

FILE COPY



## City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

MAYOR  
KEN SCHULTZ

CHIEF  
ADMINISTRATIVE OFFICER  
GENE ROMO

DEPUTY CAO  
PUBLIC SERVICES  
FRANK MARTINEZ

DEPUTY CAO  
PLANNING/DEVELOPMENT  
BILL MUELLER

March 14, 1988

Property Owner  
1307 Juan Tabo Boulevard, NE  
Albuquerque, New Mexico 87112

A review of our records indicates that this office has never given a final drainage approval at 1307 Juan Tabo Boulevard, NE. Further, it has been noted that the building is being occupied without a final Certificate of Occupancy which is contrary to Section 308 of the City's Uniform Administrative Code.

A field inspection has revealed that the site itself is in substantial compliance with the approved drainage plan, but a separate permit for a sidewalk culvert was never inspected and approved.

In order to provide fair, effective enforcement of the City's Drainage Ordinance, it is imperative that the above mentioned permit (Special Order #19) be cleared up and a final approval granted for legal occupancy of the building. Arrangements for inspection approval can be made by contacting the Transportation Department at 823-4031.

If arrangements for an inspection and final approval are not completed within 30 days from the above date, this office will take the necessary legal steps to invoke one or more of the penalties listed under Section 205 of the Uniform Administrative Code.

If you have any questions, please do not hesitate to call me at 764-1699.

Cordially,

Richard L. Duran  
Drainage Inspector

xc: Tom Aragon, Transportation Dept.  
Dell Sanchez, Code Administration

RLD/bsj

FILE COPY



## City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Ken Schultz  
Mayor

UTILITY DEVELOPMENT DIVISION  
HYDROLOGY SECTION  
(505) 768-2850

August 19, 1987

Marvin R. Kortum, P.E.  
Kortum Engineering  
1605 Speakman Drive, SE  
Albuquerque, New Mexico 87123

RE: REVISED DRAINAGE PLAN FOR FINE THINGS  
(J-21/D26) REVISION DATE OF AUGUST 6, 1987

Dear Mr. Kortum:

Based on the information provided on your resubmittal of August 7, 1987,  
the above referenced plan is approved for Building Permit.

Please attach a copy of this plan to the construction sets prior to  
sign-off by Hydrology.

Also, please be advised that a separate permit is required for  
construction within City right-of-way.

If I can be of further assistance, please feel free to call me at  
768-2650.

Cordially,

Bernie J. Montoya, C.E.  
Engineering Assistant

BJM/bsj

xc: Becky Sandoval

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

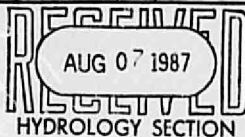
AN EQUAL OPPORTUNITY EMPLOYER

## DRAINAGE INFORMATION SHEET

PROJECT TITLE: FINE THINGS ZONE ATLAS/DWG. FILE #: J-21 / D26  
 LEGAL DESCRIPTION: Lot 2-B-2, Block 65-B, Princess Jeanne Park Addition  
 CITY ADDRESS: 1307 Juan Tabo Blvd. NE  
 ENGINEERING FIRM: Marvin R Kortum CONTACT: Marvin R Kortum  
 ADDRESS: 1605 Speakman Dr. SE PHONE: 505-299-0774  
Albuquerque NM 87123  
 OWNER: Carolyn R Turner & Pamela D Earnest CONTACT:   
 ADDRESS: 9300 Layton Loop NE PHONE:   
Albuquerque NM 87111  
 ARCHITECT: Design Group 85 CONTACT: Don Johnson  
P O Box 11789 PHONE: 505-292-2304  
 ADDRESS: Albuquerque NM 87192  
 SURVEYOR: Southwest Survey Company, Inc. CONTACT: Dan Graney  
333 Lomas Blvd. NE PHONE: 505-247-4444  
 ADDRESS: Albuquerque NM 87102  
 CONTRACTOR: Jim Green Lic #022712 CONTACT: Jim Green  
6213 Northland NE PHONE: 505-884-7780  
 ADDRESS: Albuquerque NM 87109

