

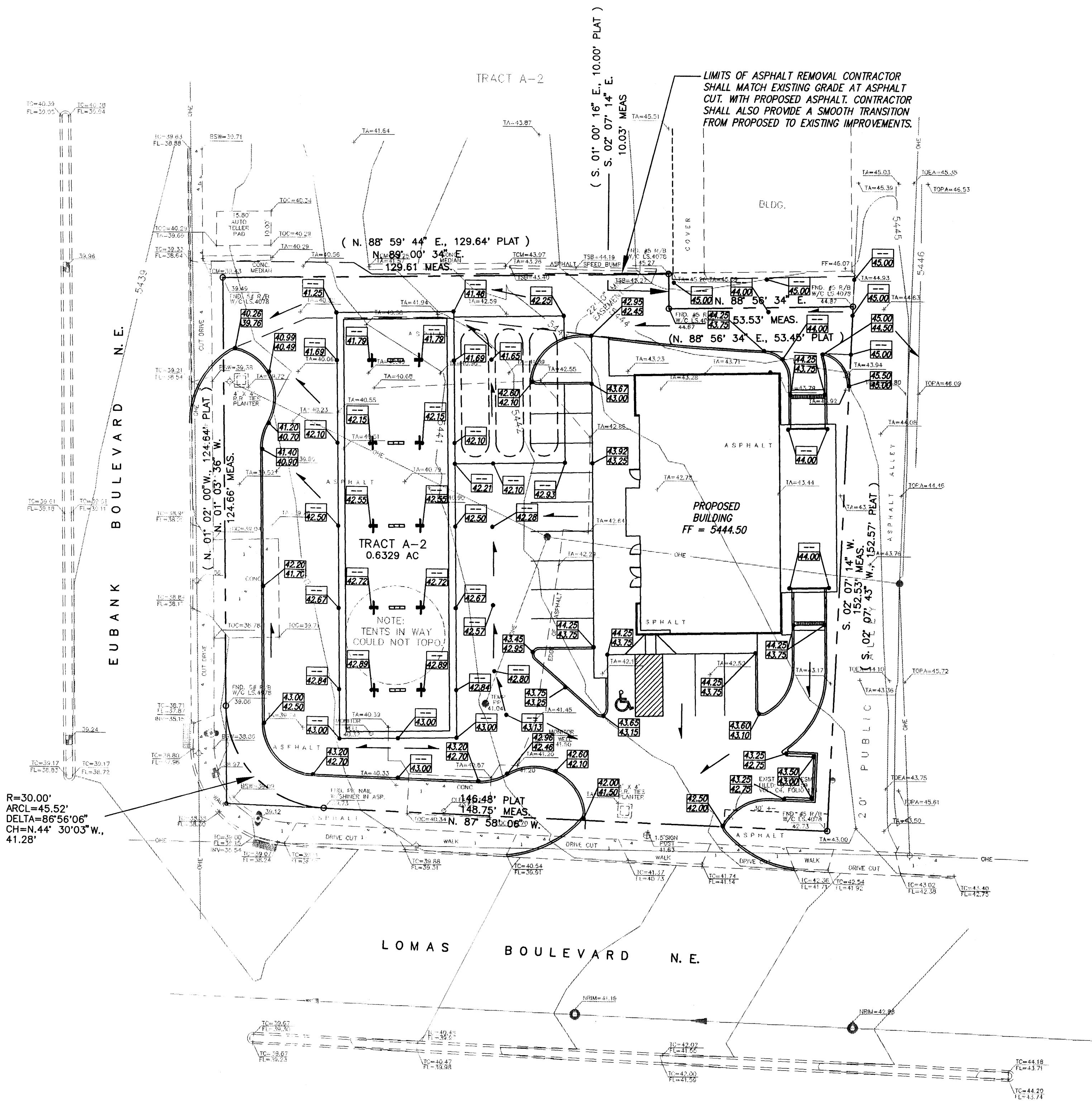
DRAINAGE MANAGEMENT PLAN

EXISTING CONDITIONS

THE SITE IS CURRENTLY A VACANT CORNER LOT. THE GROUND HAS BEEN PAVED MAKING THE ENTIRE PROPERTY IMPERVIOUS. EXISTING DRAINAGE PATTERNS HAVE THE DEVELOPED RUNOFF SHEET FLOW TO THE SOUTHWEST PROPERTY CORNER. CONTINUE OVER THE SIDEWALK AND FINALLY DISCHARGING INTO STORM INLETS ON LOMAS BLVD AND EUBANK BLVD SEE TOPOGRAPHICAL SURVEY THIS SHEET. MINIMAL STORM WATER GENERATED BY THIS PROPERTY, EXITS VIA THE DRIVEWAYS.

