

# CITY OF ALBUQUERQUE



January 13, 2017

Richard J. Berry, Mayor

Scott M. McGee, P.E.  
SMMPE, LLC  
9700 Tanoan Dr. NE  
Albuquerque, NM, 87111

**RE: Jackson Middle School  
Grading and Drainage Plan  
Engineer's Stamp Date 11-11-16 (File: J21D029)**

Dear Mr. McGee:

Based upon the information provided in your submittal received 12-28-2016, the above referenced plan is approved as noted for Building Permit:

1. The Drainage Approach concludes with flows from the shallow depressed landscaping area being directed northward into a parking area and toward Comanche. No mention of directing flows into the storm drain and southwest towards the detention pond is made. Clarify the last portion of the Drainage Approach to match what is shown on drawings.

The approach as shown on drawings, acceptably conveys flows from the impervious areas through storm drain or overland, to the enlarged detention pond, whose outfall is Blume Street on City Right-of-Way. Additionally, it is recommended that erosion along the existing concrete rundown to the detention pond is corrected as part of this work.

If you have any questions, please contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

Sincerely,

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 04/2009)

J21D029

PROJECT TITLE: JACKSON Middle School ZONE MAP: J-21/D'  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: 902080

LEGAL DESCRIPTION: Jackson Middle School  
CITY ADDRESS: 10600 INDIAN SCHOOL RD NE, ABQ, NM

ENGINEERING FIRM: Scott M McGee PE CONTACT: Scott McGee  
ADDRESS: 9700 Tanoan Drive NE PHONE: 263-2905  
CITY, STATE: ABQ, NM ZIP CODE: 87111

OWNER: A P S CONTACT: Annelle Darby  
ADDRESS: \_\_\_\_\_ PHONE: 848-8817  
CITY, STATE: ABQ, NM ZIP CODE: 87114

ARCHITECT: NCA CONTACT: Tom Wilber  
ADDRESS: \_\_\_\_\_ PHONE: 255-6400  
CITY, STATE: ABQ, NM ZIP CODE: 85014

SURVEYOR: High Mesa CONTACT: Chuck Cala  
ADDRESS: 6010-B Midway Park NE PHONE: 345-4250  
CITY, STATE: ABQ, NM ZIP CODE: 87109

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

\_\_\_\_ DRAINAGE REPORT  
XX DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
\_\_\_\_ DRAINAGE PLAN RESUBMITTAL  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ EROSION CONTROL PLAN  
\_\_\_\_ ENGINEER'S CERT (HYDROLOGY)  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT  
\_\_\_\_ ENGINEER'S CERT (F&D)  
\_\_\_\_ ENGINEER'S CERT (DRB SITE PLAN)  
\_\_\_\_ OTHER (SPECIFY)

## CHECK TYPE OF APPROVAL SOUGHT:

\_\_\_\_ SIA/FINANCIAL GUARANTEE RELEASE  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL  
\_\_\_\_ S. DEV. FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ SECTOR PLAN APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
XX BUILDING PERMIT APPROVAL  
\_\_\_\_ CERTIFICATE OF OCCUPANCY (PERM)  
\_\_\_\_ CERTIFICATE OF OCCUPANCY (TEMP)  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ GRADING CERTIFICATION  
\_\_\_\_ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED?

