

CITY OF ALBUQUERQUE



February 12, 2018

Scott M. McGee, P.E.
SMMPE, LLC
9700 Tanoan Dr. NE
Albuquerque, NM 87111

RE: **Jackson Middle School Cafeteria**
10600 Indian School NE
Request for Certificate of Occupancy – Permanent
Hydrology Final Inspection - Disapproved
Engineer's Stamp Date 5/23/17 (J21D029)
Certification Dated: 1/27/18

Dear Mr. McGee,

PO Box 1293

Based on the certification received on 2/1/18, this submittal cannot be approved for Certificate of Occupancy by Hydrology until the following are corrected:

Albuquerque

1. The detention pond needs to be excavated and enlarged as shown in the approved Grading and Drainage Plan. Once complete, the enlarged area will need to be surveyed, re-certified, and a new Engineer's Certification submitted to Hydrology.

NM 87103

If you have any questions, you can contact me at 924-3695 or dpeterson@cabq.gov.

www.cabq.gov

Sincerely,

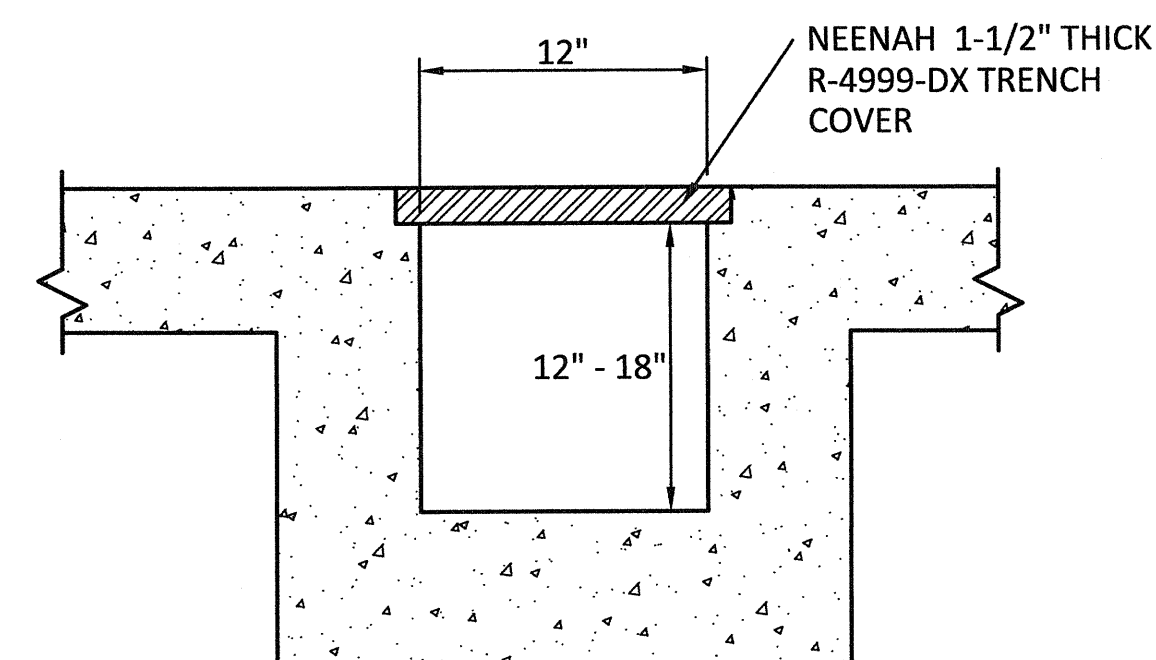
Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development and Review Services

DRAINAGE CERTIFICATION

I, SCOTT M. MCGEE, NMPE 10519, OF THE FIRM SCOTT M. MCGEE P.E., LLC, HEREBY CERTIFY THAT THIS SITE HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 5/23/17. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL PLAN HAS BEEN OBTAINED BY BRIAN MARTINEZ, NMPS 18374, OF CARTESIAN SURVEYS, INC. I ALSO CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE 1/27/18 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