## PRE-DESIGN MEETING:

☒ YES  
☐ NO  
☒ COPY OF CONFERENCE RECAP  
 SHEET PROVIDED



DPB NO. \_\_\_\_\_  
 EPC NO. \_\_\_\_\_  
 PROJ. NO. \_\_\_\_\_

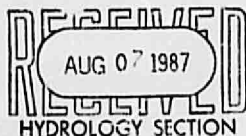
## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☒ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☒ REVISION 1 TO APPROVED PLAN

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE DEVELOPMENT PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ ROUGH GRADING PERMIT APPROVAL  
☐ GRADING/PAVING PERMIT APPROVAL  
☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED: August 6, 1987BY: Marvin R Kortum



August 6, 1987

Marvin R. Kortum  
1605 Speakman Drive S. E.  
Albuquerque, New Mexico 87123  
Phone: (505) 299-0774  
N.M.P.E. 6519

City of Albuquerque  
Utility Development Division  
Hydrology Section

RE: Drainage Plan for FINE THINGS (J-21/D 26)

Gentlemen:

Attached is a revision (Revision 1, August 6, 1987) of the approved Drainage Plan.

Revision 1 consists of an increase in the area of the building and hardstand. The grading plan has been changed to show the increase.

There is no change required to the drainage plan since the original plan did include the peak runoff from a fully developed site, and the drain channel was designed for such flow.

A copy of the revised agreement is also included with this letter.

Request your approval of Revision 1.

Sincerely,

  
Marvin R. Kortum

GRADING AND DRAINAGE PLAN  
FINE THINGS  
1307 Juan Tabo N. E.  
Lot 2-B-2, Blk 65-B.  
Princess Jeanne Addition

I. ON-SITE CHARACTERISTICS:

A. Description:

Lot 2-B-2, block 65-B consists of a generally rectangular tract 100 feet north to south, and 208 feet east to west, containing .4878 acres. The east boundary is the west right of way of Juan Tabo Blvd. N. E. and is located about 190 feet north of the intersection of Constitution Ave. N. E. with Juan Tabo Blvd. N. E. The north boundary is common with the south property line of Mission Square, a shopping center which has been fully constructed. The south boundary is in common with the Albuquerque Federal Bank, also fully constructed. The west property line is common with three residential lots, lots 3, 4, and 5 of block 65, Princess Jeanne Park Addition. The surface of lot 2-B-2, block 65-B is nearly natural, with scatterings of trash and construction debris from adjacent construction.

B. Soils:

The soils, as identified on the Bernalillo County Soils Survey by the Soil Conservation Service, U. S. Department of Agriculture, are Tijeras Gravelly Fine Sandy Loam, (TgB). The Tijeras series consists of deep, well drained soils that formed in decomposed granitic alluvium on old alluvial fans. Runoff and water erosion are moderate hazards. The engineering characteristics of the TgB soils are well-suited for the proposed use for a single story office and retail building and paved hardstand. The soils have low to moderate shrink and swell potential. For ponding, the soils have excellent characteristics in that they are identified as having high seepage. Sub-surface exploration is necessary if ponding is used to insure that seepage does not infiltrate under existing or new structures due to impermeable clay layers. The soil is identified as hydrologic Group B, those soils which absorb more water than is typical. The surface vegetation is sparse, mostly native grasses and low growing weeds.

C. Undeveloped Runoff:

Runoff from the tract in its present condition is computed below. Presently, the runoff is from the northeast corner and east side, toward the south side and southeast corner. Within the west 20 feet, there is a sharp drop off to the level of the adjacent residential lots, which permits a portion of the runoff to go onto

those properties, or against block walls on those properties. Presently, the block wall at the rear of lot 4 is toppled, due in part to runoff from the east, which included at that time the area now developed as Mission Square. There is some sheet flow across the south property line, but the preponderance of runoff would accumulate at the southeast corner of the lot, flowing from there across private property toward Constitution. A drainage path has been provided for this purpose between the existing residential block walls and the retaining wall of the bank property.

#### D. Direct Runoff Volume, Undeveloped Land:

The six-hour, 100-year frequency rainfall for the tract is 2.5 inches, per 1973 N.O.A.A. Atlas 2, Volume IV (Plate 22.2, D-1). The present surface is equivalent to range land in poor condition, with a  $CN=79$  (Plate 22.2, C-2). For  $CN=79$ , the direct runoff volume is .85 inches (Plate 22.2, C-4), for a total volume of  $(.4878 \text{ acres} \times 43560 \text{ ft.}^2/\text{acre} \times .85 \text{ in.}/12 \text{ in./ft.}) = 1500 \text{ ft.}^3$ .