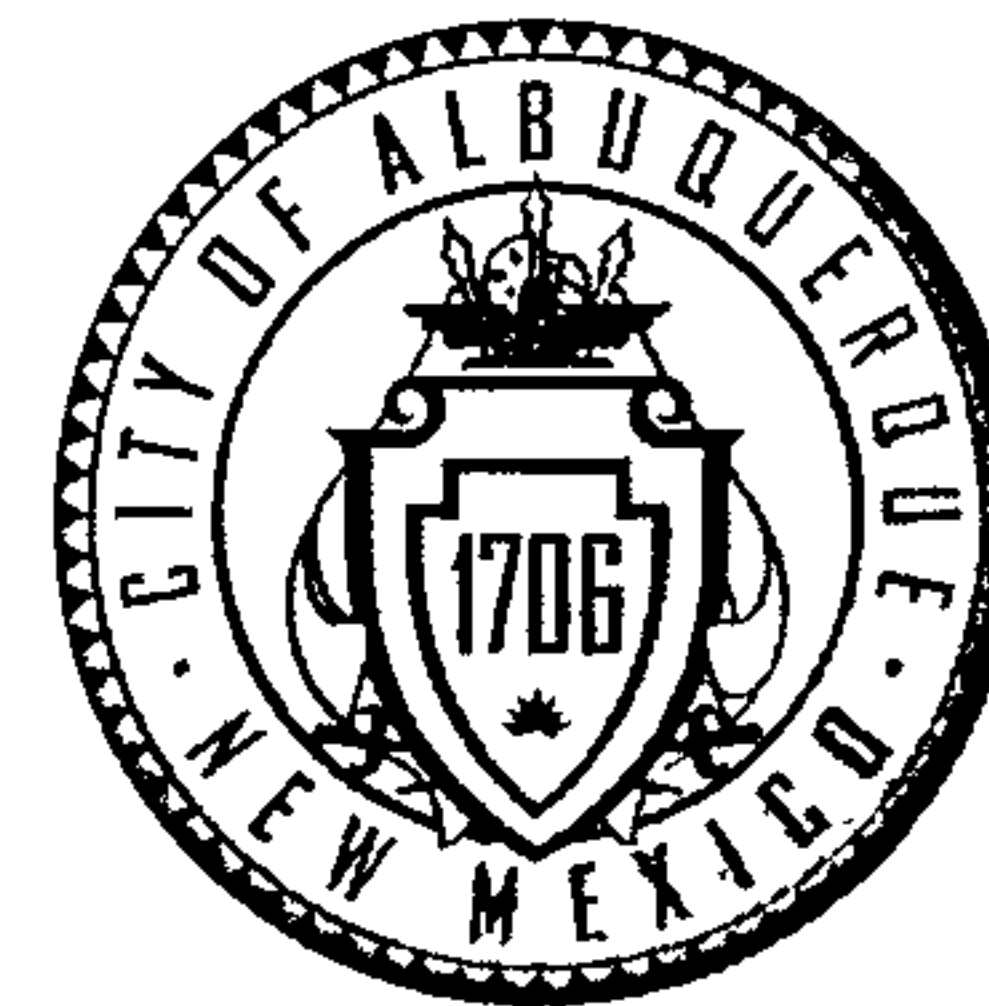
\_\_\_\_ YES  
\_\_\_\_ NO  
\_\_\_\_ COPY PROVIDED

DATE SUBMITTED: 12/28/16 BY: SMM

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



June 23, 2016

John Sedillo  
NCA Architects  
1306 Rio Grande Blvd., NW  
Albuquerque, NM 87104

**Re: Jackson Middle School**  
**10600 Indian School Rd., NE**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp dated 6-21-16 (J21-D029)

Dear Mr. Sedillo,

The TCL submittal received 6-21-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

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# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Jackson Middle School Building Permit #: \_\_\_\_\_ City Drainage #: J21D029  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: TRAC IN W OF NE OF NW BEING JACKSON JR HIGH TRACT SECT T10N R4E CONT 18  
City Address: 10600 INDIAN SCHOOL RD NE, ALBUQUERQUE, NM 87112

Engineering Firm: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Owner: ALBUQUERQUE PUBLIC SCHOOLS Contact: RICHARD MILLER

