

EROSION CONTROL MEASURES.

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF TO LEAVE THE SITE AND ENTERING ADJACENT PROPERTY.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

NOTE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
2. All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Interim Standard Specification for Public Works Construction 1985.
3. Two working days prior to any excavation, contractor must contact line locating Services at (505) 260-1990 for locating existing utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all construction. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to residential use.
6. All work on this project shall be performed in accordance with applicable Federal, State and local laws, rules and regulations concerning construction safety and health.

DRAINAGE CALCULATIONS.

1. REFERENCES:

- A. SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, NEW MEXICO IN COOPERATION WITH BERNALILLO COUNTY, NEW MEXICO AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY.
- B. FLOODWAY, FLOOD BOUNDARY AND FLOODWAY MAP, CITY OF ALBUQUERQUE, NEW MEXICO, PANEL 31 OF 50.
- C. ZONE ATLAS PAGE J-21-Z.

II. GENERAL INFORMATION:

- A. SITE LIES IN ZONE THREE(3) (SEE REF. A, PAGE A-1)
- B. 100 YEAR, 6 HOUR RAINFALL CRITERIA
- C. TIME OF CONCENTRATION, Tc: Tc = 0.2 hr (12 MINUTES).

III. IMPERVIOUSNESS:

TREATMENT	TYPES OF SURFACES	EXISTING SQ. FT.	ACRES	PROPOSED SQ. FT.	ACRES
A	UNDEVELOPED	0	0.0000	0	0.0000
B	LANDSCAPING	0	0.0000	3,557	0.0817
C	COMPACTED/VACANT	0	0.0000	0	0.0000
D	IMPERVIOUS	23,714	0.5444	20,157	0.4627
	TOTAL AREA (TA)	23,714	0.5444	23,714	0.5444

IV. PEAK DISCHARGE 100 YEAR (REF. A, TABLE A-8):

TREATMENT	TYPES OF SURFACES	EXISTING CFS/AC	Qp(100)	PROPOSED CFS/AC	Qp(100)
A	UNDEVELOPED	1.87	0.00	1.87	0.00
B	LANDSCAPING	2.60	0.00	2.60	0.21
C	COMPACTED/VACANT	3.45	0.00	3.45	0.00
D	IMPERVIOUS	5.02	2.73	5.02	2.32
	PEAK DISCHARGE FROM SITE		2.73 CFS		2.54 CFS

V. PEAK DISCHARGE 10 YEAR (REF. A, TABLE A-8):

TREATMENT	TYPES OF SURFACES	EXISTING CFS/AC	Qp(10)	PROPOSED CFS/AC	Qp(10)
A	UNDEVELOPED	0.58	0.00	0.58	0.00
B	LANDSCAPING	1.19	0.00	1.19	0.10
C	COMPACTED/VACANT	2.00	0.00	2.00	0.00
D	IMPERVIOUS	3.39	1.85	3.39	1.57
	PEAK DISCHARGE FROM SITE		1.85 CFS		1.67 CFS