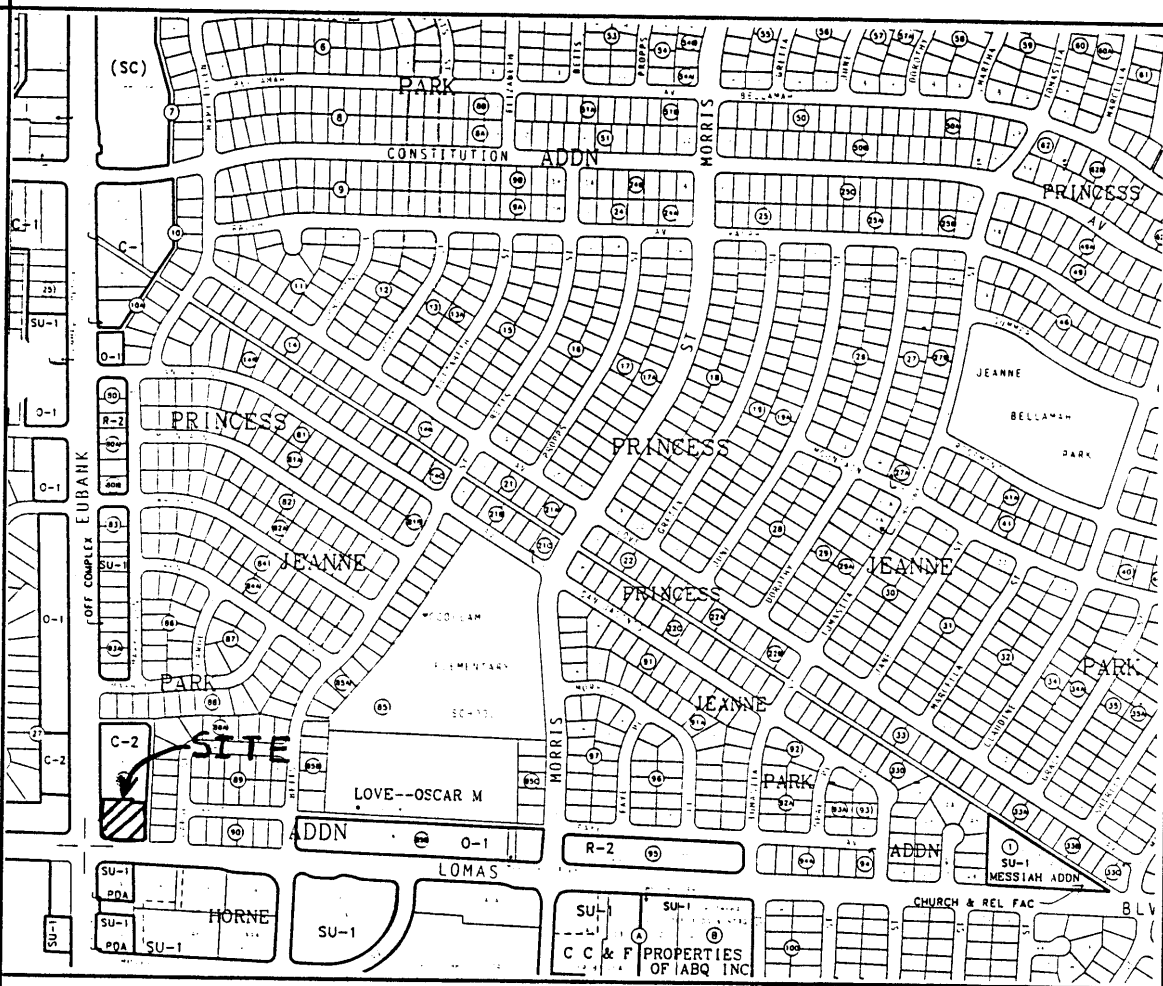
PROPOSED CONDITIONS

THE PROJECT ENTAILS CONSTRUCTION OF A 3000 SF FUELING AND CONVENIENCE STORE. THE AREA IN WHICH THE PROPOSED BUILDING IS LOCATED IS CURRENTLY PAVED. THEREFORE NO CHANGE IN PREVIOUS AREA WILL OCCUR. THE DEVELOPED STORM WATER IS PROPOSED TO EXIT BOTH DRIVEWAYS TO FLOW TOWARDS THE STORM INLETS.



NOTES

1. SEE ARCHITECTURAL PLANS FOR SITE DEMOLITION.
2. SITE DOES NOT LIE WITHIN 100 YEAR FLOOD PLAIN.
3. OFFSITE FLOWS DO NOT IMACT SITE.



VICINITY MAP

ZONE MAP: J-21

TBM (TEMPORARY BENCHMARK)

#5 REBAR W/C LS. 4078 AT SOUTHEAST PROPERTY CORNER
ELEV=5442.73.

ACS BENCHMARK

STATION MARK IS A STANDARD NMSHC BRASS TABLET STAMPED "STA. 1-40-3"
X=415,675.15, Y=1,485,440.00, Z=5452.804.

LEGAL DESCRIPTION

TRACT A-2, BLOCK 88-A OF PRINCESS JEANNE PARK CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO NOVEMBER, 1996.

LEGEND

	PROPOSED TOP CURB & FLOW LINE SPOT ELEVATION
	PROPOSED FLOW ARROW
	PROPERTY LINE
	PROPOSED CURB
	EXISTING CURB
	EXISTING CONTOUR
	EXISTING OVERHEAD ELECTRIC
	EXISTING TOP OF CURB
	EXISTING FLOW LINE
	EXISTING TOP OF ASPHALT
	EXISTING TOP OF CONC. PAD
	EXISTING TOP OF CONC. MEDIAN
	EXISTING TOP OF ASPHALT
	EXISTING TOE OF ASPHALT
	EXISTING BACK OF SIDE WALK
	EXISTING TOP OF ASPHALT SPEED BUMP
	EXISTING LIGHT POLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING TRAFFIC SIGNAL BOX
	EXISTING DROP INLET
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING TRAFFIC LIGHT POLE
	EXISTING CONCRETE

PHILLIPS 66

GRADING & DRAINAGE PLAN

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS & SURVEYORS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 345-2010

Designed: RMJ Drawn: WLW Checked: DMG
Scale: 1" = 20' Date: 12/96 Job: 96144 Sheet 1 of 1