#### E. Peak Runoff, Undeveloped Land:

Peak runoff can be estimated by use of the rational formula,  $Q = CIA$ , where  $C$  is a factor which incorporates surface characteristics of the drainage basin,  $I$  is the intensity of rainfall for a storm which is determined to give the maximum rate of runoff for the drainage basin, the basin characteristics being expressed as a time of concentration,  $TC$ .  $A$  is the area in acres. from Kirpich,

$$TC = .0078 \frac{L^{0.77}}{S^{0.385}} \quad \text{For the tract, } L = 230, \text{ and}$$

$S = (96.63 - 86.9)/230 = .0423 \text{ ft./ft.}$ , for which  
 $TC = 1.74$  minutes. Use the rainfall intensity factor of 2.15 for ten minutes (Plate 22.2, D-2) and a  $C = .27$  (Plate 22.2, C-1). From the above, peak runoff is computed as  $Q = (.27)(2.15)(2.5)(.4878) = .71 \text{ ft.}^3/\text{sec.}$

#### F. Developed Site Runoff:

In the developed state, it is proposed that the tract be developed as an office-retail site, with one single story office building, 70 ft. east to west, and 40 ft. north to south, with asphalt surfaced drive and hardstand, and minor landscaping between the street and the building. The back portion of the lot will be left undeveloped, other than a landscape planting as a buffer next to the adjacent residences, and retaining wall and drainage structures as required to protect adjacent properties. It is not necessary to provide additional fill for the lot, rather to regrade within the present surface, and provide for channeled runoff from the southeast corner of the lot to

Constitution Avenue, the flow to be along the present drainage path, for which a drainage easement has been obtained.

G. Direct Runoff Volumes for Developed Property:

The proposed surface conditions are as follows:

	<u>Area</u> <u>Ft.<sup>2</sup></u>	<u>Percent</u>	<u>CN</u>	<u>CN</u>
Asphalt and concrete surfaces	7600	36	96	34.6
Building	2800	13	96	12.5
Landscaped area	1125	5	61	3
Unimproved area	9725	46	79	36.3
Total	21250			86.4

For the CN of 86.4, the direct runoff is 1.25 inches. (Plate 22.2, C-4), for a total volume of (.4878 acre x 43560 ft.<sup>2</sup>/acre x 1.25 in./ 12 in./ft.) = 22.5 ft.<sup>3</sup>.

H. Peak Runoff from Developed Property:

Peak runoff for the site can be estimated as above. For the 49% impervious surface, the C factor is .57 (Plate 22.2, C-1). The time of concentration will remain at or below 10 minutes, so use the intensity factor of 2.15, for a  $Q = CIA = (.57)(2.15)(2.5)(.4878) = 1.5 \text{ ft.<sup>3</sup>/sec.}$

In addition to the peak flow for the as planned site, the peak flow for the site is estimated assuming the undeveloped area is developed, using a C for a 90% impervious surface, for which  $Q = CIA = (.86)(2.15)(2.5)(.4878) = 2.25 \text{ ft.<sup>3</sup>/sec.}$  This latter estimate is for the purpose of sizing the off-site drainage channel to be sufficient to carry additional runoff, should the site be fully developed in the future.

II. OFF-SITE FLOWS:

A. Major Terrain Features:

Lot 2-B-2, block 65-B is at the very top of a local drainage basin. The east property line is the Juan Tabo Blvd. right of way. Juan Tabo Blvd. and drainage structures within the Juan Tabo right of way channel all run off from east of lot 2-B-2 to the south. At the intersection of Juan Tabo Blvd. and Constitution Ave., there is a runoff block which prevents flow from Juan Tabo onto Constitution. Runoff from the north is prevented by retaining wall and curbing along the south side of Mission Square. The runoff from Mission Square is directed

toward the 48 inches diameter storm drain in Juan Tabo. There is a minor flow from a 2' 6" wide strip west of Mission Square, the strip being the space between the retaining wall of Mission Square and the residential block walls. This minor flow presently enters lot 3 of the residential area through the toppled block wall. Proposed improvements to lot 2-B-2 will permit this flow to go onto Constitution by means of the new channel. Residential properties west of lot 2-B-2, and the Albuquerque Federal Bank to the south are all downhill from lot 2-B-2, with their runoff flowing toward Muriel St. and Constitution Ave., respectively.