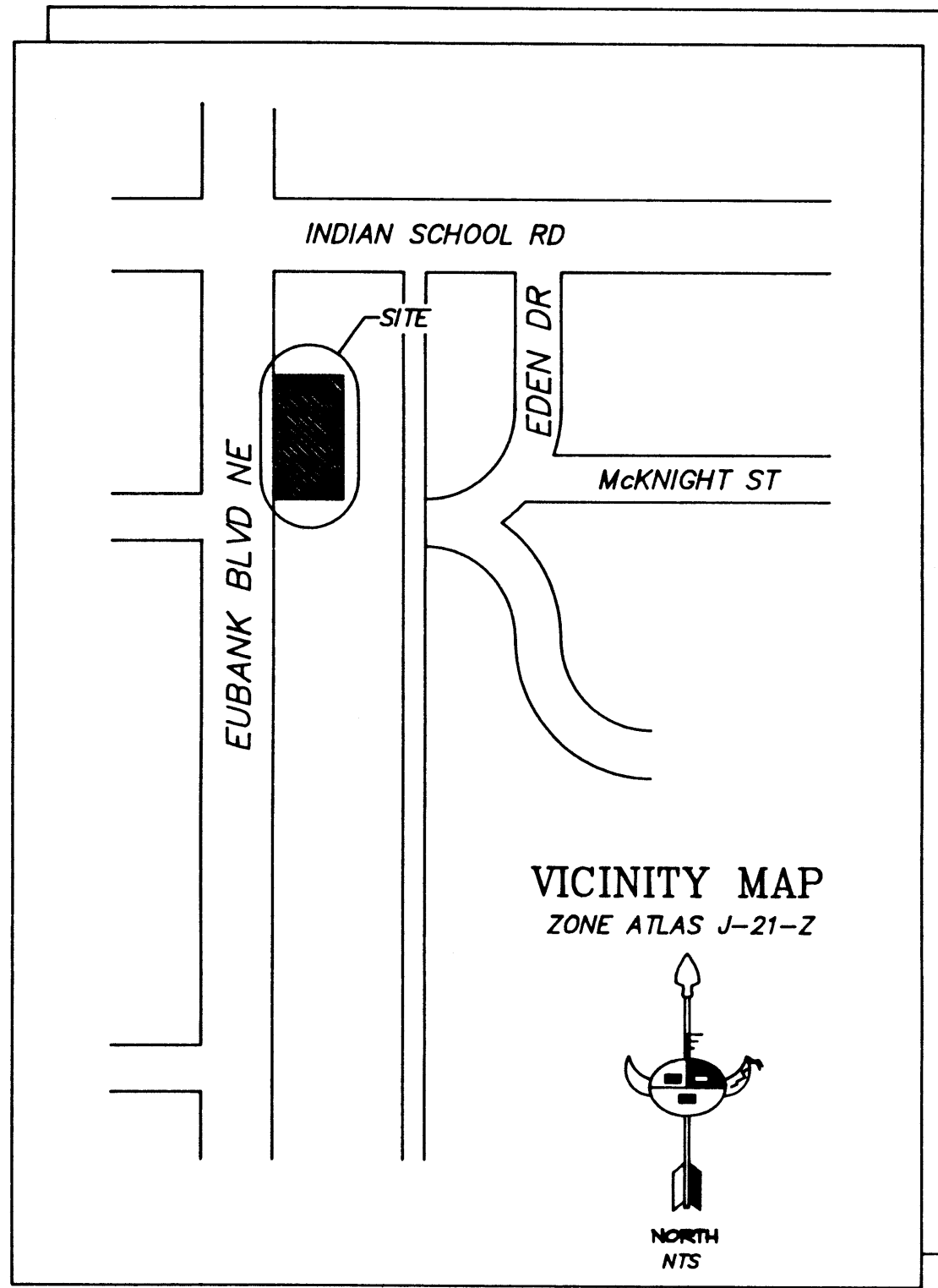
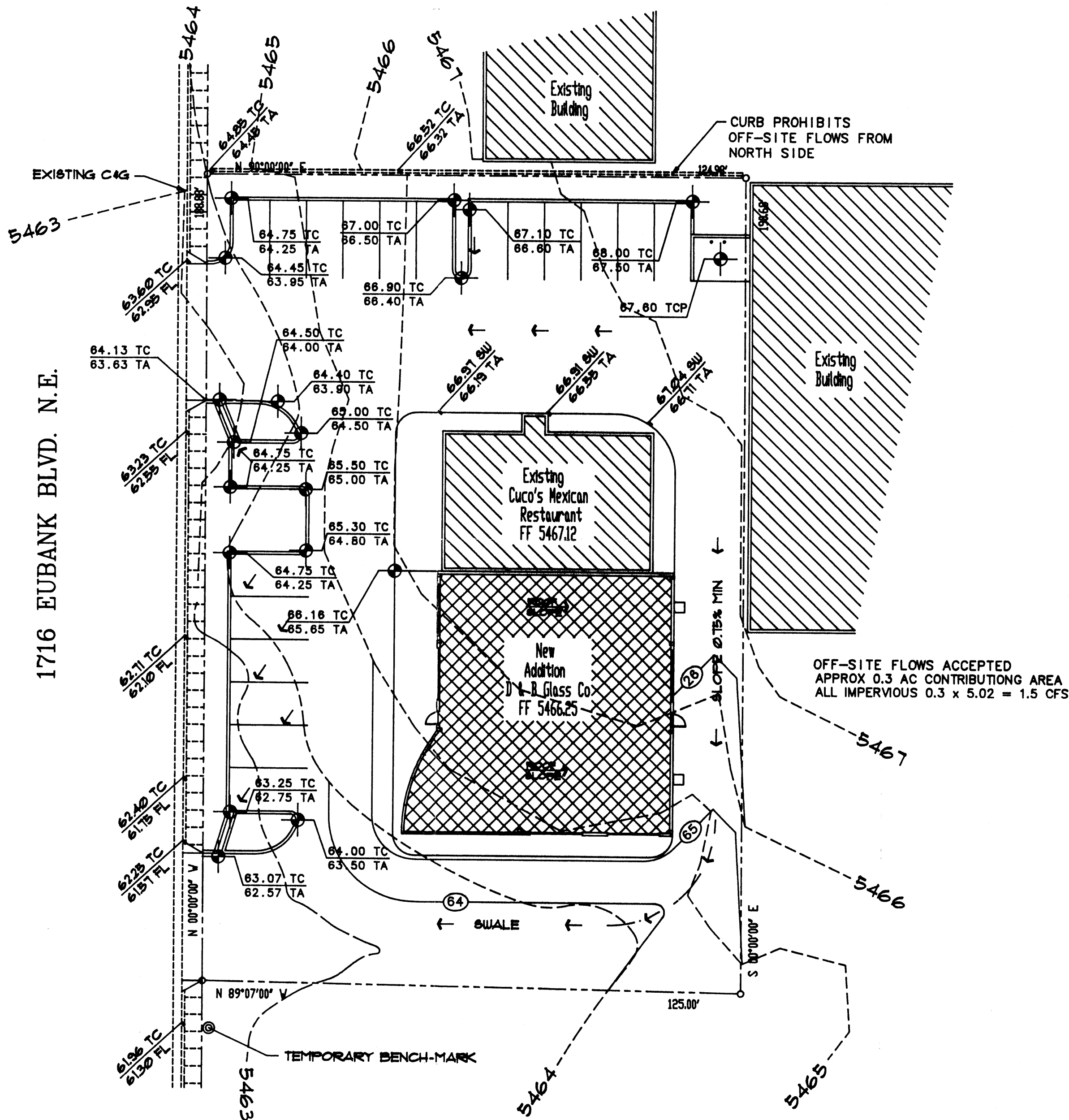
VI. WEIGHTED "E" 100 YEAR, 6 HR. (REF. A, TABLE A-8):