Address: 915 OAK STREET SE, ALBUQUERQUE, NM 87106

Phone#: 505.848.8810 Fax#: 505.246.9920 E-mail: MILLER\_RA@APS.EDU

Architect: NCA ARCHITECTS Contact: JOHN SEDILLO

Address: 1306 RIO GRANDE BLVD. NW, ALBUQUERQUE, NM 87104

Phone#: 505.255.6400 Fax#: 505.268.6954 E-mail: \_\_\_\_\_

Surveyor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

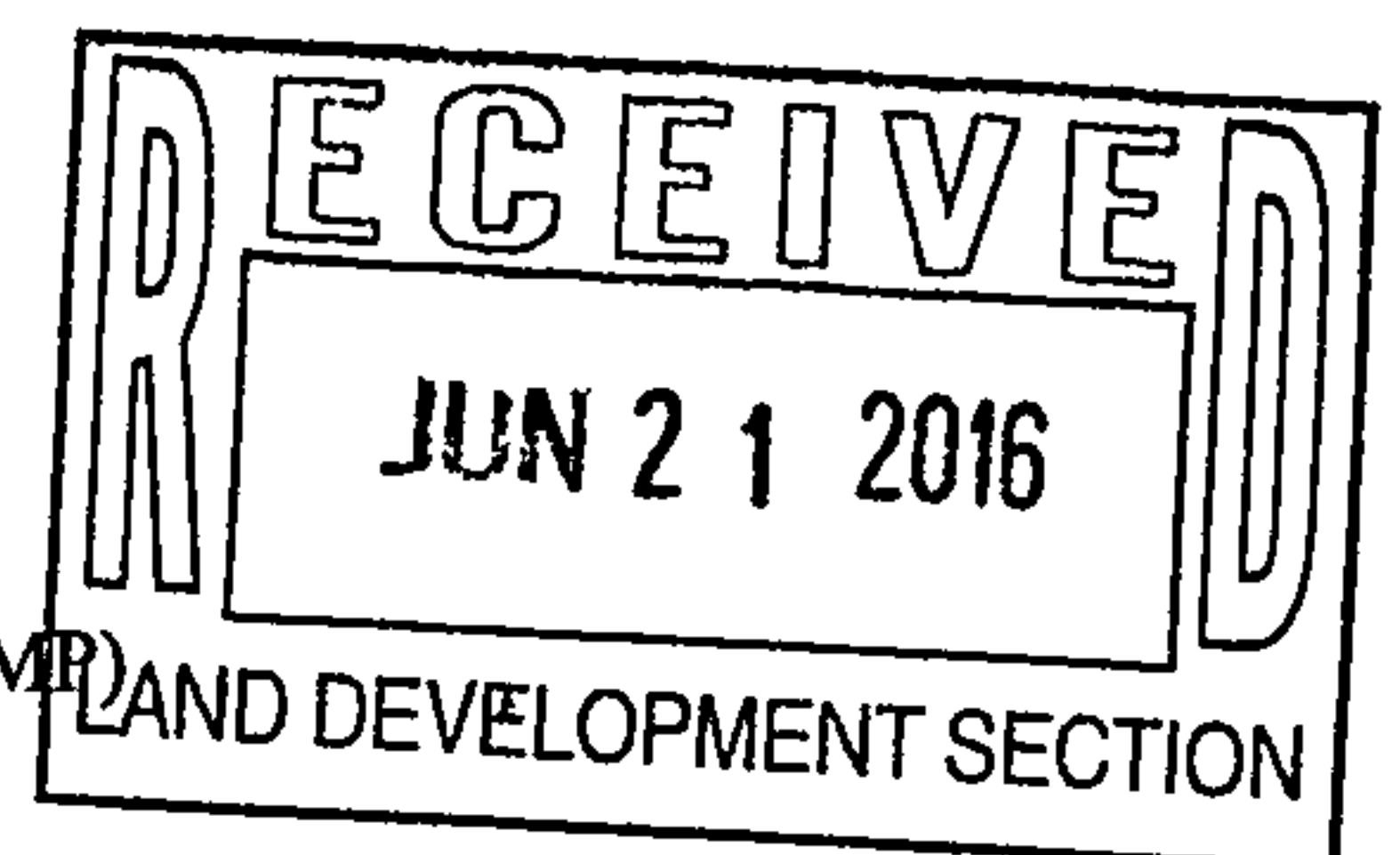
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
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- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_