#### B. Downstream Flooding Hazard:

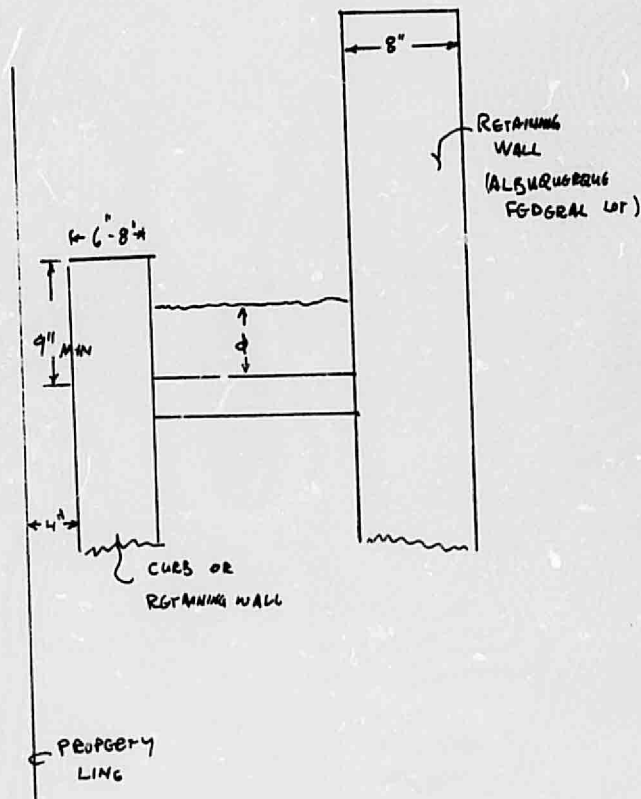
Present outflow from lot 2-B-2 flows down either Bellamah Ave. (through lot 4) or onto Constitution Ave. at the southwest corner of the Albuquerque Federal Bank property. The flow crosses Constitution at Muriel, and then generally southwesterly to a storm drain collecting basin located near the intersection of Morris St. and Love Ave., following in order, Claudine St., Ralph Ave., Tomasita St., Mountain Ave., Jane St., and Love Ave., with some spillover at the intersections. The flood plan map shows minor flooding at the intersection of Love Ave. and Morris, the flood level being over the curb, but not out of the right of way. Additional runoff from lot 2-B-2 will have very little effect on this flooding, being only an addition of 715 ft.<sup>3</sup> (2215 - 1500), based on the calculated storm runoff, for an additional one-half inch or less over the indicated flood area.

### III. PROPOSED GRADING AND DRAINAGE:

A. It is proposed that roof and hardstand runoff be directed through a lined open ditch to the southwest corner of lot 2-B-2, and then by lined ditch to the Constitution Ave. north gutter line. The ditch system will also direct the relatively small runoff from the west side of Mission Square to Constitution Ave. At Constitution Ave., the runoff will pass under a sidewalk drain to be constructed. The open ditch is proposed since it will be easier to maintain in a clean, unclogged condition, and will not be as subject to freezing and causing overflow onto private residences as would an underground pipe. The ditch is to be lined (Portland cement or asphalt) to prevent seepage and undermining of adjacent retaining and block walls. The area that the ditch passes through is heavily shaded, so prolonged periods of freezing can be anticipated during the winter months, periods during which snow or ice on the hardstand could be expected to thaw during the sunny day. The open ditch and adjacent curb will permit the water to flow away from the paved area without overflow onto residential property even though the subsurface in the shade may be frozen.

