



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 21, 2002

Levi J. Valdez, PE
Development Consultant
12800 San Juan, NE
Albuquerque, NM 87123

**Re: Heights Hair Styling Revised Grading and Drainage Plan
Engineer's Stamp Dated 3-15-02, (J21/D41)**

Dear Mr. Valdez,

Based on the information contained in your submittal dated 3-20-02, the above referenced plan is not approved for Building Permit until the following comments are addressed:

- If you are accepting offsite flows from the public alley, please quantify the flow coming down the alley and the flow that is entering the private property.
- If you decide to block historical flows from the property, it will be your responsibility to direct the runoff along the alley exiting out to Eubank. Otherwise, a public drainage easement for accepting offsite flows across private property will be required.
- Is the entire alley paved?
- What is the purpose of the existing asphalt berm in the public alley?

If you have any questions, you can contact me at 924-3982.

Sincerely,

Carlos A. Montoya, PE
City Floodplain Administrator, PWD
Development and Building Services

c: Terri Martin, Hydrology
File (2)

DRAINAGE INFORMATION SHEET

HEIGHTS HAIR STYLING (REVISED PLAN)

APPLICANT'S NAME: TIM CHAVEZ

ZONE ATLAS/DRNG. FILE #: J-21-2/D41

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 13-B-1, BLOCK 10-A, DALE J. BELLAMAH'S PRINCESS JEANNE RA

CITY ADDRESS: 1216 EUBANK BLVD. N.E., ALBUQUERQUE, NEW MEXICO 87112

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: MR. VALDEZ
GEORGE T. RODRIGUEZ MR. RODRIGUEZ

ADDRESS: 12800 SAN JUAN, N.E. 87123 PHONE: 294-0320

OWNER: TIM CHAVEZ CONTACT: MR. CHAVEZ

ADDRESS: 1218 EUBANK N.E. 87112 PHONE: 298-5672

ARCHITECT: IRA WHITE-4 HILLS DESIGNERS CONTACT: MR. WHITE

ADDRESS: 1605 SOPLO RD. S.E. 87123 PHONE: 294-1296

SURVEYOR: ENGINEER CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: PEREA CONSTRUCTION LLC CONTACT: TONY PEREA

ADDRESS: P.O. BOX 10096 PHONE: 898-5166
ALBUQUERQUE, N.M. 87184

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

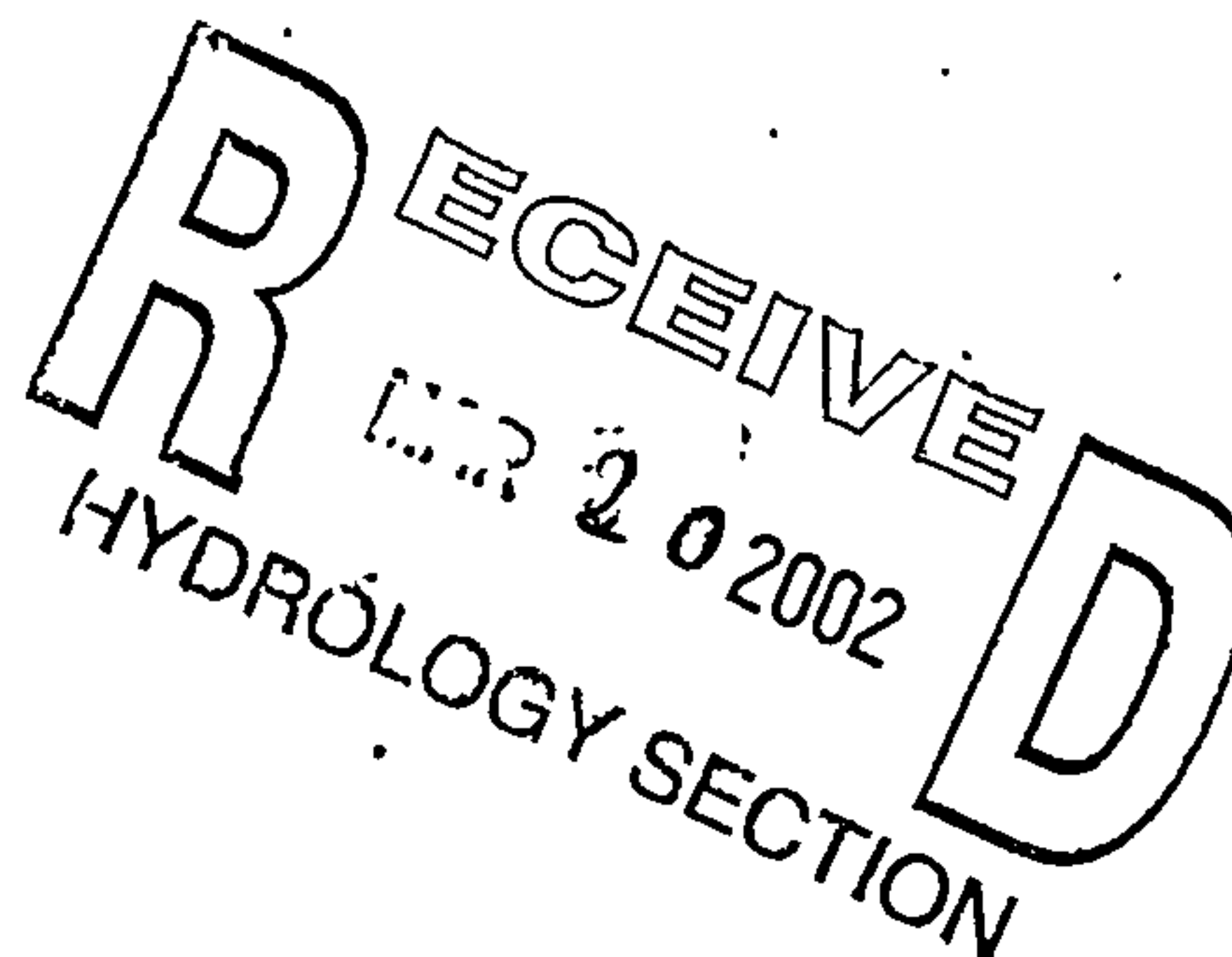
- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 03-15-02

