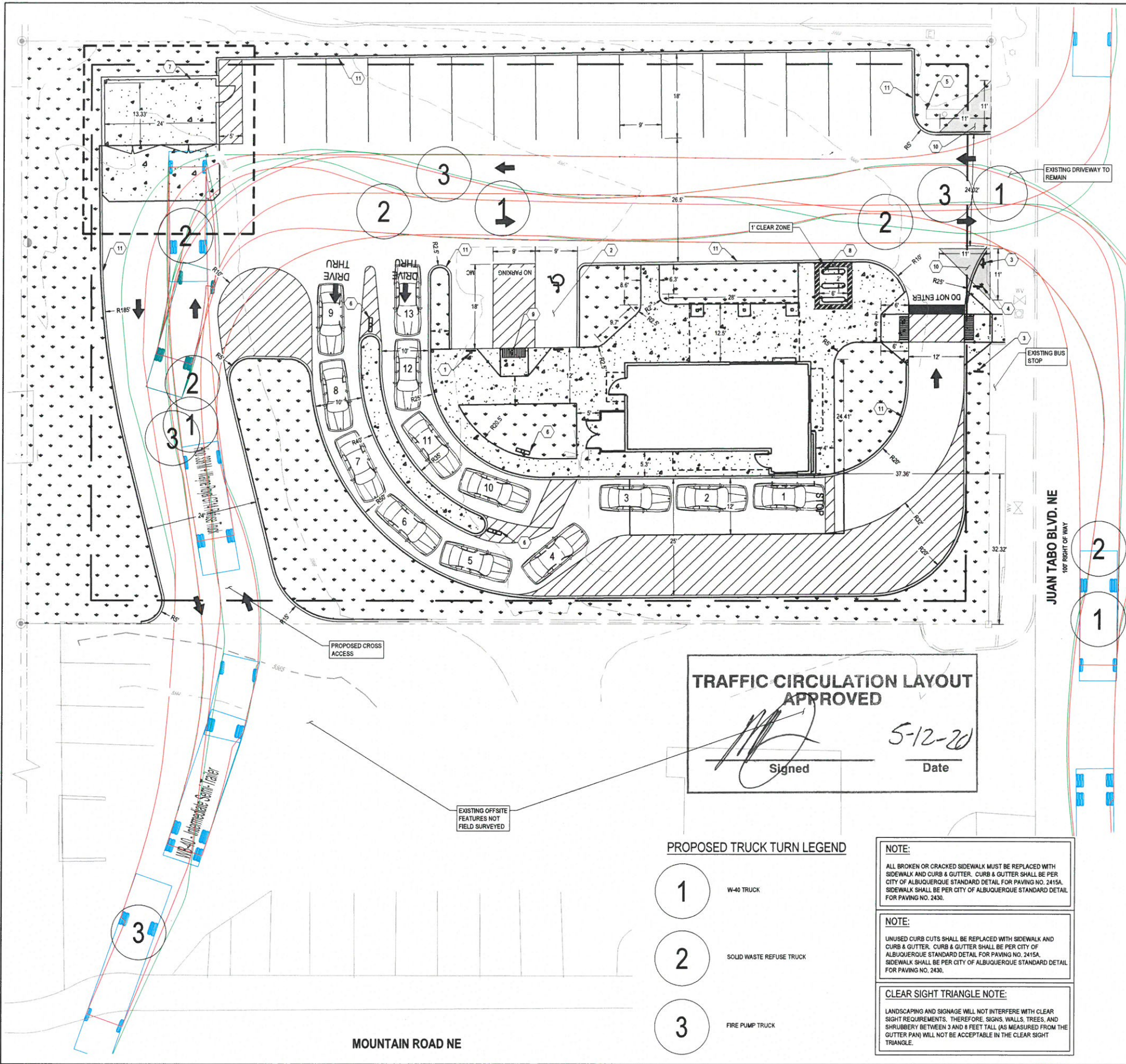
Sincerely,



Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File



PROPERTY DATA:

MIXED USE - LOW INTENSITY DISTRICT (MX-L)