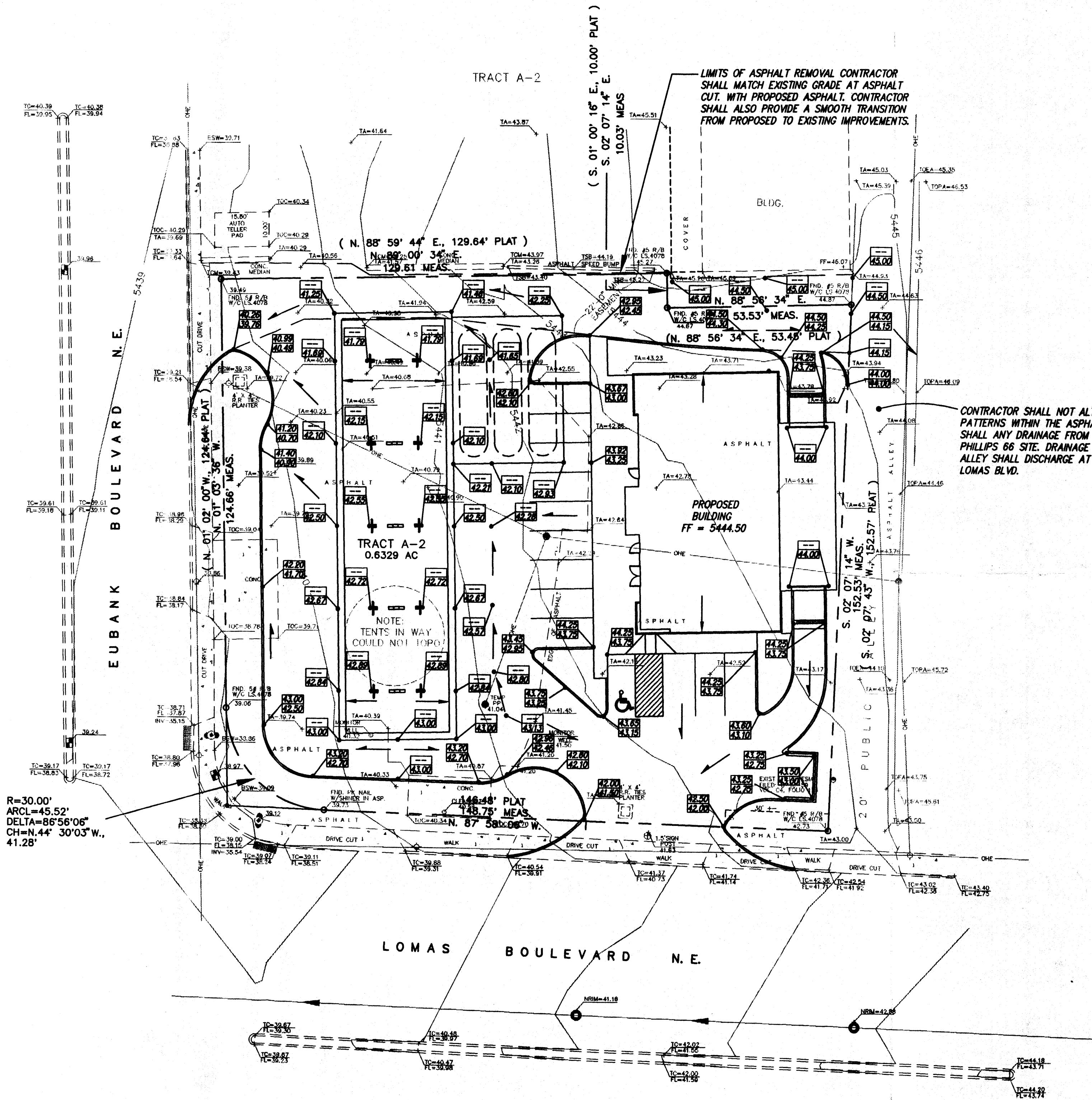
DRAINAGE MANAGEMENT PLAN

EXISTING CONDITIONS

THE SITE IS CURRENTLY A VACANT CORNER LOT. THE GROUND HAS BEEN PAVED MAKING THE ENTIRE PROPERTY IMPERVIOUS. EXISTING DRAINAGE PATTERNS HAVE THE DEVELOPED RUNOFF SHEET FLOW TO THE SOUTHWEST PROPERTY CORNER, CONTINUE OVER THE SIDEWALK AND FINALLY DISCHARGING INTO STORM INLETS ON LOMAS BLVD AND EUBANK BLVD SEE TOPOGRAPHICAL SURVEY THIS SHEET. MINIMAL STORM WATER GENERATED BY THIS PROPERTY, EXITS VIA THE DRIVEWAYS.

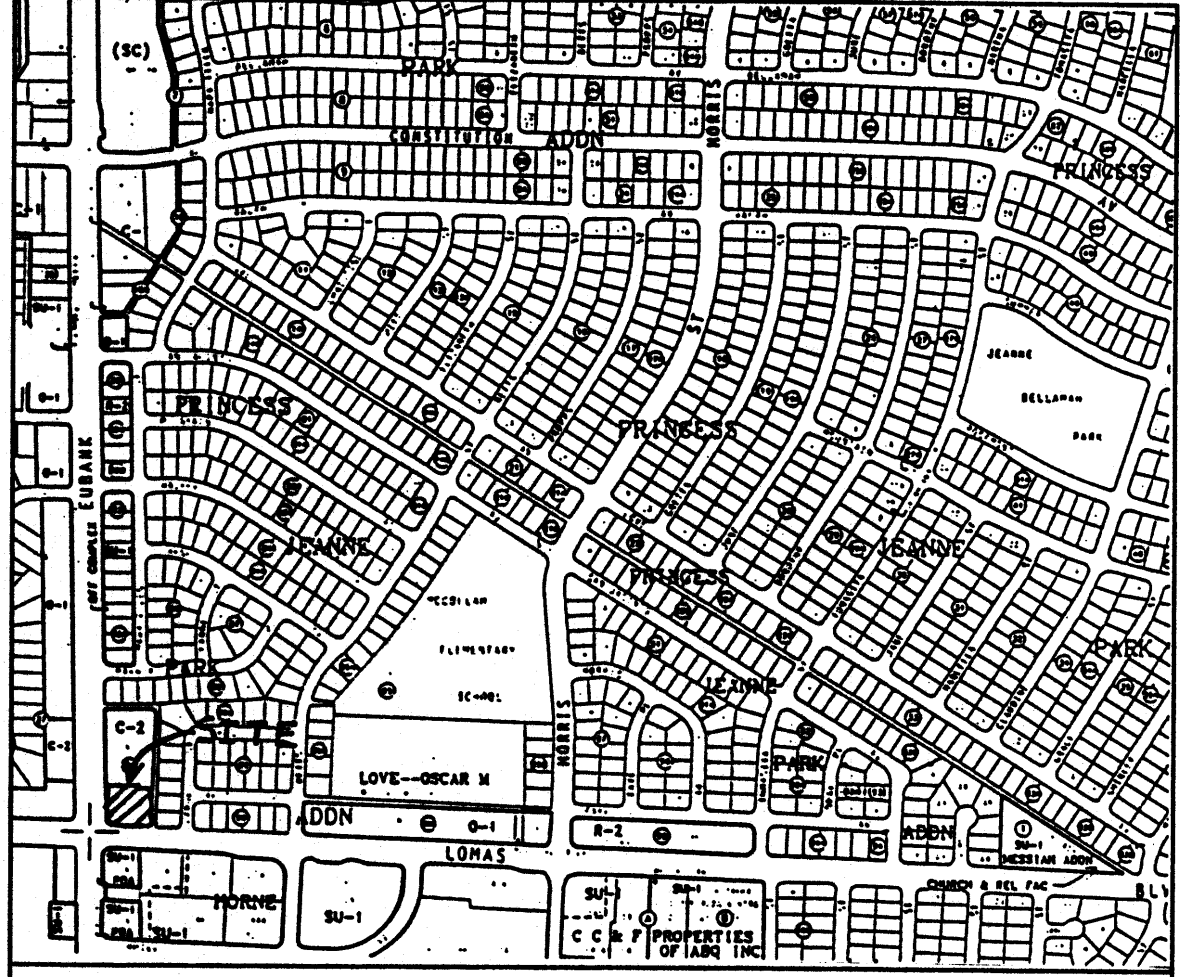
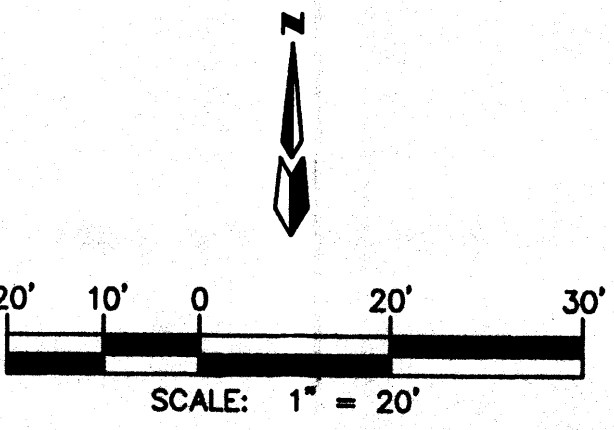
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2. SITE DOES NOT LIE WITHIN 100 YEAR FLOOD PLAIN.
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VICINITY MAP ZONE MAP: J-21

TBM (TEMPORARY BENCHMARK)

#5 REBAR W/C L.S. 4078 AT SOUTHEAST PROPERTY CORNER
ELEV.=5442.73.

ACS BENCHMARK

STATION MARK IS A STANDARD MMSHC BRASS TABLET STAMPED "STA. I-40-3"
X=415,675.15, Y=1,485,440.00, Z=5452.804.

LEGAL DESCRIPTION

TRACT A-2, BLOCK 88-A OF PRINCESS JEANNE PARK CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO NOVEMBER, 1996.