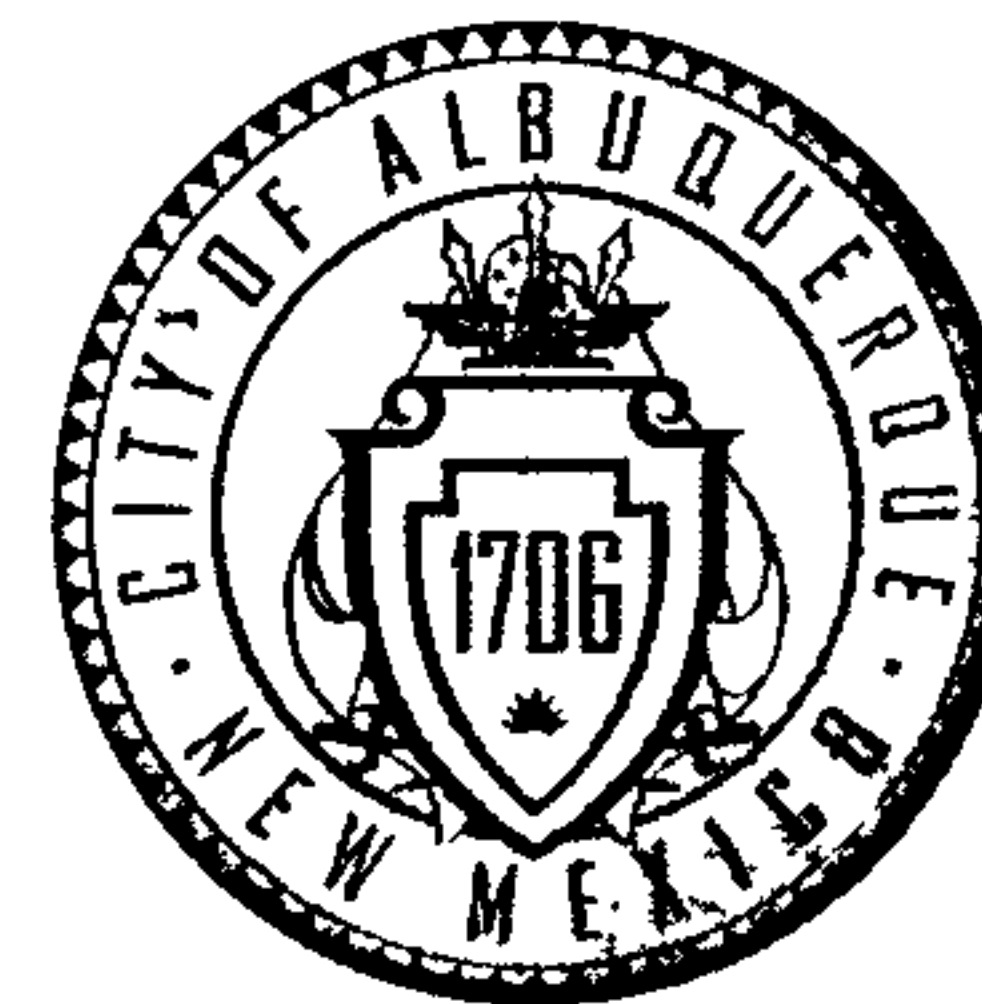
WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: 6.21.2016 By: JOHN SEDILLO

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

# CITY OF ALBUQUERQUE



June 16, 2016

John Sedillo  
NCA Architects  
1306 Rio Grande NW  
Albuquerque, NM 87104

**Re: Jackson Middle School**  
**10600 Indian School Rd., NE**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp **6-15-16 (J21-D029)**

Dear Mr. Sedillo,

Based upon the information provided in your submittal received 6-15-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
2. Please identify all existing and proposed sidewalks, curbs, drive pads ADA ramps and anything that influences the parking and circulation on the site.
3. Identify all existing access easements and rights of way width dimensions.
4. Identify the right of way width, medians, curb cuts, and street widths on Indian School Rd.
5. Please detail and dimension proposed new drive pads, sidewalks, curb and gutter improvements at the northwest entrance and clearly detail the drive pads for the one-way exit and employee parking entrance on the northeast portion of the project site. Clearly show drive pads and dimensions of drive pad extensions.
6. Please list the width and length for all existing and proposed parking spaces. Include the parking spaces, HC parking pedestrian pathways south of the proposed new Cafeteria and Performance Classroom.
7. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" Please call out detail and location of HC signs.
8. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details from Indian School Rd.