DRIVE THRU FACILITY WITH 13 CAR STACKED PROVIDED

BUILDING AREA:	862 SF	
PROPERTY AREA:	0.5069 ACRES (~26000 SF)	
	<u>REQUIRED</u>	<u>PROPOSED</u>
BUILDING SETBACKS		
JUAN TABO BLVD:	5'	35.9'
SIDE (NORTH):	5'	55.5'
SIDE (SOUTH):	5'	29.4'
LANDSCAPING SETBACKS		
BACK:	15'	15.0'
OPEN SPACE CALCULATIONS:	15%	24.83% (0.148 ACRES)
PARKING REQUIREMENTS		
REGULAR PARKING:	4	16
ADA:	1	1
MOTORCYCLE:	1	1
TOTAL:	6	18
BICYCLE:	3	3

CODED NOTES:

- CONTRACTOR TO INSTALL "MOTORCYCLE PARKING ONLY" SIGN. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
- ADA ACCESSIBLE PARKING SPACE WITH SIGNAGE. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
- CONTRACTOR TO INSTALL "STOP" SIGN. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
- CONTRACTOR TO INSTALL "DO NOT ENTER" SIGN. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
- EXISTING SIGN (TENANT SIGNAGE PERMITTED BY OTHERS)
- DRIVE THRU SIGN (PERMITTED BY OTHERS)
- DUMPSTER ENCLOSURE (PERMITTED BY OTHERS)
- INVERTED U BICYCLE RACK. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
- DETECTIBLE WARNING MAT WITH TRUNCATED DOMES. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
- CLEAR SIGHT TRIANGLE.
- STRAIGHT FACED CURB. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.

PROPOSED LEGEND

- DECORATIVE FENCE
- CURB
- SIGN
- DRIVE THRU SIGN (PERMITTED BY OTHERS)
- LANDSCAPING
- CONCRETE
- SIDEWALK
- MAJOR CONTOUR
- MINOR CONTOUR
- SETBACK

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed _____ Date 5-12-20

PROPOSED TRUCK TURN LEGEND

- 1 W-40 TRUCK
- 2 SOLID WASTE REFUSE TRUCK
- 3 FIRE PUMP TRUCK

NOTE:
ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. CURB & GUTTER SHALL BE PER CITY OF ALBUQUERQUE STANDARD DETAIL FOR PAVING NO. 2415A. SIDEWALK SHALL BE PER CITY OF ALBUQUERQUE STANDARD DETAIL FOR PAVING NO. 2430.

NOTE:
UNUSED CURB CUTS SHALL BE REPLACED WITH SIDEWALK AND CURB & GUTTER. CURB & GUTTER SHALL BE PER CITY OF ALBUQUERQUE STANDARD DETAIL FOR PAVING NO. 2415A. SIDEWALK SHALL BE PER CITY OF ALBUQUERQUE STANDARD DETAIL FOR PAVING NO. 2430.

CLEAR SIGHT TRIANGLE NOTE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



CESO
WWW.CESOINC.COM
2020 N. CENTRAL AVE., STE 500, PHOENIX, AZ 85004
PHONE: (602) 252-5000

Revisions/Comments	2019.09.23	2020.01.09	2020.04.02	2020.05.05
TEST FIT REVISIONS PER MARK BAKER				
TRASH ENCLOSURE REVISION				
UPDATED PER COMMENTS				
UPDATED PER COMMENTS				