LEGEND

	PROPOSED TOP CURB & FLOW LINE SPOT ELEVATION
	PROPOSED FLOW ARROW
	PROPERTY LINE
	PROPOSED CURB
	EXISTING CURB
	EXISTING CONTOUR
	EXISTING OVERHEAD ELECTRIC
	EXISTING TOP OF CURB
	EXISTING FLOW LINE
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	EXISTING DROP INLET
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING TRAFFIC LIGHT POLE
	EXISTING CONCRETE
	ROOF DRAINS

PHILLIPS 66 EUBANK & LOMAS
GRADING & DRAINAGE PLAN

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS & SURVEYORS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 345-2010

Designed: RMJ	Drawn: MLV	Checked: DMG	Sheet 1 of 1
Scale: 1" = 20'	Date: 12/96	Job: 96144	

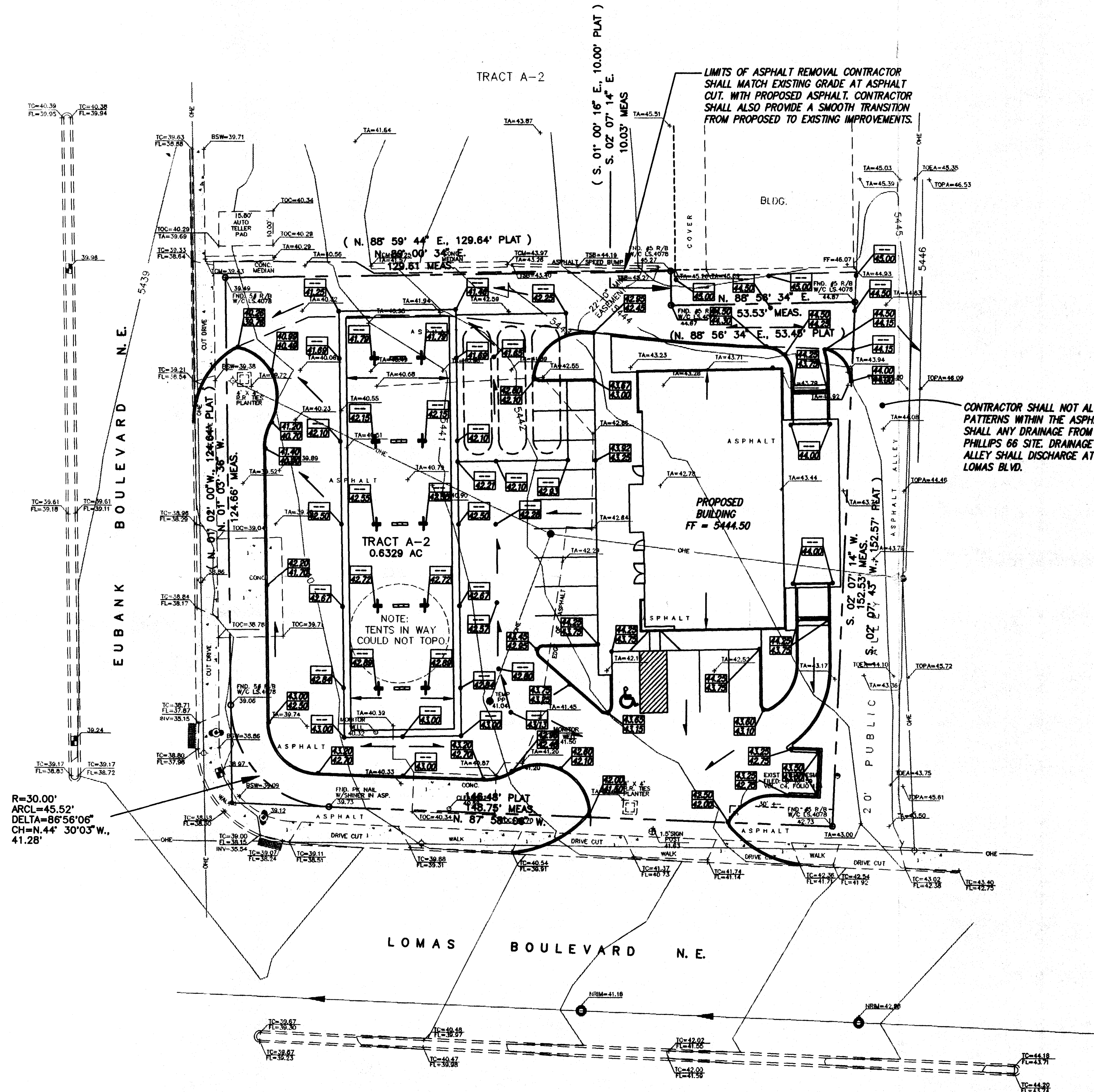
DRAINAGE MANAGEMENT PLAN

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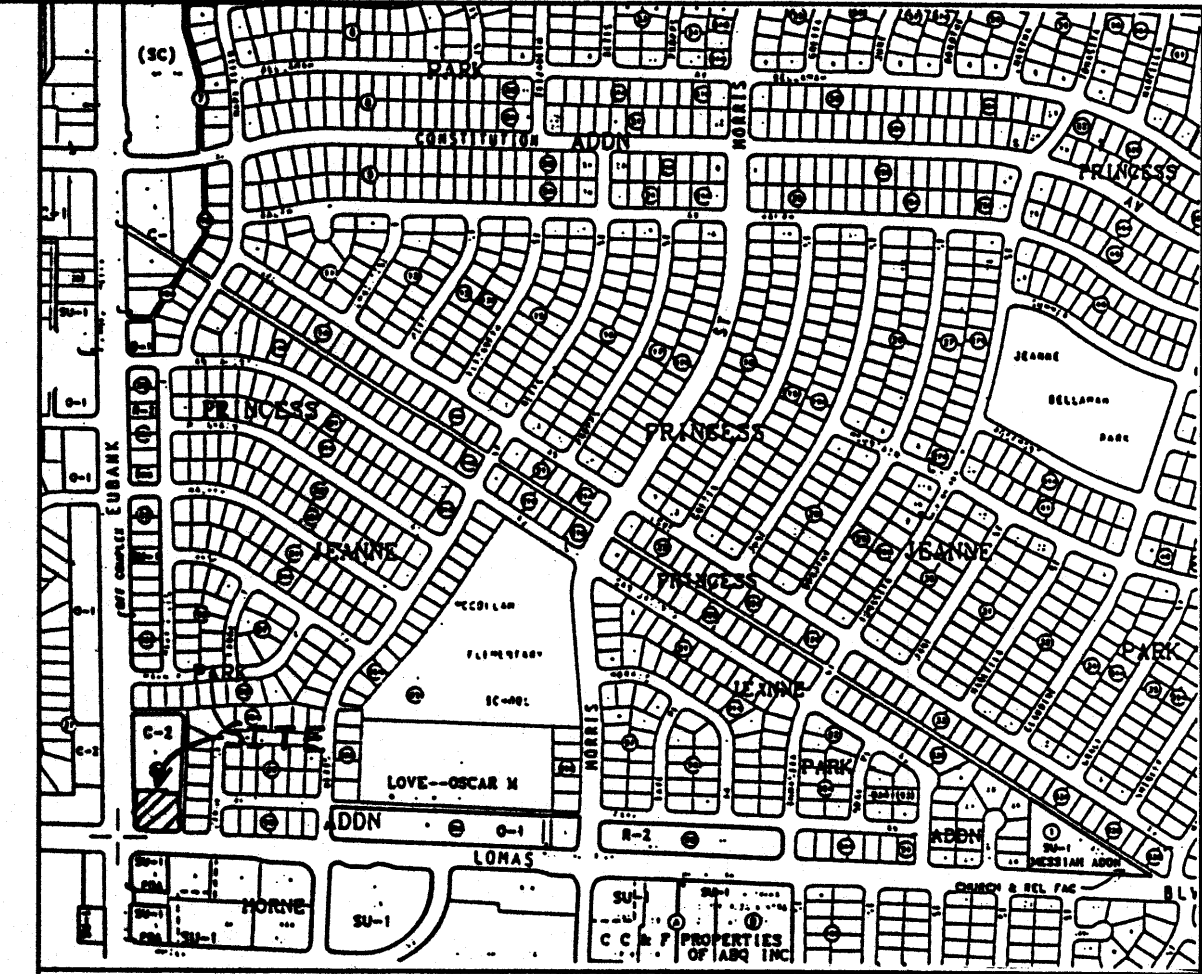
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VICINITY MAP