TREATMENT	TYPES OF SURFACES	EXISTING E	EXA/TA	PROPOSED E	EXA/TA
A	UNDEVELOPED	0.66	0.00	0.66	0.00
B	LANDSCAPING	0.92	0.00	0.92	0.14
C	COMPACTED/VACANT	1.29	0.00	1.29	0.00
D	IMPERVIOUS	2.36	2.36	2.36	2.01
	WEIGHTED "E" FACTOR		2.36 IN		2.14 IN

VII. VOLUME 100 YEAR, V(360) (REF. A, TABLE A-8):

EXISTING $2.36 \times 0.5444/12 = 0.1071$ AC. FT.
= 4,664 CU. FT.

PROPOSED $2.14 \times 0.5444/12 = 0.0973$ AC. FT.
= 4,237 CU. FT.



LEGAL DESCRIPTION

A certain tract of land situate within the Northwest quadrant (NW/4) - Northwest(NW/4) - Northwest quarter (NW/4) of Section 16, Township 10, Range 4 East, NMPM Albuquerque, Bernalillo, New Mexico.

BENCH-MARK INFORMATION

TEMPORARY BENCH-MARK BEING SQUARE CHISELED ON THE TOP OF LIGHT STANDARD CONCRETE PAD BEARING ELEVATION 5462.29. REFERENCE TO CITY BENCH-MARK 10-J21 BEARING ELEVATION 5466.32 MSL.

NOTE:

LEGAL DESCRIPTION, BENCHMARK AND TOPOGRAPHIC SURVEY PROVIDED BY SOUTHWEST SURVEYING CO. INC SURVEY SEALED AND DATED JUNE 6, 1997

