

CITY OF ALBUQUERQUE



February 12, 2018

Scott M. McGee, P.E.
SMMPE, LLC
9700 Tanoan Dr. NE
Albuquerque, NM 87111

RE: **Jackson Middle School Cafeteria**
10600 Indian School NE
Request for Certificate of Occupancy – 30 Temporary
Hydrology Final Inspection - Approved
Engineer's Stamp Date 5/23/17 (J21D029)
Certification Dated: 1/27/18

Dear Mr. McGee,

PO Box 1293

Based on the certification received on 2/1/18, this submittal can be approved for Temporary (30-day) Certificate of Occupancy by Hydrology. Prior to requesting permanent C.O., the following will need to be corrected:

Albuquerque

1. The detention pond needs to be excavated and enlarged as shown in the approved Grading and Drainage Plan. Once complete, the enlarged area will need to be surveyed, re-certified, and a new Engineer's Certification submitted to Hydrology.

NM 87103

If you have any questions, you can contact me at 924-3695 or dpeterson@cabq.gov.

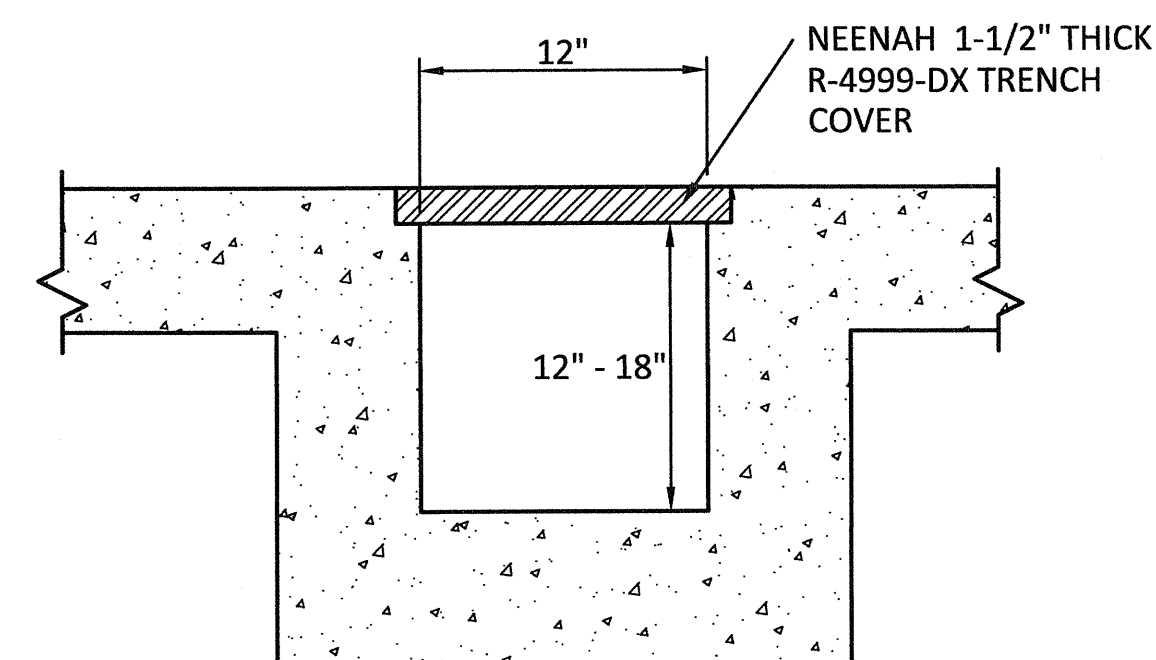
www.cabq.gov

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development and Review Services

I, SCOTT M MCGEE, NMPE 10519, OF THE FIRM SCOTT M MCGEE PE, LLC, HEREBY CERTIFY THAT THIS SITE HAS BEEN GRADED BY ME OR UNDER MY DIRECTION AND SUPERVISION WITH THE DESIGN INTENT OF THE APPROVED EROSION CONTROL PLAN DATED 5/23/17. THE RECORD INFORMATION EDITED ON THE ORIGINAL PLAN HAS BEEN OBTAINED BY MARTINEZ, NMPE 18374, OF CARTESIAN SURVEYS, INC. I ALSO CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE 1/27/18 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

SCOTT M MCGEE, NMPE 10519



The map shows a section of Phoenix, Arizona, centered around Indian School. Key features include:

- Streets:** Indian School (top), Jackson (middle), Middle School (center), Jackson (bottom), Blume (left), Hannett (bottom left), Marlon (bottom right), Princess Jeanne (bottom right), and others.
- Residential Lots:** Numerous lots are shown with house numbers. For example, along Indian School, lots 1 through 33 are visible. Along Jackson, lots 1 through 10 are visible. Along Blume, lots 1 through 14 are visible. Along Hannett, lots 1 through 17 are visible. Along Marlon, lots 1 through 33 are visible. Along Princess Jeanne, lots 1 through 10 are visible.
- Commercial/Industrial Areas:** A large area in the center is labeled 'MIDDLE SCHOOL' and 'SU-1 PRD'. Another area to the right is labeled 'SU-1 PRD' and 'SU-4 PRD'.
- Compass Rose:** Located in the bottom left corner, showing North (N) and South (S).
- Other Labels:** 'ALL-FAMILY' is labeled in the center-right area. 'SU-4 PRD' is labeled in the bottom right area. 'SU-1 PRD' is labeled in the bottom right area.