### B. Ditch Design:

The required capacity for the ditch is  $2.25 \text{ ft.}^3/\text{sec.}$ , to accommodate the potential fully developed site. The available space for the ditch is a maximum of 2.0 ft., from the property line to the retaining wall of the Albuquerque Federal Bank. The proposed ditch cross section is as follows:



Depth of Water Ft.	Velocity Ft./Sec.	Quant. Ft. <sup>3</sup> /Sec.
.3	3.6	1.3
.4	4.1	1.9
.5	4.5	2.6
.6	4.8	3.3

The depth of 9 inches for the ditch will provide for a safety factor in the event of trash being in the ditch.

#### IV. CONCLUSIONS AND RECOMMENDATIONS:

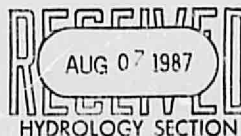
A. Lot 2-B-2, block 65-B, Princess Jeanne Park Addition, is not within a 100-year flood plain as identified on the Albuquerque Flood Hazard Map.

B. The runoff from lot 2-B-2 flows toward an identified flood plain area, but the runoff does not materially increase the hazard to public or private property.

C. The finished floor level for the proposed building should be set above the expected water level within the parking area and driveway, and curbs and retaining walls placed as indicated to protect adjacent properties.

References: Albuquerque Public Works Department  
Development Access Manual.

08782198

EASEMENT AGREEMENT

THIS AGREEMENT is entered into this 24th day of July, 1987, by and between ALBUQUERQUE FEDERAL SAVINGS AND LOAN, a Federal Savings and Loan Association (hereinafter ALBUQUERQUE FEDERAL), and CAROLYN R. TURNER, an unmarried woman and JAMES G. EARNEST and PAMELA D. EARNEST, husband and wife (hereinafter TURNER/EARNEST),

WHEREAS, ALBUQUERQUE FEDERAL is the Seller and TURNER/EARNEST are the Purchasers under that certain Real Estate Contract dated May 29, 1987, filed for record June 1, 1987, as Doc. No. 87-56590, records of the County Clerk of Bernalillo County, State of New Mexico, which Real Estate Contract relates to the following described property located in the County of Bernalillo, State of New Mexico:

Lot numbered Two-B-Two (2-B-2), Block numbered Sixty-Five-B (65-B), a Subdivision of Lot 2-B, Block 65-B of DALE J. BELLAMAH'S PRINCESS JEANNE PARK, Albuquerque, New Mexico, as the same is shown and designated on said plat, filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 6, 1983.

(hereinafter Lot 2-B-2)

and

WHEREAS, ALBUQUERQUE FEDERAL is the Owner of that certain real property located in the County of Bernalillo, State of New Mexico, and more particularly described as follows:

Lot One (1), Block 65-B of the Redivision of Blocks 38-B, 39-B, 45-B, and 65-B of DALE J. BELLAMAH'S PRINCESS JEANNE PARK, an Addition to the City of Albuquerque, New Mexico, as the same is shown and designated on the plat of said Addition, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on January 7, 1977.

(hereinafter Lot 1)

and

WHEREAS, ALBUQUERQUE FEDERAL and TURNER/EARNEST desire to provide for a drainage easement which is located along the Westernmost border of Lot 1 for the benefit of Lot 2-B-2.

NOW, THEREFORE, in consideration of the above and other good and valuable consideration, IT IS AGREED AS FOLLOWS:

1. ALBUQUERQUE FEDERAL hereby grants and dedicates a drainage easement for the benefit of Lot 2-B-2 along the Western 2 1/2 feet of Lot 1.
2. This Easement is permanent, superior and paramount to the rights of any of the parties hereto in the respective estates so created herein, and this Easement shall be deemed to run with the land forever and shall be binding on and shall inure to the benefit of the parties hereto, their heirs, successors and assigns.
3. TURNER/EARNEST as Purchasers of Lot 2-B-2 shall be responsible for maintaining the Easement, and the drainage improvements thereon and thereunder.
4. TURNER/EARNEST, for themselves and their heirs and assigns agree to indemnify and hold ALBUQUERQUE FEDERAL as Owner of Lot 1, its successors and assigns, harmless from any and all liability related to personal injury or property damage caused by the drainage easement or any acts of omission or commission by TURNER/EARNEST, their heirs and assigns, related to obligations created by this Agreement.

5. This Agreement shall inure to the benefit of, and shall be binding upon, the undersigned parties, their heirs, successors and assigns in all respects.

IN WITNESS WHEREOF, the undersigned have set their hands and seals the day first hereinabove set forth.