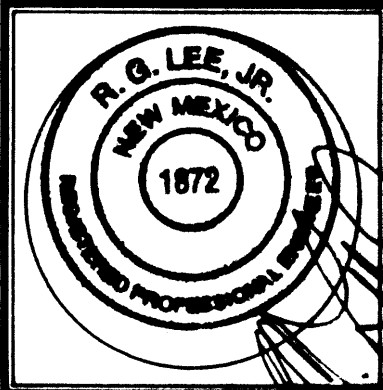
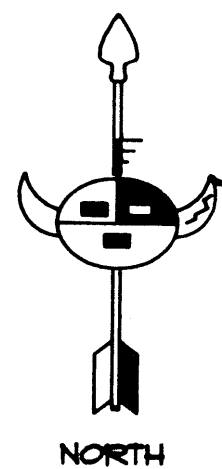
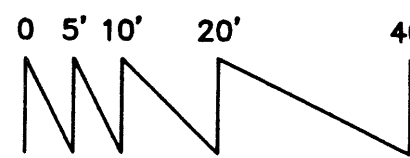
SYMBOL LEGEND

EXISTING CONTOUR	---
EXISTING CONTOUR	---
DESIGNED SPOT ELEVATION	27.50 TC 27.00 TA
PROPERTY LINE	---
EASEMENT LINE	---
FLOW DIRECTION	---
EXISTING SPOT ELEVATION	---
DOWN SPOUT	□

ABBREVIATION LEGEND

TOP OF SIDEWALK	---
TOP OF CURB	---
TOP OF ASPHALT	---
FLOWLINE	---
TOP OF CONCRETE PAD	---

GRADING & DRAINAGE PLAN SCALE: 1"=20.0'



JOB NO. 4724
DATE: 1 JULY 1997
REVISIONS

Sheet Title
GRADING AND DRAINAGE PLAN
Drawn By: H. Hood
Checked By:

HOOD & COMPANY
DEVELOPMENT CONSULTANTS - GENERAL CONTRACTING
536 TOWNHILL ST. NE • ALBUQUERQUE, NM • 87103 • 505-263-5370

Project Name
**D&B GLASS CO. ADDITION
1716 EUBANK BLVD NE
ALBUQUERQUE, NEW MEXICO**

SHEET NO.
2

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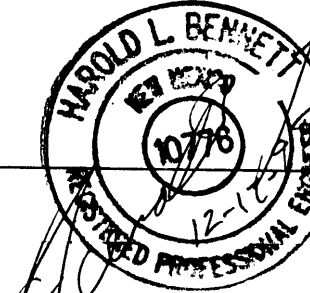
DRAINAGE CERTIFICATION FOR D&B GLASS CO. ADDITION @ 1716 EUBANK NE

AS INDICATED BY THE AS-BUILT INFORMATION SHOWN HEREON, THE D&B GLASS CO. ADDITION @ 1716 EUBANK BLVD. NE HAS BEEN GRADED AND DRAINED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN DATED 7/2/97 WITH THE FOLLOWING DEVIATIONS:

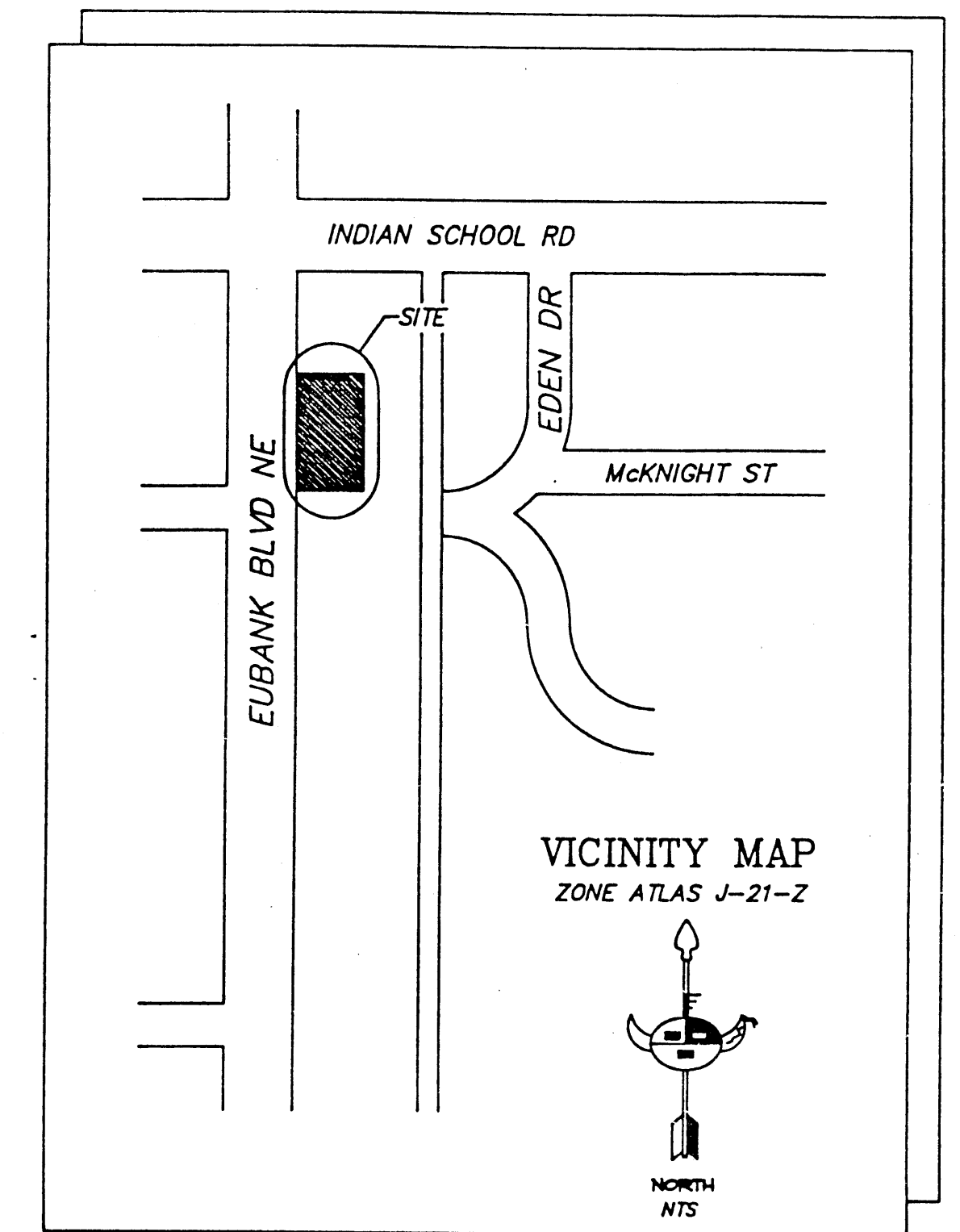
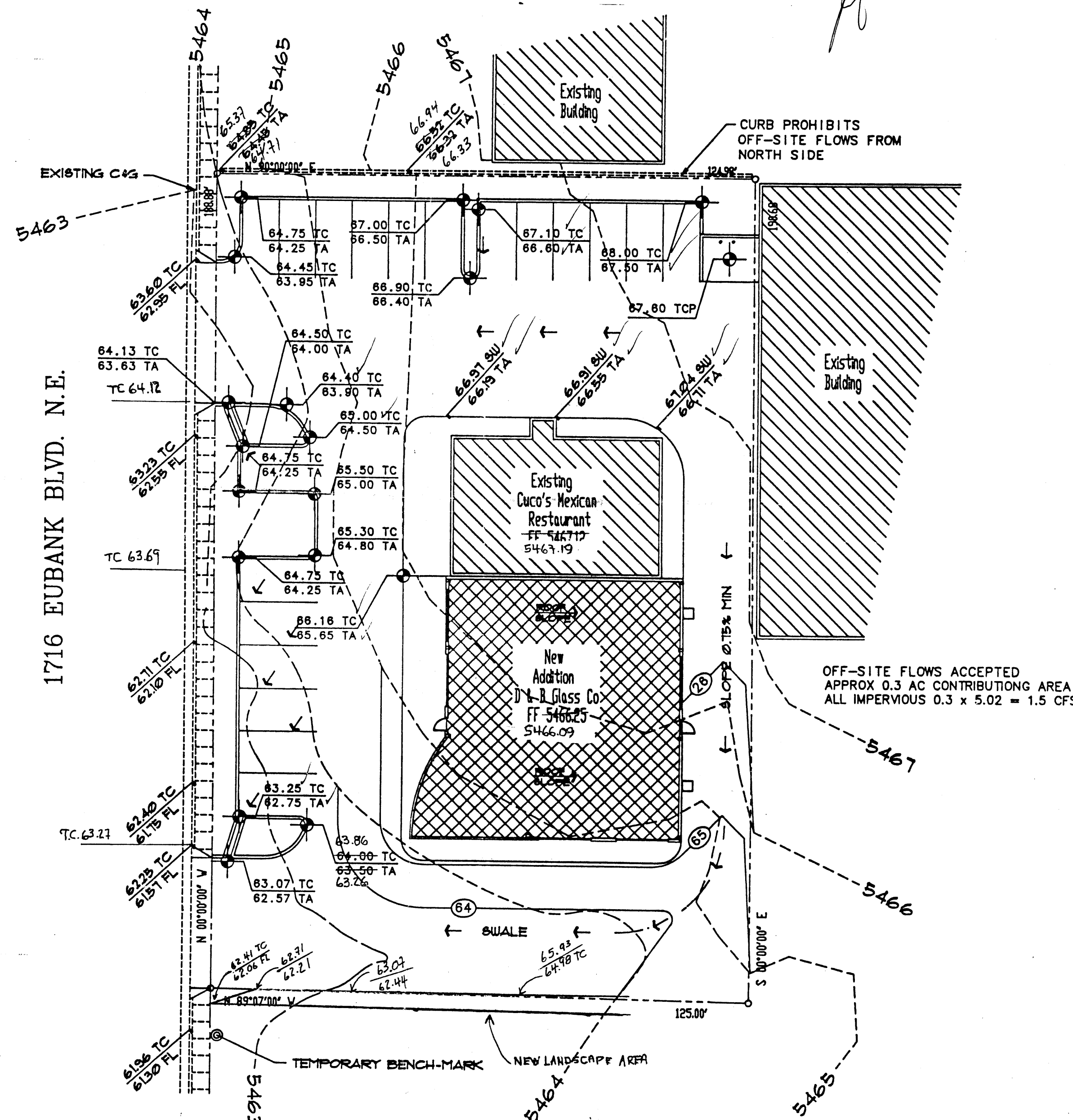
1. A 6" LANDSCAPE CURB WAS INSTALLED AT THE SOUTH PROPERTY LINE AS INDICATED ON THE APPROVED SITE PLAN AND AS-BUILT DRAINAGE PLAN.