ZONE MAP: J-21

TBM (TEMPORARY BENCHMARK)

#5 REBAR W/C LS. 4078 AT SOUTHEAST PROPERTY CORNER
ELEV.=5442.73

ACS BENCHMARK

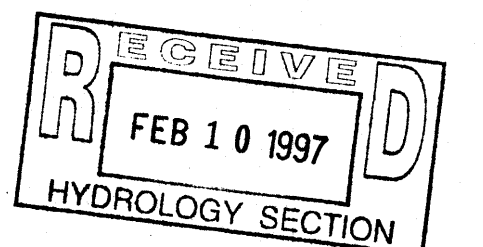
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	EXISTING TRAFFIC LIGHT POLE
	EXISTING CONCRETE
	ROOF DRAINS

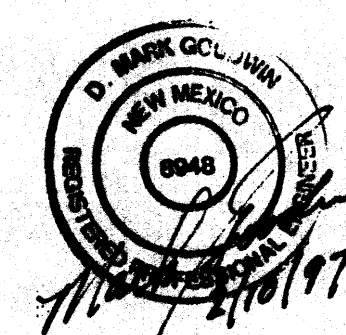
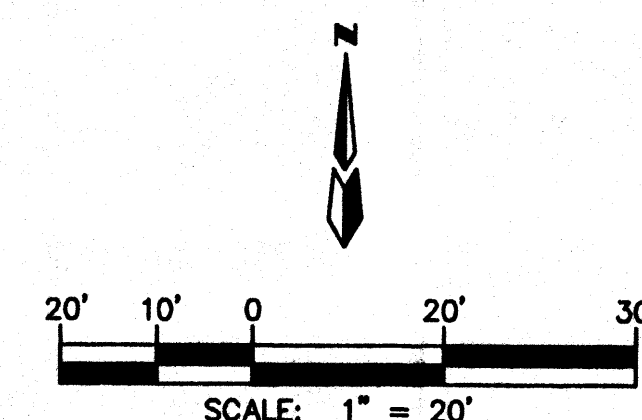


PHILLIPS 66 EUBANK & LOMAS

GRADING & DRAINAGE PLAN

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(505) 345-2010

Designed: RMJ	Drawn: WLJ	Checked: DMG	Sheet 1 of 1
Scale: 1" = 20'	Date: 12/96	Job: 96144	