ALBUQUERQUE FEDERAL SAVINGS AND LOAN,  
a Federal Savings and Loan Association

By: Randall N. Turner

Its: Vice-President

Carolyn H. Turner  
Carolyn H. Turner

James G. Earnest  
James G. Earnest

Pamela D. Earnest  
Pamela D. Earnest

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO  
FILED FOR RECORD

1987 AUG -5 PM 2:15

PG  
BK GLADYS H. DAVIS  
CO CLERK & RECORDER

STATE OF NEW MEXICO )  
                                  ) ss.  
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me this  
24<sup>th</sup> day of July, 1987, by Randall N. Turner,  
Vice President, of ALBUQUERQUE FEDERAL SAVINGS AND LOAN,  
a Federal Savings and Loan.

Antara Stoklund  
NOTARY PUBLIC

MY COMMISSION EXPIRES:

1/6/91

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) ss.

20th The foregoing instrument was acknowledged before me this  
day of July, 1987, by Carolyn R. Turner, an  
unmarried woman, and James G. Earnest and Pamela D. Earnest

Connie R. Lohr  
NOTARY PUBLIC

MY COMMISSION EXPIRES:

7/1/89

FILE COPY



## City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Ken Schultz  
Mayor

UTILITY DEVELOPMENT DIVISION  
HYDROLOGY SECTION  
(505) 768-2650

July 15, 1987

Marvin R. Kortum, P.E.  
Kortum Engineering  
1605 Speakman Drive, SE  
Albuquerque, New Mexico 87123

RE: DRAINAGE PLAN FOR FINE THINGS (J-21/D26)  
ENGINEER'S STAMP DATED JULY 6, 1987

Dear Mr. Kortum:

Based on the information provided on your submittal of July 9, 1987, the above referenced plan is approved for Building Permit.

Prior to building permit release, we will require a revised agreement that includes the verbage "this agreement shall be binding on all successors and assigns of said owners" and must also be filed.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

*Bernie J. Montoya*  
Bernie J. Montoya, C.E.  
Engineering Assistant

BJM/bsj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

FILE COPY

# CITY OF ALBUQUERQUE

ALBUQUERQUE, NEW MEXICO

INTER-OFFICE CORRESPONDENCE

REF. NO. \_\_\_\_\_

July 15, 1987

TO: Tom Aragon, Transportation System Division  
FROM: ~~for~~ Fred J. Aguirre, Hydrologist; Engineering Group/PWD *Roger J. Green*  
SUBJECT: PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHTS-OF-WAY/EASEMENT  
FINE THINGS - 130' JUAN TABO BOULEVARD, NR (J-21/D26)

---

Transmitted herewith, is a copy of the approved drainage plan for the referenced project incorporating the S.O. #19 design.

In accordance with the new process, this plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed-off: S.O. #19 is required by this office for Certificate of Occupancy release; hence your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation, and if you should have any questions and/or comments regarding the process, please feel free to call me at 768-2650.

FJA/bsj

Attachment

# DRAINAGE INFORMATION SHEET

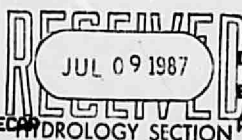
PROJECT TITLE: FINE THINGS ZONE ATLAS/DRNG. FILE #: J-21/26  
 LEGAL DESCRIPTION: Lot 2-B-2, Block 65-B, Princess Jeanne Park Addition  
 CITY ADDRESS: 1307 Juan Tabo Blvd. NE  
 ENGINEERING FIRM: Marvin R Kortum CONTACT: Marvin R Kortum  
 ADDRESS: 1605 Speakman Dr. SE PHONE: 505-299-0774  
Albuquerque NM 87123  
 OWNER: Carolyn R Turner & Pamela D Earnest CONTACT:   
 ADDRESS: 9300 Layton Loop NE PHONE:   
Albuquerque NM 87111  
 ARCHITECT: Design Group 85 CONTACT: Don Johnson  
P O Box 11789 PHONE: 505-292-8304  
 ADDRESS: Albuquerque NM 87192  
 SURVEYOR: Southwest Survey Company, Inc. CONTACT: Dan Graney  
333 Lomas Blvd. NE PHONE: 505-247-4444  
 ADDRESS: Albuquerque NM 87102  
 CONTRACTOR: Jim Green Lic #022712 CONTACT: Jim Green  
6213 Northland NE PHONE: 505-884-7780  
 ADDRESS: Albuquerque NM 87109

## PRE-DESIGN MEETING:

☒ YES

☐ NO

☒ COPY OF CONFERENCE RECORD SHEET PROVIDED



DPB NO.