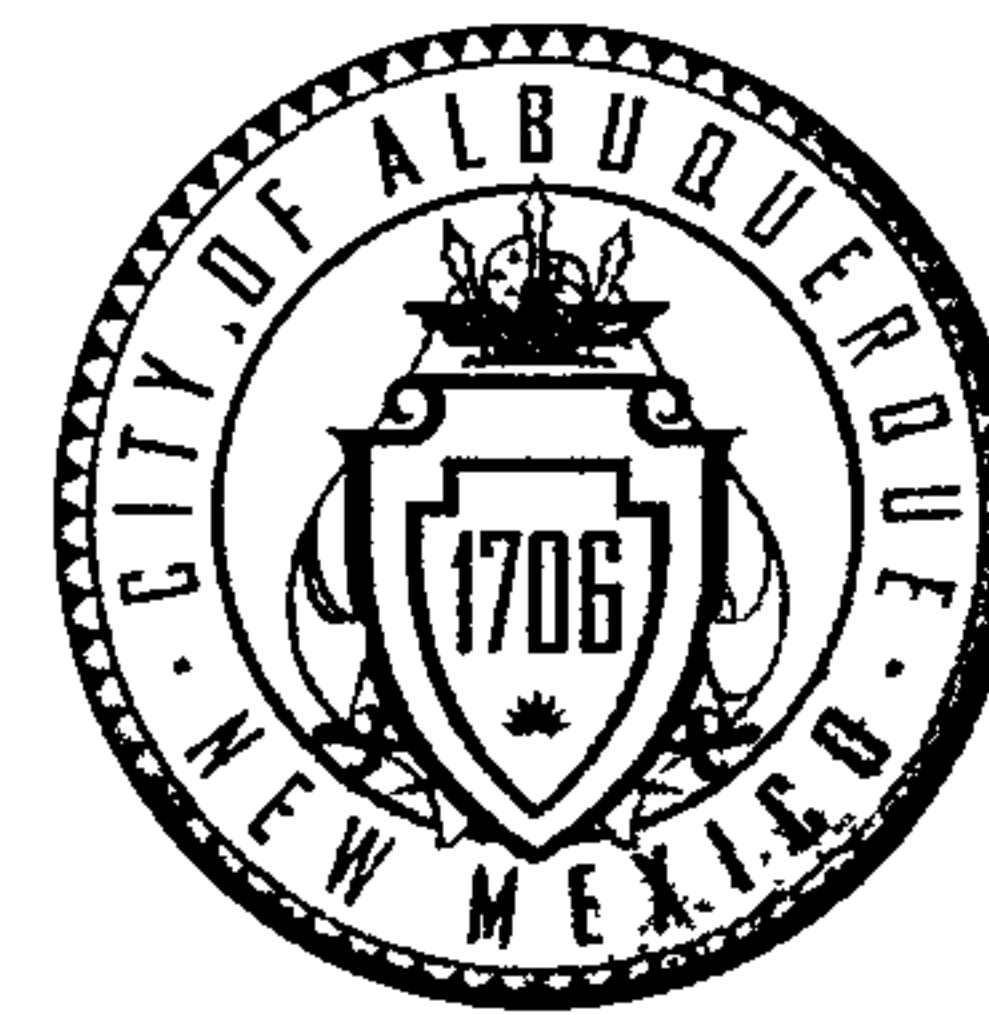
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# CITY OF ALBUQUERQUE



9. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details from all HC parking spaces. In review of the submitted drawing, the pathway on the north side of the proposed new Admin./Classroom Addition only provides a 5 ft. pathway from the HC parking spaces.
10. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
11. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3*). Please dimension the Clear Sight Triangle called out in Note # 26.
12. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
13. Please specify the City Standard Drawing Number when applicable.
14. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
15. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
16. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
17. Please include two copies of the traffic circulation layout at the next submittal.

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Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File

# CITY OF ALBUQUERQUE



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# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Jackson Middle School Building Permit #: \_\_\_\_\_ City Drainage #: 1210059  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: TRAC IN W OF NE OF NW BEING JACKSON JR HIGH TRACT SECT T10N R4E CONT 18  
City Address: 10600 INDIAN SCHOOL RD NE, ALBUQUERQUE, NM 87112

Engineering Firm: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
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Owner: ALBUQUERQUE PUBLIC SCHOOLS Contact: RICHARD MILLER  
Address: 915 OAK STREET SE, ALBUQUERQUE, NM 87106  
Phone#: 505.848.8810 Fax#: 505.246.9920 E-mail: MILLER\_RA@APS.EDU

Architect: NCA ARCHITECTS Contact: JOHN SEDILLO  
Address: 1306 RIO GRANDE BLVD. NW, ALBUQUERQUE, NM 87104  
Phone#: 505.255.6400 Fax#: 505.268.6954 E-mail: jsedillo@NCA-Architects.com