6144PHL/PHLGD20/02-10-97

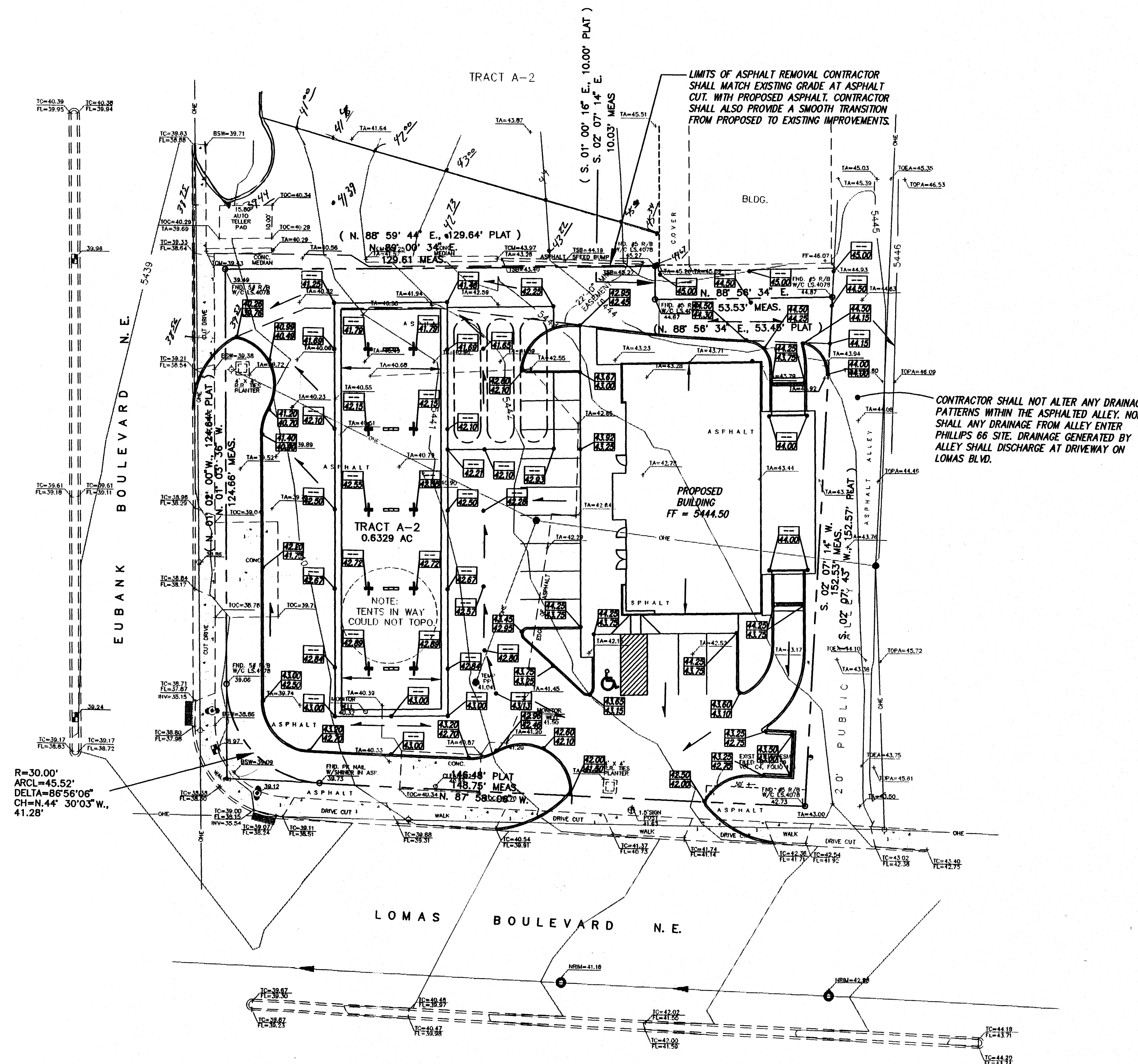
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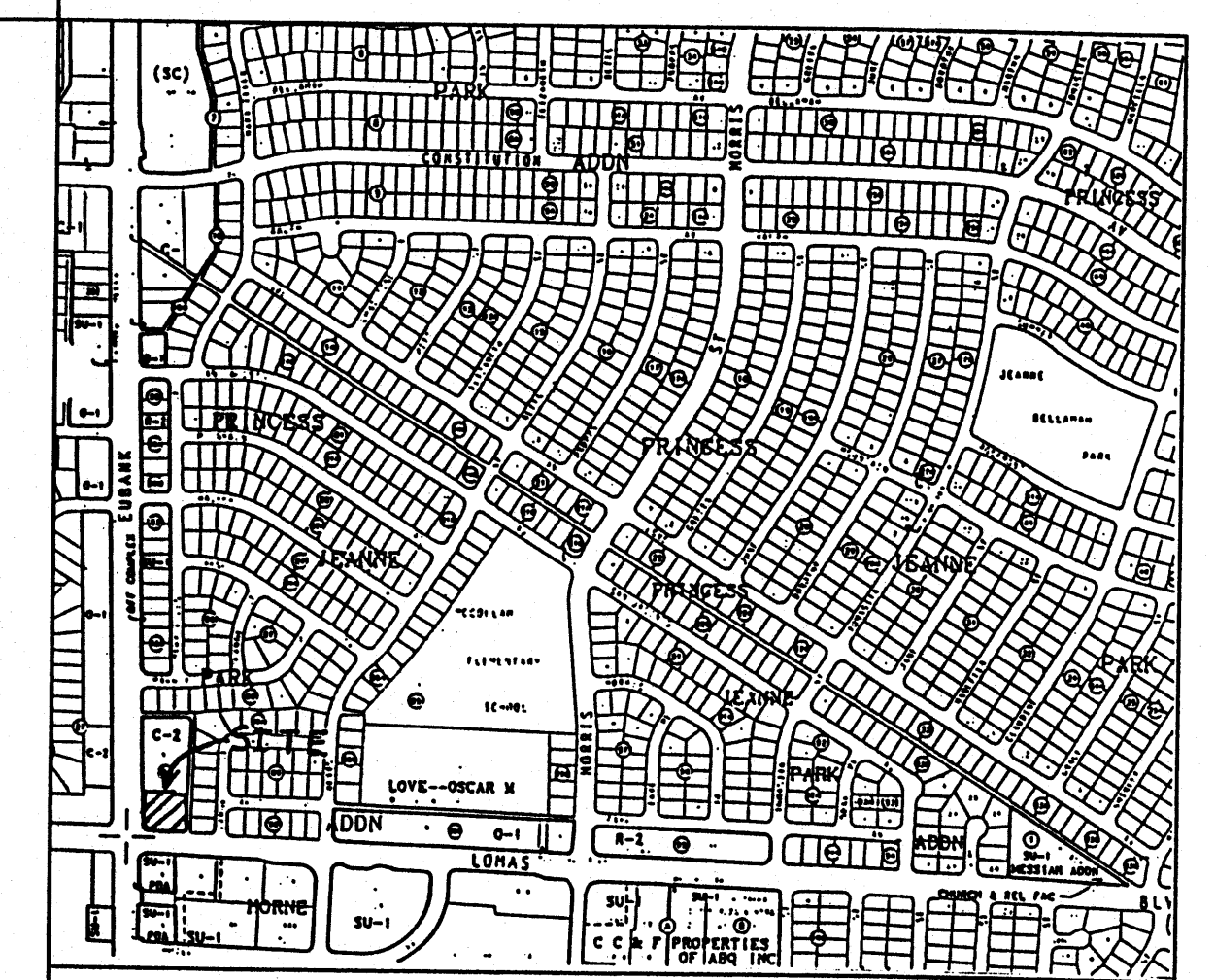
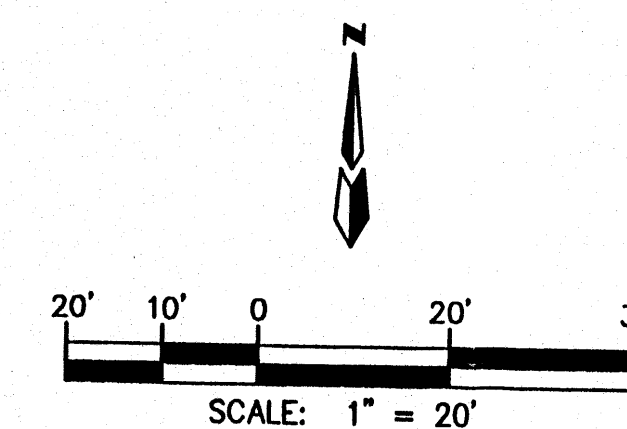
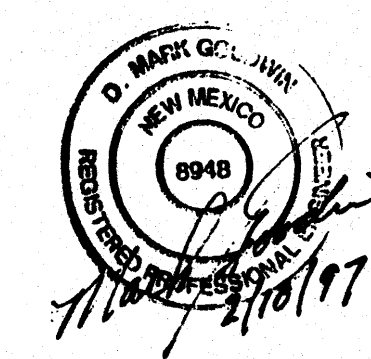
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VICINITY MAP

ZONE MAP: J-21

TBM (TEMPORARY BENCHMARK)

#5 REBAR W/C LS. 4078 AT SOUTHEAST PROPERTY CORNER
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BERNALILLO COUNTY, NEW MEXICO NOVEMBER, 1996.

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PHILLIPS 66 EUBANK & LOMAS

GRADING & DRAINAGE PLAN

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(505) 345-2010

Designed: RMJ	Drawn: WLW	Checked: DMG	Sheet 1 of 1
Scale: 1" = 20'	Date: 12/96	Job: 96144	

TRACT A-2
0.6329 AC

EUBANK BOULEVARD N.E.
(N. 01° 02' 00" W., 124.64' PLAT)
(N. 01° 03' 35" W., 124.66' MEAS.)

TRACT A-2
(N. 88° 59' 44" E., 129.64' PLAT)
N. 89° 00' 34" E.
129.61 MEAS.

TRACT A-2
(S. 01° 00' 16" E., 10.00' PLAT)
(S. 01° 07' 14" E., 10.03' MEAS.)

TRACT A-2
(N. 88° 56' 34" E., 53.45' PLAT)
N. 88° 56' 34" E.
53.53' MEAS.

TRACT A-2
(S. 02° 07' 14" W., 152.53' MEAS.)
(S. 02° 07' 43" W., 152.57' PLAT)

LOMAS BOULEVARD N.E.

20' PUBLIC ALLEY

COVER
CONC PAD FOR GAS PUMPS
CONC PAD OF GAS TANKS
BUILDING
CAR WASH
DUMP PAD AREA
CLEANING 146.48' PLAT
146.75' MEAS.
N. 87° 58' 06" W.