EPC NO.

PROJ. NO.

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☒ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER  (SPECIFY)

DATE SUBMITTED: July 9, 1987

BY: Marvin R Kortum

PROJECT TITLE:

Grading and Drainage Plan  
Fine Things

ZONE ATLAS:

J-21

ADDRESS:

1307 Juan Tabo N. E.

LEGAL DESCRIPTION:

Lot 2-B-2, Blk. 65-B  
Princess Jeanne Park Addition

ENGINEERING FIRM:

Marvin R. Kortum  
1605 Speakman Drive S. E.  
Albuquerque, N. M. 87123  
(505) 299-0774

OWNER:

ARCHITECT:

Design Group 85  
P. O. Box 11789  
Albuquerque, N. M. 87192  
(505) 292-8304

CONTRACTOR:

Jim Green

SURVEYOR:

Southwest Survey Company, Inc.  
333 Lomas Blvd. N. E.  
Albuquerque, N. M. 87102

DATE SUBMITTED:

July 8, 1987



CITY OF ALBUQUERQUE  
MUNICIPAL DEVELOPMENT DEPARTMENT  
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO.: 1-21 DATE: 5/28/87 @ 2:00  
PLANNING DIVISION NOS: EPC: \_\_\_\_\_ DRB: \_\_\_\_\_  
SUBJECT: Commercial Office Building  
STREET ADDRESS (IF KNOWN): N.W. corner of Constitution & Juan Tabo  
SUBDIVISION NAME: Lot 26 Block 65B, Dale Ballantyne

APPROVAL REQUESTED:

_____ PRELIMINARY PLAT	_____ FINAL PLAT
_____ SITE DEVELOPMENT PLAN	<u>X</u> BUILDING PERMIT
_____ OTHER	_____ ROUGH GRADING

	WHO	REPRESENTING
ATTENDANCE:	<u>Marvin Katten</u>	<u>Self</u>
	<u>Roger Green</u>	<u>Hydrology Section</u>
	_____	_____

FINDINGS:

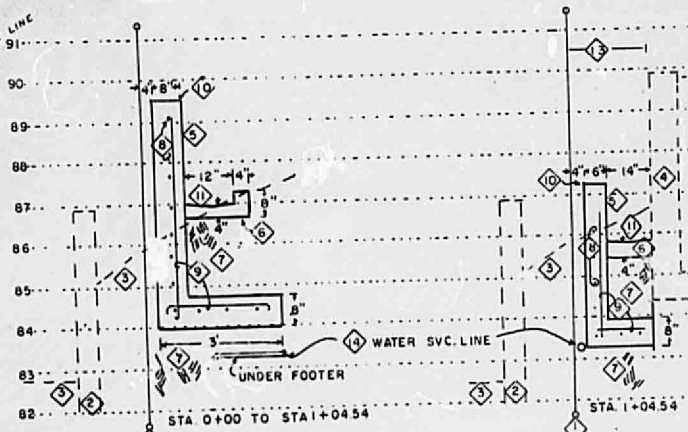
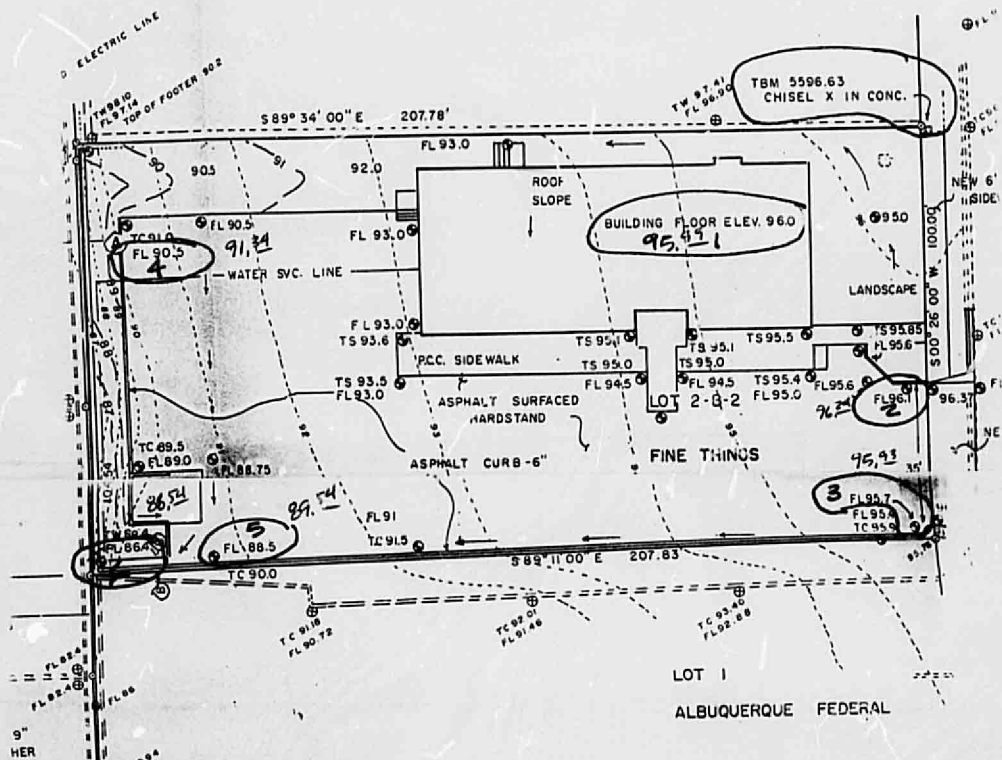
- ① An approved Grading and Drainage Plan is required prior to building permit sign-off by Hydrology. Follow DMV outline and criteria.
- ② Assume that discharge was either to Juan Tabo or to Constitution. If to Constitution, drainage easement is required across the land property (521/06). Free discharge is approved to ~~property~~ since site is an infill site and site is not adjacent to any of the watershed. If discharge is to Juan Tabo, location pond is required and submittal drawings for pump or 4" PVC and drain.
- ③ If rear portion of lot is left undeveloped and no discharge is submittal for this area is required.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: <u>Roger Green</u>	SIGNED: <u>Mark Katten</u>
TITLE: <u>Chief Engineer</u>	TITLE: <u>Full Engineer</u>
DATE: <u>5-28-87</u>	DATE: <u>May 28 1987</u>

\*\*NOTE\*\* PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL

LOT 2-B-1  
MISSION SQUARE



- NOTES**
- 1 PROPERTY LINE
  - 2 6" BLOCK WALL
  - 3 EXISTING EARTH SURFACE (VARIES)
  - 4 EXISTING RETAINING WALL
  - 5 NEW RETAINING WALL (P.C.C. OR P.C.C. FILLED BLOCK)
  - 6 NEW P.C.C. GUTTER
  - 7 EARTH COMPACTED TO 95% MAX. DENSITY
  - 8 1/2" R'BAR AT 8" O.C.
  - 9 " " " 16" "
  - 10 TOP OF WALL (VARIES)
  - 11 GUTTER INVERT (VARIES - 1.5% SLOPE)
  - 12 SLOPE FINISHED SURFACES TO DRAIN

CONSTITUTION AVENUE

RETAINING WALL AND SURFACE DRAIN DETAIL

(53)

MISC - Hydrology

MISSION SQUARE"  
1307 JUN 1980 N.E.

A. GONZALEZ  
A. SALAZAR  
J. GARCIA

MAR-14-88

STA	+	HI	INT.	-	ELEV.
T.B.M.	3.76	5600.39			5596.63
POINT #1			4.90 ft		5595.49
POINT #2			4.15 ft		96.24
POINT #3			4.96 ft		95.93
POINT #4			9.05 ft		91.34
POINT #5			10.85 ft		89.54
POINT #6			11.85 ft		88.54
POINT #7			16.95 ft		82.44
T.B.M. (T16)			3.76		5596.63

(54)

CHISEL X IN CONC. NE. CROSSWALK

500.000