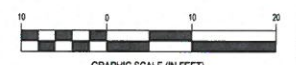


RESTAURANT WITH
DRIVE-THRU
1105 JUAN TABO BLVD NE
ALBUQUERQUE, NM, 87112
© 2019 CESO, INC

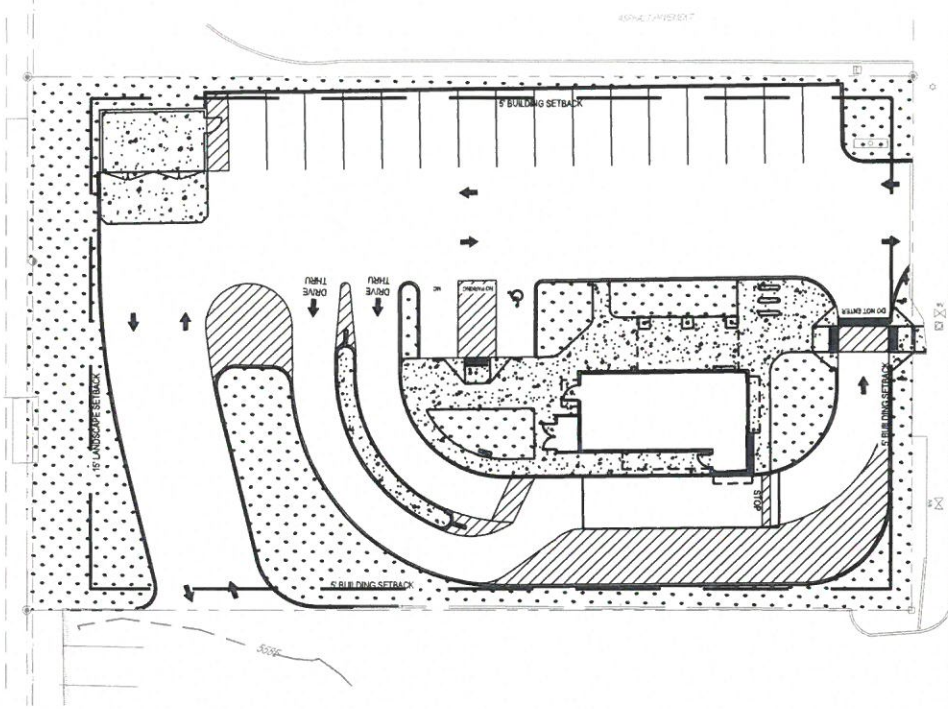


Project No.	756678-01
Scale	1" = 10'
Drawn	N. CURTIS
Checked	M. REGENOLD
Date	2020.01.30
Issue	

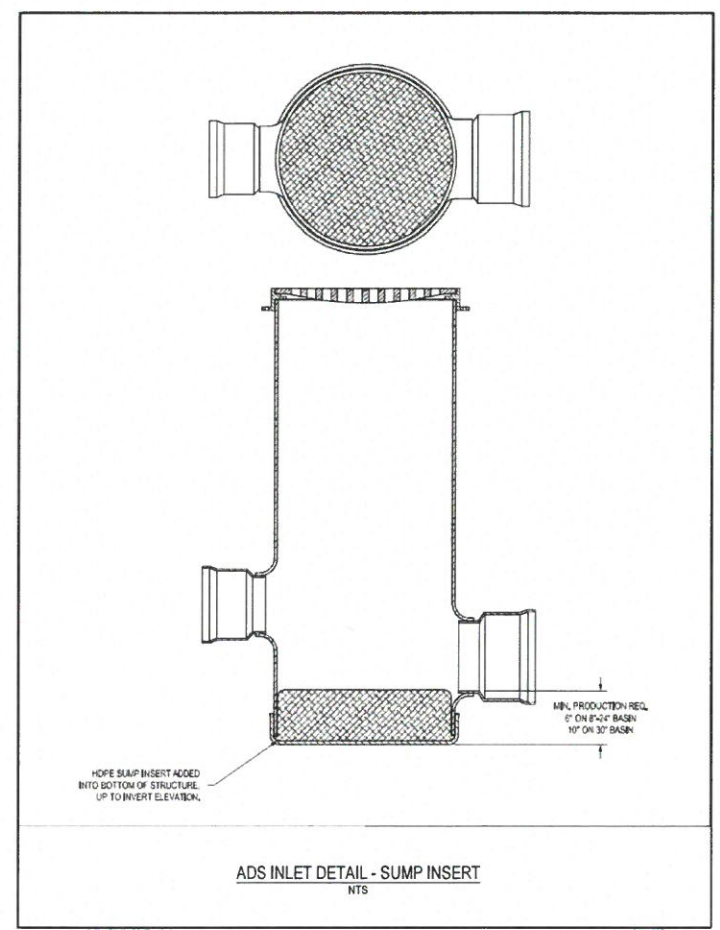
TRAFFIC CIRCULATION LAYOUT - PROPOSED
Drawing No. TC1.1



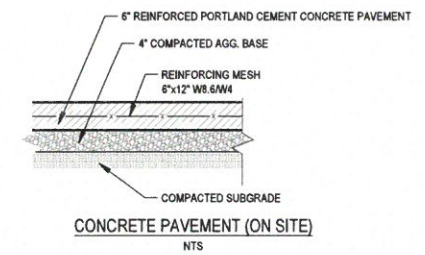
TRAFFIC CIRCULATION LAYOUT
APPROVED
5-12-20
Signed _____
Date _____