DRIVE CUT
WALK
DRIVE CUT
WALK
DRIVE CUT
WALK
DRIVE CUT

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RECEIVED
JUL 17 1997

- 1: ADD 5400 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
- 2: ELEVATIONS SHOWN HEREON ARE BASED ON THE CITY OF ALBUQUERQUE STATION
NM 12-121 ELEVATION 5438.515.
- 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED
ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT
INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER
INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR
EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CON-
SIDERATIONS.
- 4: THIS IS NOT A BOUNDARY SURVEY. BEARING AND DISTANCES ARE SHOWN ARE FOR
REFERENCE ONLY.
- 5: SEE CITY OF ALBUQUERQUE AS-BUILT MAP FOR WATERLINE LOCATIONS.

-  = CONCRETE CURBING
- TC = TOP OF CURB AND GUTTER
- TA = TOP OF ASPHALT
- CP = TOP OF CONC. PAD
- BC= TOP OF CONC CURB HEADER
- NG = NATURAL GROUND
-  = LIGHT POLE
-  = SANITARY SEWER MANHOLE
-  = TRAFFIC SIGNAL BOX
-  = DROP INLET
-  = WATER METER
-  = POWER POLE
-  = TRAFFIC LIGHT POLE
-  = CONC
-  = OVERHEAD ELECTRIC W/POWER POLE

ANTHONY L. HARRIS, N.M.P.L. # 11463

H-E-S HARRIS SURVEYING, INC.
2412-D MONROE STREET N.E.
ALBUQUERQUE, NEW MEXICO 87110
PHONE: (505) 889-8056
FAX: (505) 889-8645

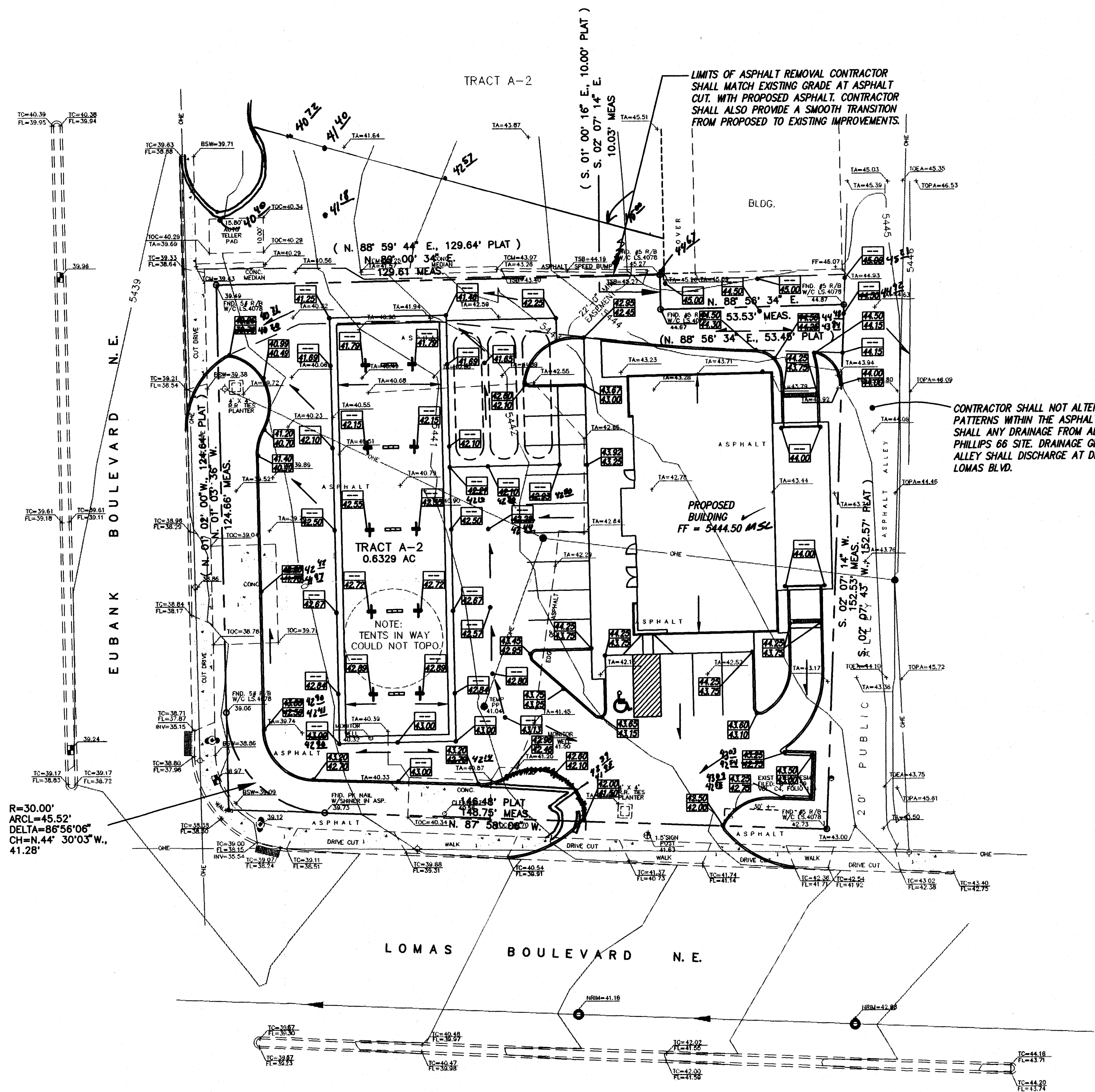
DRAINAGE MANAGEMENT PLAN

EXISTING CONDITIONS

THE SITE IS CURRENTLY A VACANT CORNER LOT. THE GROUND HAS BEEN PAVED MAKING THE ENTIRE PROPERTY IMPERVIOUS. EXISTING DRAINAGE PATTERNS HAVE THE DEVELOPED RUNOFF SHEET FLOW TO THE SOUTHWEST PROPERTY CORNER. CONTINUE OVER THE SIDEWALK AND FINALLY DISCHARGING INTO STORM INLETS ON LOMAS BLVD AND EUBANK BLVD SEE TOPOGRAPHICAL SURVEY THIS SHEET. MINIMAL STORM WATER GENERATED BY THIS PROPERTY, EXITS VIA THE DRIVEWAYS.

PROPOSED CONDITIONS

THE PROJECT ENTAILS CONSTRUCTION OF A 3000 sf FUELING AND CONVENIENCE STORE. THE AREA IN WHICH THE PROPOSED BUILDING IS LOCATED IS CURRENTLY PAVED. THEREFORE NO CHANGE IN PREVIOUS AREA WILL OCCUR. THE DEVELOPED STORM WATER IS PROPOSED TO EXIT BOTH DRIVEWAYS TO FLOW TOWARDS THE STORM INLETS.



CONTRACTOR SHALL NOT ALTER ANY DRAINAGE PATTERNS WITHIN THE ASPHALTED ALLEY, NOR SHALL ANY DRAINAGE FROM ALLEY ENTER PHILLIPS 66 SITE. DRAINAGE GENERATED BY ALLEY SHALL DISCHARGE AT DRIVEWAY ON LOMAS BLVD.