BY: GEORGE T. RODRIGUEZ





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 28, 2001

Levi J. Valdez, P.E.
George T. Rodriguez Development Consultant
12800 San Juan NE
Albuquerque, NM 87123

**RE: TIM CHAVEZ HAIRDRESSING SALON (J21-D41). GRADING AND DRAINAGE
PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED
FEBRUARY 9, 2001.**

Dear Mr. Valdez:

Based on the information provided on your March 6, 2001 submittal, the above referenced project is approved for Building Permit. Note that a corner of the proposed thrash unit encroaches on the alley. It also crosses the existing asphalt berm in the alley.

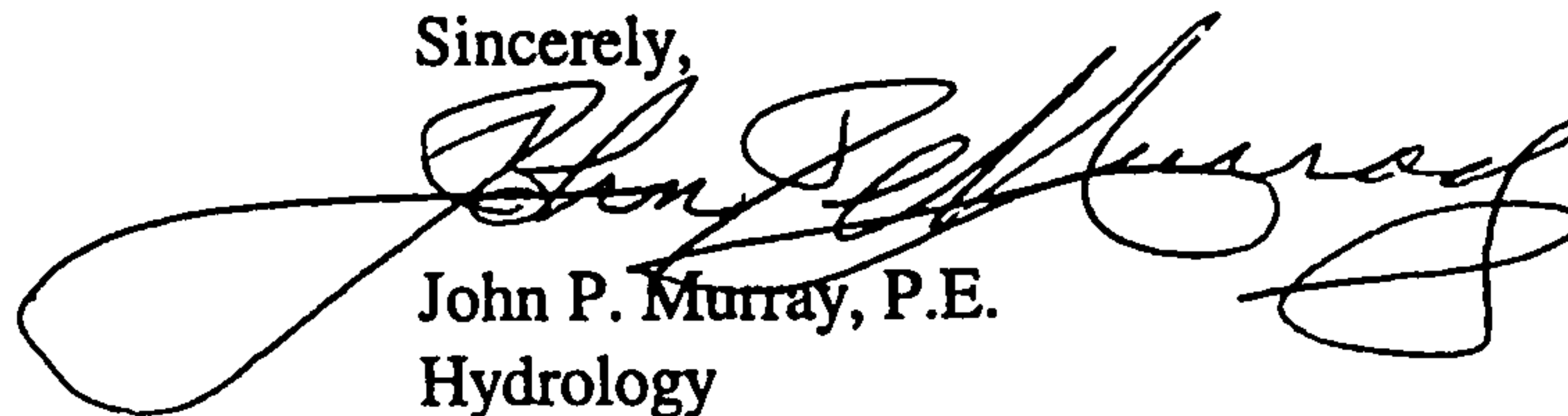
The T.C.L. will be reviewed separately.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occpancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,



John P. Murray, P.E.
Hydrology

c: Terri Martin
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 28, 2001

Levi J. Valdez, P.E.
George T. Rodriguez Development Consultant
12800 San Juan NE
Albuquerque, NM 87123