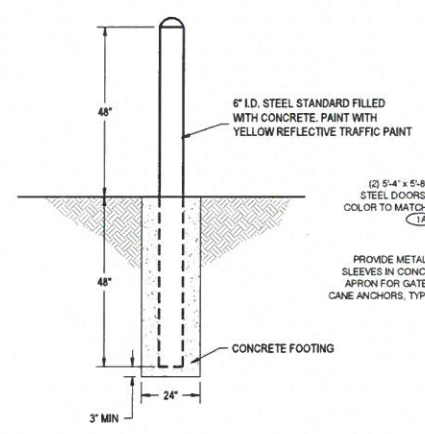
DUMPSTER LAYOUT
1"=20'



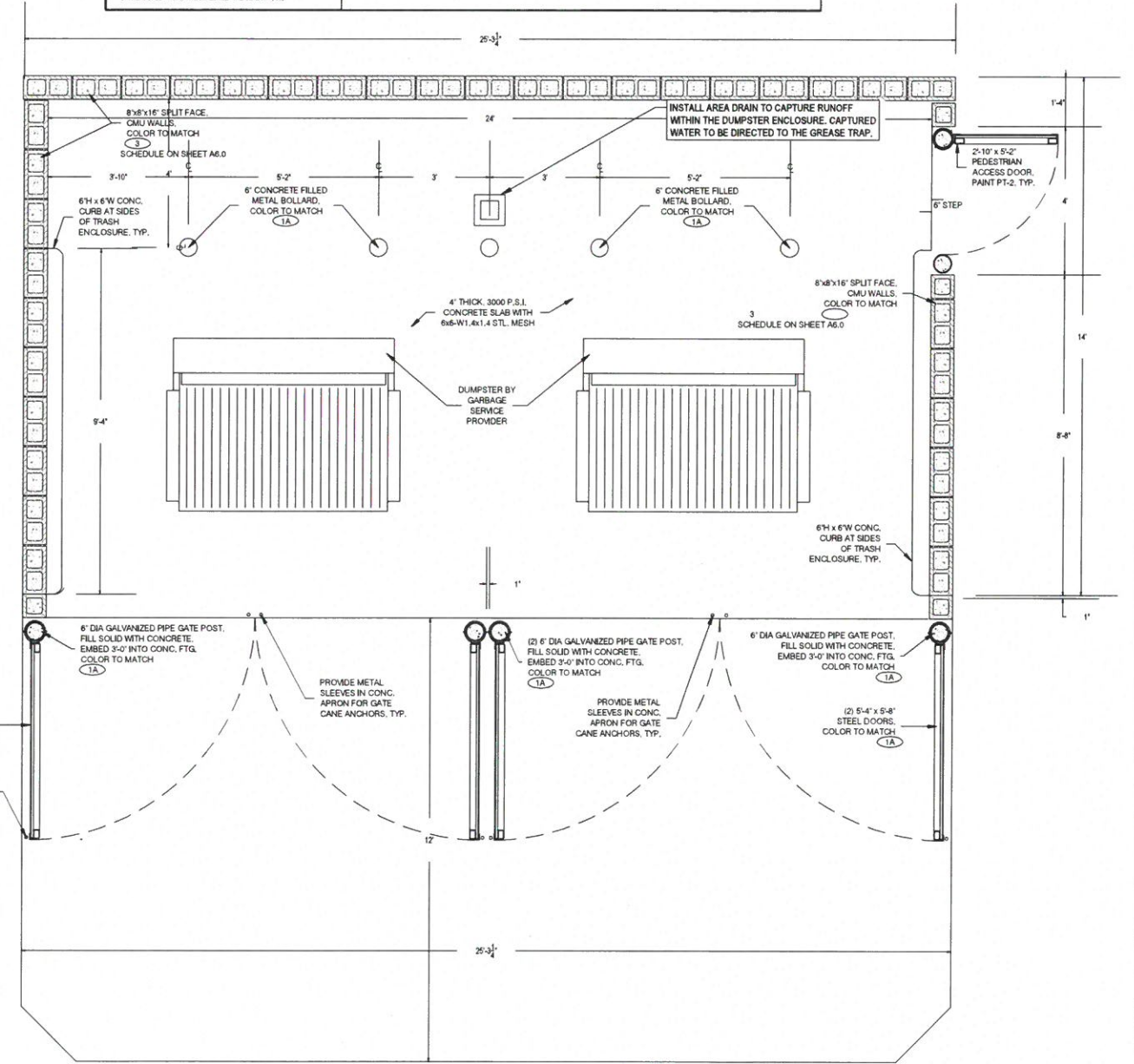
ADS INLET DETAIL - SUMP INSERT
NTS



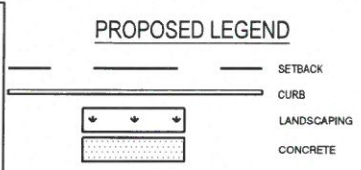
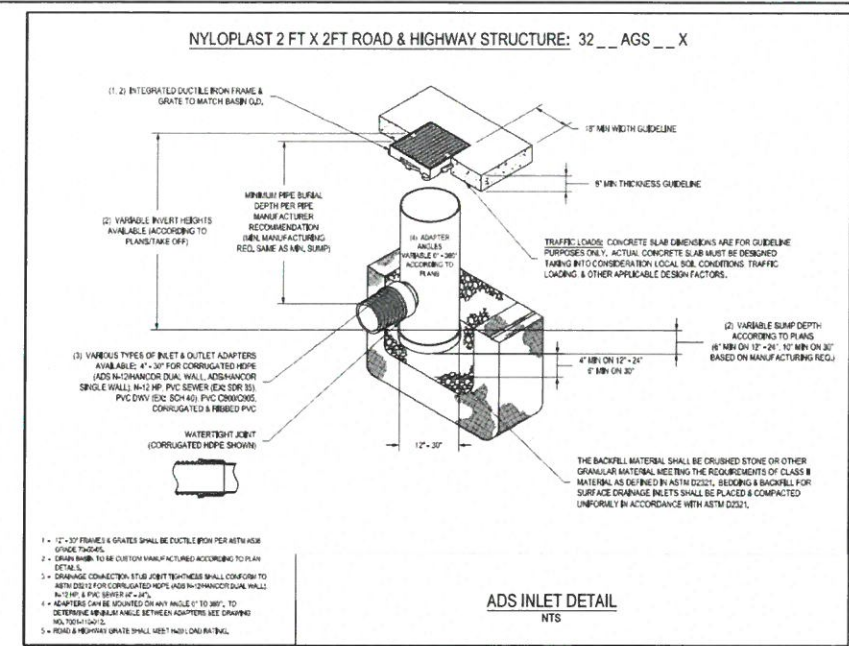
CONCRETE PAVEMENT (ON SITE)
NTS



FIXED BOLLARD DETAIL
NTS



DUMPSTER DETAIL
1"=2'



CESO
WWW.CESODIG.COM
2020 N. CENTRAL AVE., STE 160 PHOENIX, AZ 85004
PHONE: (602) 333-9000

Date	2019.09.23	2020.01.09	2020.04.02	2020.04.24
TEST FIT REVISIONS PER MARK BAKER				
TRASH ENCLOSURE REVISION				
UPDATED PER COMMENTS				
UPDATED PER COMMENTS				

Accelerated
DEVELOPMENT SERVICES

RESTAURANT WITH DRIVE-THRU
1105 JUAN TABO BLVD NE
ALBUQUERQUE, NM, 87112
© 2019 CESO, INC

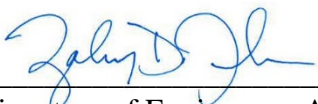
3/4/23/2020

Project No.	756678-01
Scale	1" = 10'
Drawn	N. CURTIS
Checked	M. REGENOLD
Date	2020.01.30
Issue	
Drawing Title	DUMPSTER LAYOUT PLAN
Drawing No.	TC1.2

TRAFFIC CERTIFICATION

I, Zachary D Freshner, NMPE 25812, OF THE FIRM CESO, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 5/12/2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Andrew Medina, NMPS 12649 OF THE FIRM SANDIA LAND SURVEYING LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VIEWED THE PROJECT SITE VIRTUALLY ON 11/20/2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Temporary Certificate of Occupancy.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer or Architect

11/20/2020
Date



ENGINEER'S STAMP