THIS DEVIATION DOES NOT IMPACT THE DRAINAGE CONCEPT IN ANY WAY. THE SITE DRAINAGE WILL FUNCTION IN ACCORDANCE WITH THE PATTERNS ESTABLISHED BY THE APPROVED PLAN. THEREFORE A PERMANENT CERTIFICATE OF OCCUPANCY IS HEREBY RECOMMENDED. THE AS-BUILT INFORMATION SHOWN HEREON WAS OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

HAROLD L. BENNETT, NMPE # 10776



DATE 12-7-97



LEGAL DESCRIPTION

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NOTE:

LEGAL DESCRIPTION, BENCHMARK AND TOPOGRAPHIC SURVEY PROVIDED BY SOUTHWEST SURVEYING CO. INC SURVEY SEALED AND DATED JUNE 6, 1997

SYMBOL LEGEND

EXISTING CONTOUR	---	5102
EXISTING CONTOUR	---	27.50 TC
DESIGNED SPOT ELEVATION	---	27.00 TA
PROPERTY LINE	---	
EASEMENT LINE	---	
FLOW DIRECTION	---	
EXISTING SPOT ELEVATION	---	27.48
DOWN SPOUT	---	27.50 TC
AS-BUILT	---	27.00 TA
	---	27.98

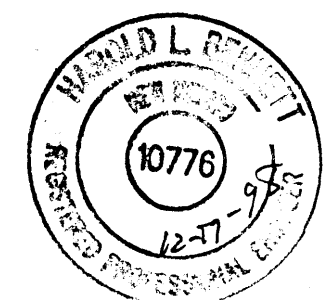
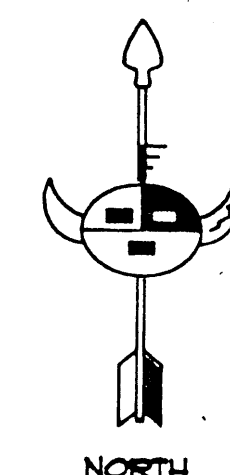
ABBREVIATION LEGEND

TOP OF SIDEWALK	-	TSW
TOP OF CURB	-	TC
TOP OF ASPHALT	-	TA
FLOWLINE	-	FL
TOP OF CONCRETE PAD	-	TCP

GRADING & DRAINAGE PLAN

SCALE: 1"=20.0'

0' 5' 10' 20' 40'



RECEIVED
DEC 17 1998
HYDROLOGY SECTION