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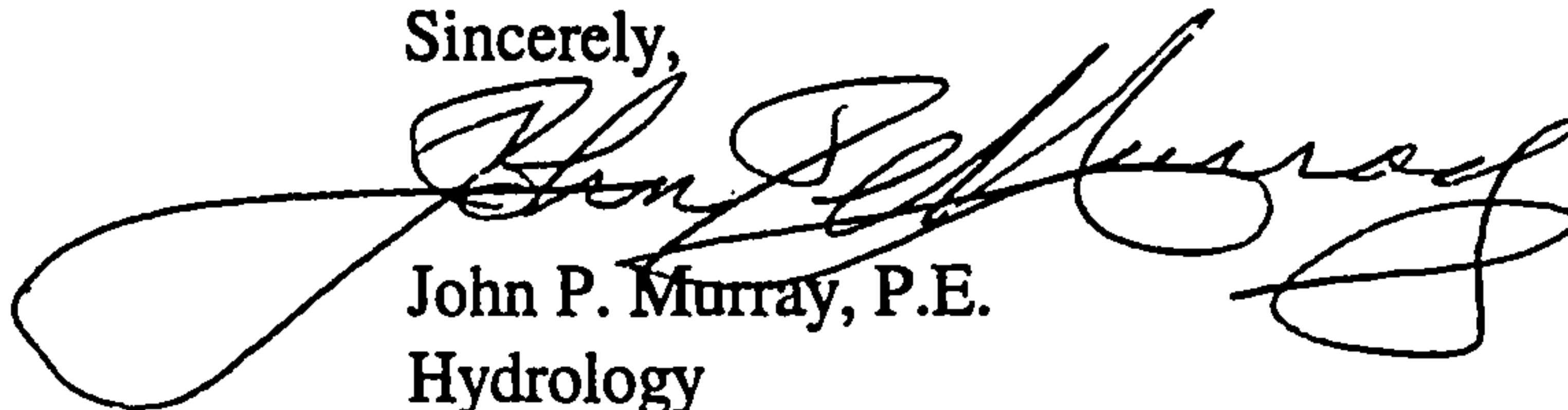
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Sincerely,



John P. Murray, P.E.
Hydrology

c: Terri Martin
✓ File

DRAINAGE INFORMATION SHEET

J21/D041

APPLICANT'S NAME: TIM CHAVEZ ZONE ATLAS/DRNG. FILE #: J-21-2/

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT "13-B-1", BLOCK 10-A, DALE J. BELLAMAH'S PRINCESS JEANNE PARK

CITY ADDRESS: 1216 EUBANK BLVD. N.E., ALBUQUERQUE, NEW MEXICO 87112

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: MR. VALDEZ
GEORGE T. RODRIGUEZ MR. RODRIGUEZ

ADDRESS: 12800 SAN JUAN, N.E. 87123 PHONE: 294-0320

OWNER: TIM CHAVEZ CONTACT: MR. CHAVEZ

ADDRESS: ~~1216~~ 1218 EUBANK N.E. 87112 PHONE: 298-5672

ARCHITECT: IRA WHITE - 4 HILLS DESIGNERS CONTACT: MR. WHITE

ADDRESS: 1605 SOPLO RD. S.E. 87123 PHONE: 294-1296

SURVEYOR: ENGINEER CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: ? CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