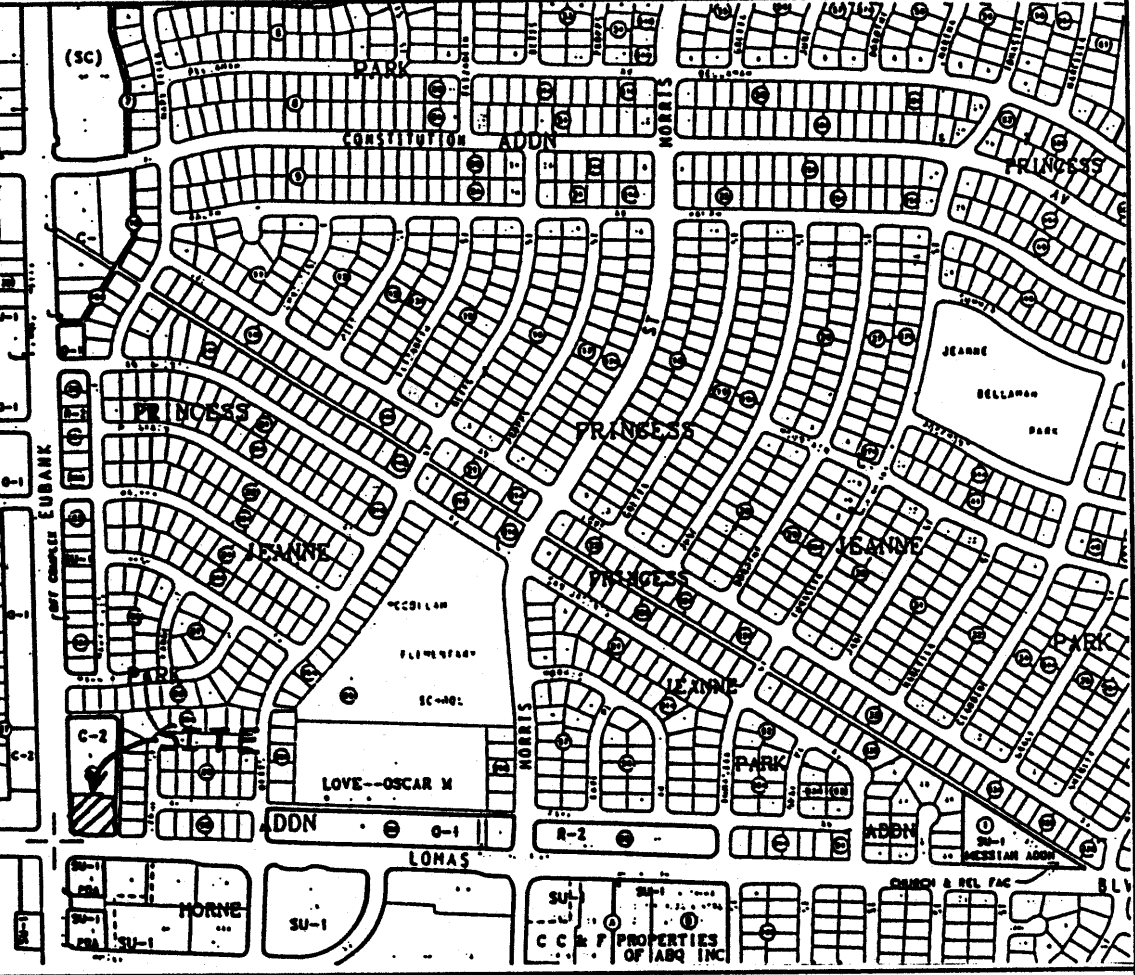
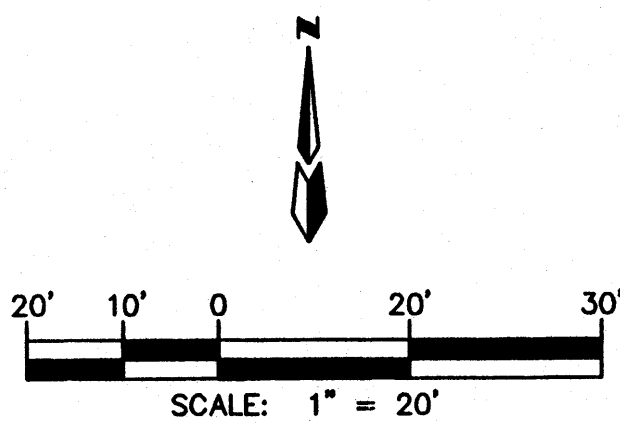
NOTES

1. SEE ARCHITECTURAL PLANS FOR SITE DEMOLITION.
2. SITE DOES NOT LIE WITHIN 100 YEAR FLOOD PLAIN.
3. OFFSITE FLOWS DO NOT IMPACT SITE.

RECORD DRAWING

I hereby certify that the information contained on this drawing has been revised in accordance with information furnished by the contractor, Fluor Daniels, and by the surveyor, Harris Surveying, and reflects the construction as actually accomplished. This plan as constructed is in substantial compliance with the Approved Plan.

Mark Goodwin 7/22/97
Mark Goodwin NMPE 8948



VICINITY MAP ZONE MAP: J-21

TBM (TEMPORARY BENCHMARK)

#5 REBAR W/C L.S. 4078 AT SOUTHEAST PROPERTY CORNER
ELEV.=5442.73

ACS BENCHMARK

STATION MARK IS A STANDARD NMSPC BRASS TABLET STAMPED "STA. 1-40-3"
X=413,673.15, Y=1,483,440.00, Z=5452.804.

LEGAL DESCRIPTION

TRACT A-2, BLOCK 88-A OF PRINCESS JEANNE PARK CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO NOVEMBER, 1996.

LEGEND

	PROPOSED FLOW ARROW
	PROPERTY LINE
	PROPOSED CURB
	EXISTING CURB
	EXISTING CONTOUR
	EXISTING OVERHEAD ELECTRIC
	EXISTING TOP OF CURB
	EXISTING FLOW LINE
	EXISTING TOP OF ASPHALT
	EXISTING TOP OF CONC. PAD
	EXISTING TOP OF CONC. MEDIAN
	EXISTING TOP OF ASPHALT
	EXISTING TOE OF ASPHALT
	EXISTING BACK OF SIDE WALK
	EXISTING TOP OF ASPHALT SPEED BUMP
	EXISTING LIGHT POLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING TRAFFIC SIGNAL BOX
	EXISTING DROP INLET
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING TRAFFIC LIGHT POLE
	EXISTING CONCRETE
	ROOF DRAINS

PHILLIPS 66 EUBANK & LOMAS

GRADING & DRAINAGE PLAN

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS & SURVEYORS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 345-2010

Designed: RMJ	Drawn: WLW	Checked: DMG	Sheet 1 of 1
Scale: 1" = 20'	Date: 12/96	Job: 96144	

6144PHL/PHLGD20/02-10-97