J-21

-----	EXISTING CONTOURS AND CONSTRUCTION
_____	NEW CONTOURS AND CONSTRUCTION
TC 12.9	TOP OF CURB ELEV
FL 12.4	FLOW ELEV
◆ 12.0	SPOT ELEV
FF=5113.65	FINISH FLOOR ELEV

12" STORM DRAIN (PVC SDR 35)	PROPOSED STORM DRAIN
X 8.3	AS BUILT ELEVATION

LEGAL: UNPLATTED LANDS OF BOARD OF EDUCATION, (aka Jackson Middle School)

AREA: Total site=18.41acres. This phase is the proposed Cafeteria Building 'A'-- 0.871 acres (37,950 SF)

BENCHMARK: ACS aluminum disk "15-H20 1989" set in Eubank Blvd median curb at the south edge of Snow Heights Blvd NE intersection.
ELEV= 5477.43 (NAVD 1988)

TBM: a #5 rebar with cap stamped HMCG Control NMPS #11184 as shown south of the western parking lot.
ELEV= 5500.93 (NAVD 1988)

SURVEYOR: High Mesa Consulting Group dated May, 2014

FLOOD HAZARD: From FEMA Panel 357 (8/16/2012), the majority of this site is identified as being within Zone 'X' which is outside the 0.2% annual chance floodplain. A small portion in the SW corner of the site (<5% of the site), is shaded Zone 'X' which is noted as within the 0.2% annual chance flood or an area with 1% annual chance flood with average depths of less than 1 foot.

EXISTING CONDITIONS: The site is developed as a public middle school. A northern portion of the site discharges north to Indian School Road through multiple existing driveways. Most of the site drains to an onsite detention pond which outfalls to the southwest corner of the site to Blume Street NE.

OFFSITE FLOWS: There is an existing block wall along the eastern side of the site. No offsite flow enters this site.

PROPOSED IMPROVEMENTS: The proposed improvements include a 17,500 sf (2-story) 7th grade classroom building located near the southwest corner of the site. The hardscape courtyard increases the impervious percentage of this area.

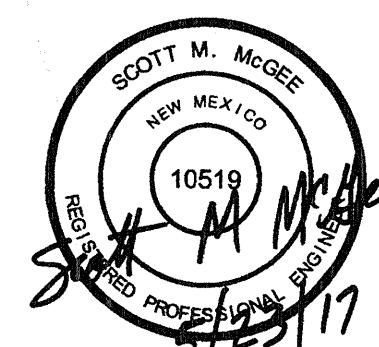
FIRST FLUSH: $Q = (0.44 - 0.10) (20,495) / 12 = 581$ CF
This volume will be provided in the detention pond located at the SW corner of the site with the increased storage volume proposed.

DRAINAGE APPROACH: The proposed drainage plan will follow historic flow paths and the approved Grading Plan. Building roof runoff will primarily discharge to the west side of the building. Site runoff will discharge to the south and west. The courtyard area will surface flow to a proposed trench drain and drain line that carries runoff southwest to an existing detention pond. Runoff will also sheet flow west over existing asphalt to the same onsite pond. Flow will then be directed south by an existing storm drain which discharges to Blume Street NE.

HYDROLOGY: For precipitation Zone 4 with 62% C & 38% D land treatment
Existing $Q = (0.54)(3.73) + (0.33)(5.25) = 3.7$ CFS

The proposed improvements include the building, impervious courtyard area, walks, and the shallow depressed area northwest of the proposed building.
Proposed Q = (0.06) (2.92) + (0.27) (3.73) + (0.54) (5.25) = 4.0 CFS

This minor runoff increase (0.3 CFS) will not have an adverse impact on downstream drainage facilities as runoff will be detained onsite in the enlarged detention pond.



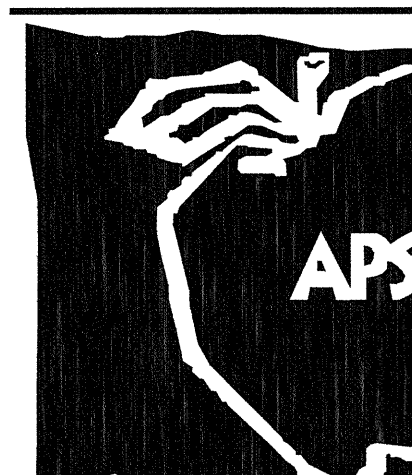
1306 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-255-6400 505-268-6954 FAX
WWW.NCA-ARCHITECTS.COM

ARCHITECT

CONSULTANT

PROJECT TITLE

**JACKSON
MIDDLE
SCHOOL
CLASSROOM
ADDITION**

ALBUQUERQUE
NEW MEXICO

REVISIONS:

[illegible]

MK	DATE	DESCRIPTION
DRAWN BY:		CHECKED
CB		SMM

PROJECT NUMBER

A1401

DATE:

MAY 2017

SHEET TITLE:

**BUILDING A
~CAFETERIA~
GRADING & DRAINAGE
PLAN**

SHEET NO:

3 OF 7