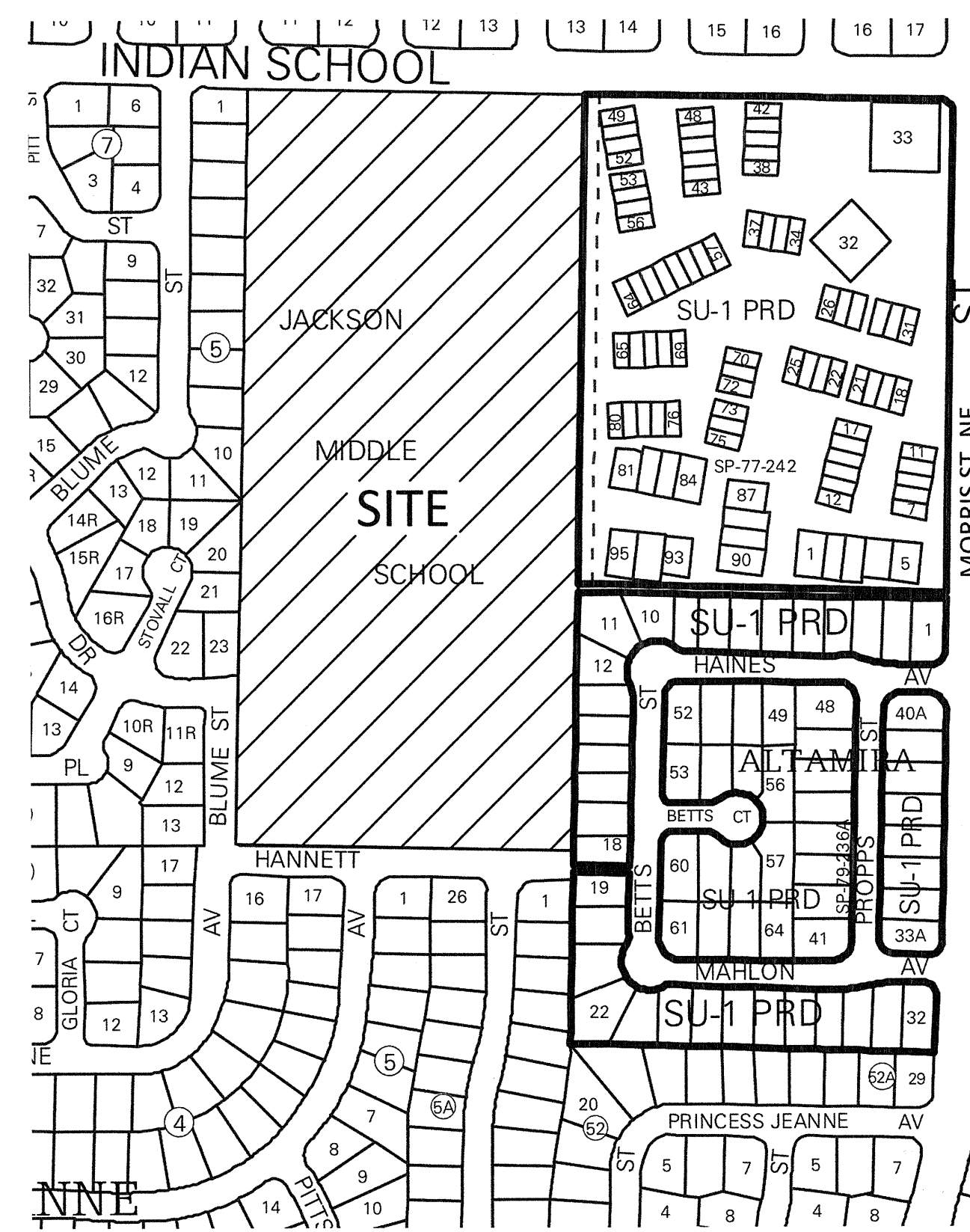
THE RECORD INFORMATION SHOWN HEREON IS NOT NECESSARILY COMPLETE AND IS ONLY INTENDED TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING/ DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT ACCURACY VERIFICATION BEFORE USING IT FOR ANY PURPOSE.