Surveyor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

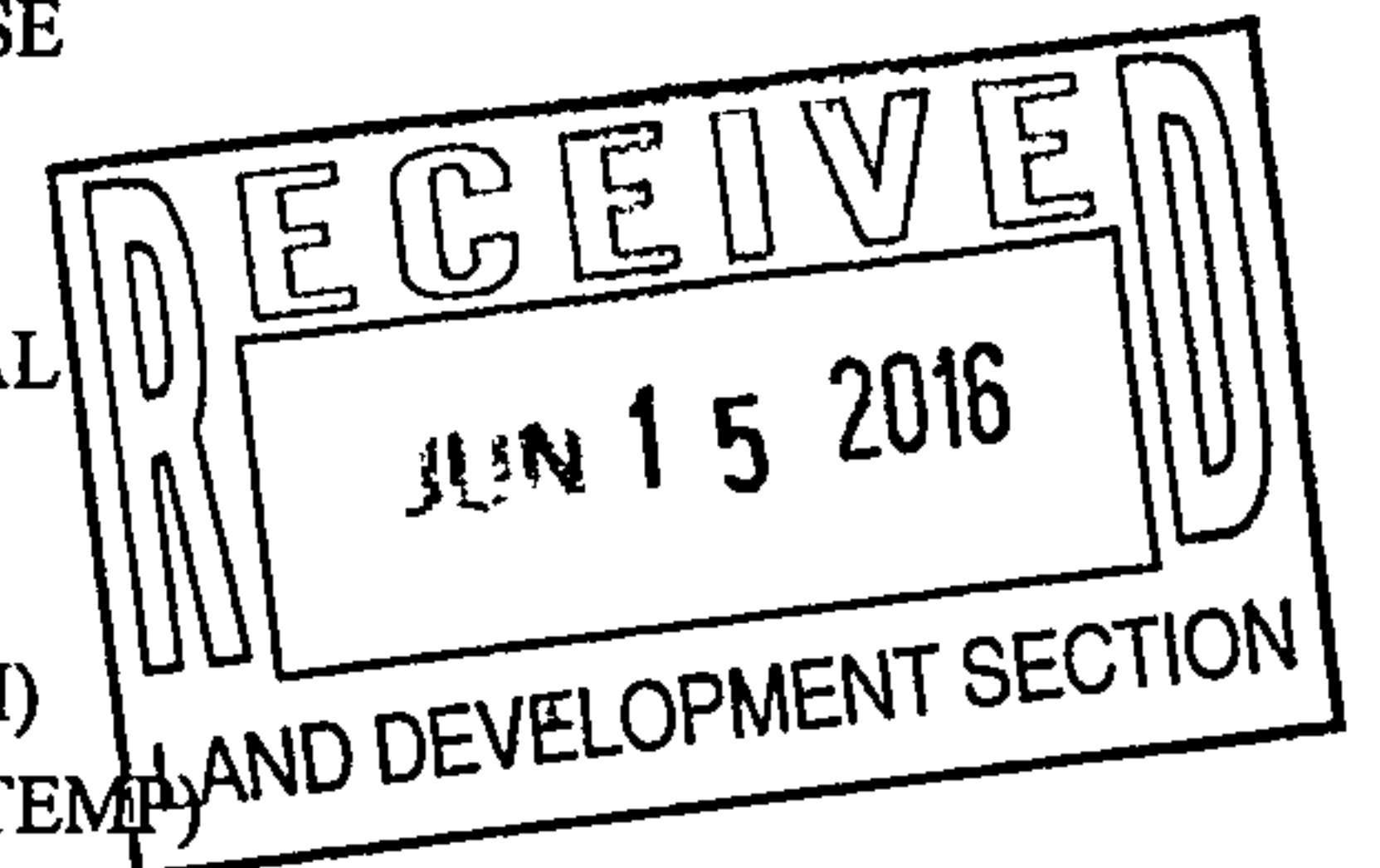
Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

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- ☐ SO-19 APPROVAL  
☐ ESC PERMIT APPROVAL  
☐ ESC CERT. ACCEPTANCE  
☐ OTHER (SPECIFY) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: 6.15.2016 By: JOHN SEDILLO

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