Scott M. McGee 1/27/18
SCOTT M. MCGEE, NMPE 10519



TRENCH DRAIN

NOT TO SCALE



VICINITY MAP

J-21

LEGEND

---	EXISTING CONTOURS AND CONSTRUCTION
---	NEW CONTOURS AND CONSTRUCTION
TC 12.9 FL 12.4	TOP OF CURB ELEV FLOW ELEV
◆ 12.0	SPOT ELEV
FF=5113.65	FINISH FLOOR ELEV

12" STORM DRAIN (PVC SDR 35)	PROPOSED STORM DRAIN
X 8,3	AS BUILT ELEVATION

DRAINAGE

LEGAL: UNPLATTED LANDS OF BOARD OF EDUCATION, (aka Jackson Middle School)

AREA: Total site=18.41 acres. This phase is the proposed Cafeteria Building "A" - 0.871 acres (37,950 SF)

BENCHMARK: ACS aluminum disk "15-H20 1989" set in Eubank Blvd median curb at the south edge of Snow Heights Blvd NE intersection.
ELEV= 5477.43 (NAVD 1988)TBM: a #5 rebar with cap stamped HMC Control NMPS #11184 as shown south of the western parking lot.
ELEV= 5500.93 (NAVD 1988)

SURVEYOR: High Mesa Consulting Group dated May, 2014

FLOOD HAZARD: From FEMA Panel 357 (8/16/2012), the majority of this site is identified as being within Zone 'X' which is outside the 0.2% annual chance floodplain. A small portion in the SW corner of the site (<5% of the site), is shaded Zone 'X' which is noted as within the 0.2% annual chance flood or an area with 1% annual chance flood with average depths of less than 1 foot.

EXISTING CONDITIONS: The site is developed as a public middle school. A northern portion of the site discharges north to Indian School Road through multiple existing driveways. Most of the site drains to an onsite detention pond which outfalls to the southwest corner of the site to Blume Street NE.

OFFSITE FLOWS: There is an existing block wall along the eastern side of the site. No offsite flow enters this site.

PROPOSED IMPROVEMENTS: The proposed improvements include a 17,500 sf (2-story) 7th grade classroom building located near the southwest corner of the site. The hardscape courtyard increases the impervious percentage of this area.

FIRST FLUSH: $Q = (0.44 - 0.10) (20,495) / 12 = 581$ CF
This volume will be provided in the detention pond located at the SW corner of the site with the increased storage volume proposed.

DRAINAGE APPROACH: The proposed drainage plan will follow historic flow paths and the approved Grading Plan. Building roof runoff will primarily discharge to the west side of the building. Site runoff will discharge to the south and west. The courtyard area will surface flow to a proposed trench drain and drain line that carries runoff southwest to an existing detention pond. Runoff will also sheet flow west over existing asphalt to the same onsite pond. Flow will then be directed south by an existing storm drain which discharges to Blume Street NE.

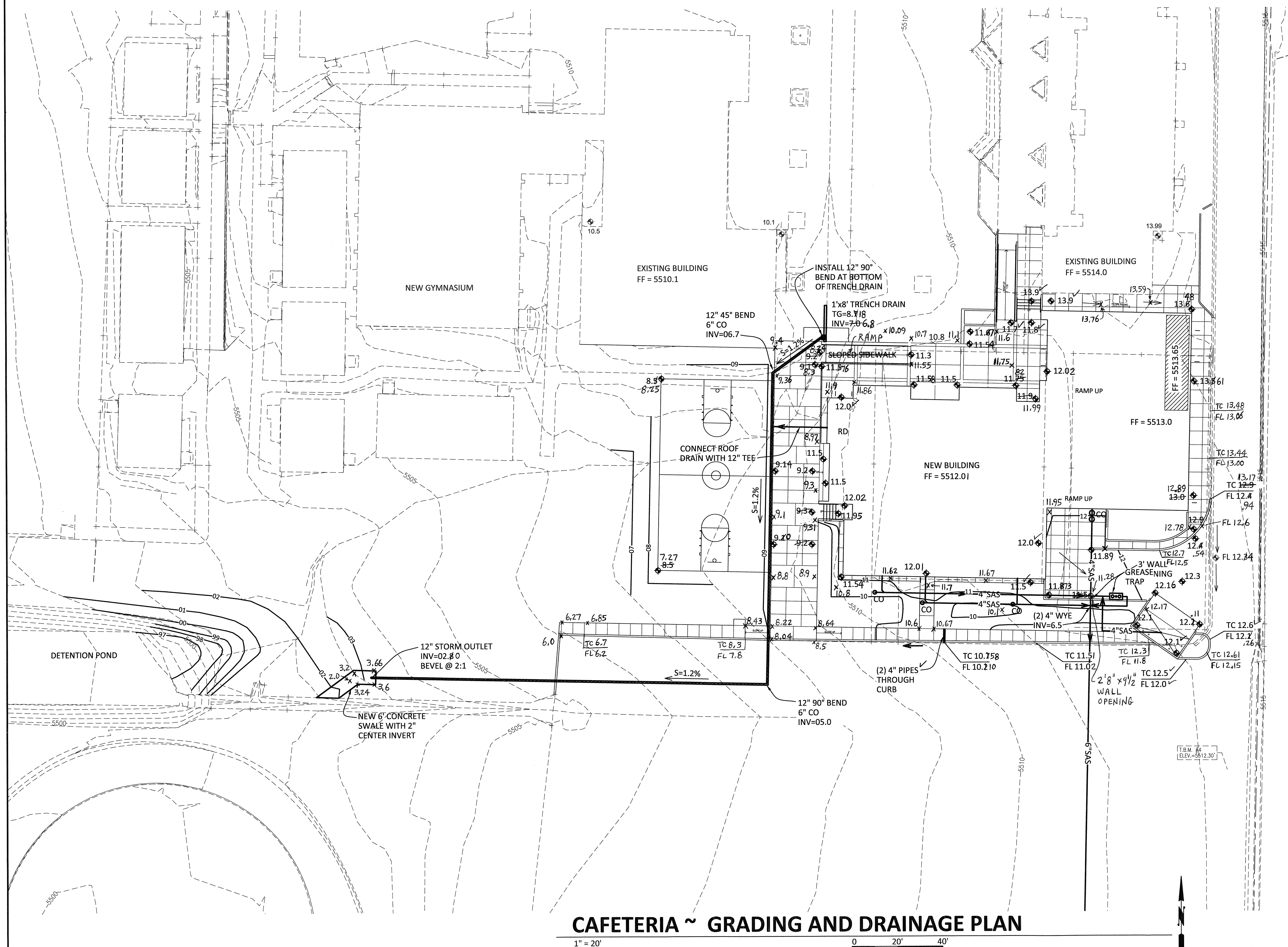
HYDROLOGY: For precipitation Zone 4 with 62% C & 38% D land treatment
Existing $Q = (0.54) (3.73) + (0.33) (5.25) = 3.7$ CFSThe proposed improvements include the building, impervious courtyard area, walks, and the shallow depressed area northwest of the proposed building.
Proposed $Q = (0.06) (2.92) + (0.27) (3.73) + (0.54) (5.25) = 4.0$ CFS

This minor runoff increase (0.3 CFS) will not have an adverse impact on downstream drainage facilities as runoff will be detained onsite in the enlarged detention pond.

CAFETERIA ~ GRADING AND DRAINAGE PLAN

1" = 20'

0 20' 40'

**NCA**

ARCHITECTS - PLANNERS - AIA

1306 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-255-6400 505-268-6954 FAX

WWW.NCA-ARCHITECTS.COM

ARCHITECT

CONSULTANT

PROJECT TITLE

**JACKSON
MIDDLE
SCHOOL
CLASSROOM
ADDITION****ALBUQUERQUE
NEW MEXICO**

REVISIONS:

NO.	DATE	DESCRIPTION

DATE	DESCRIPTION
DRAWN BY: CB	CHECKED BY: SMM

PROJECT NUMBER:

A1401

DATE:

MAY 2017

SHEET TITLE:

**BUILDING A
~CAFETERIA~
GRADING & DRAINAGE
PLAN**

SHEET NO.:

3 OF 7