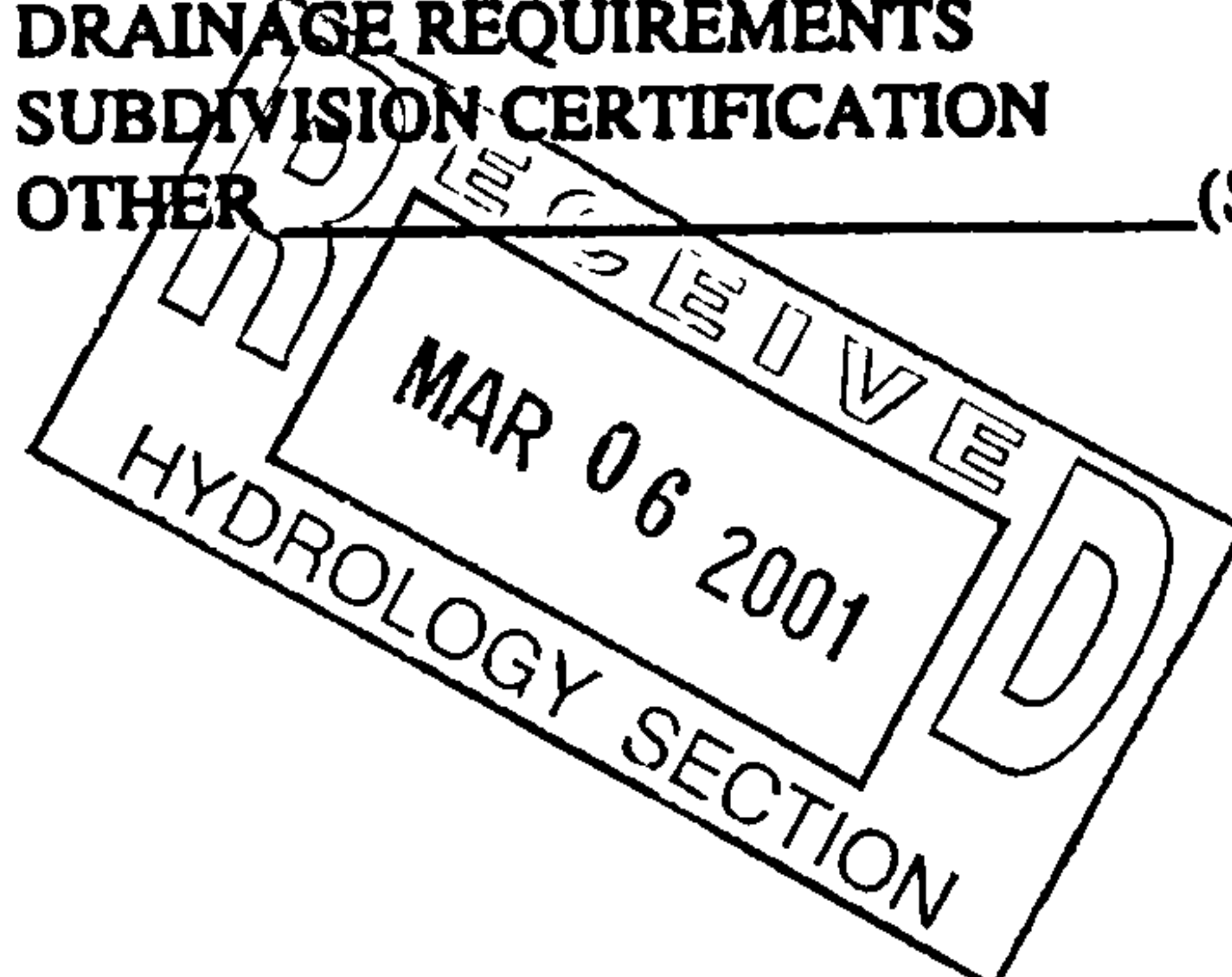
- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
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- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 03-01-01

BY: GEORGE T. RODRIGUEZ





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

November 15, 2001

Ira White, P.E.
4 Hills Designers
1605 Soplo Rd., SE
Albuquerque, NM 87123

Re: TCL Submittal for Building Permit Approval for Heights Hair Styling
1216 Eubank Blvd., NE, [J21Z / D41]
Engineer's Stamp Dated 02/04/01

Dear Mr. White:

The location referenced above is not acceptable and requires modification to the Traffic Circulation Layout (TCL) prior to Building Permit release as stated on the attached TCL checklist, and red-lined TCL markup with comments.

Please resubmit revised TCL after addressing typed and marked up comments. Submit plan along with typed comments and all red-lined, mark-up copies.

Sincerely,

Mike Zamora
Commercial Plan Checker
Development and Building Services
Public Works Department

c: Engineer
Terri Martin, Hydrology
Office File

MZ:gds

DRAINAGE INFORMATION SHEET
(REV. 11/01/2001)

PROJECT TITLE: HEIGHTS HAIR STYLING ZONE MAP/DRG. FILE #: J-21-Z/D41
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT "13-B-1 BLOCK 10-A, DAVE BELLAMAH'S PRINCESS JEAN PARK
CITY ADDRESS: 1216 EUBANK BLVD. N.E., ALBUQUERQUE, NEW MEXICO 87112
LEVI J. VALDEZ, P.E.
ENGINEERING FIRM: GEORGE T. RODRIGUEZ CONTACT: MR. VALDEZ
ADDRESS: 12800 SAN JUAN, N.E. 87123 PHONE: MR. RODRIGUEZ
CITY, STATE: ALBUQUERQUE, NM 87123 ZIP CODE: _____

OWNER: TIM CHAVEZ CONTACT: MR. CHAVEZ
ADDRESS: 1218 EUBANK 87112 PHONE: 298-5672
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: _____

~~STRUCTURAL ENGINEER~~ ARCHITECT: 4 HILLS DESIGNERS CONTACT: IRA WHITE
ADDRESS: 1605 SOPLO RD S.E. 87123 PHONE: 294-1296
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87123

SURVEYOR: ENGINEER CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: PEREA CONSTRUCTION LLC CONTACT: TONY PEREA
ADDRESS: P.O. BOX 10076 PHONE: 898-5166
CITY, STATE: ALBUQUERQUE, NM 87184 ZIP CODE: _____

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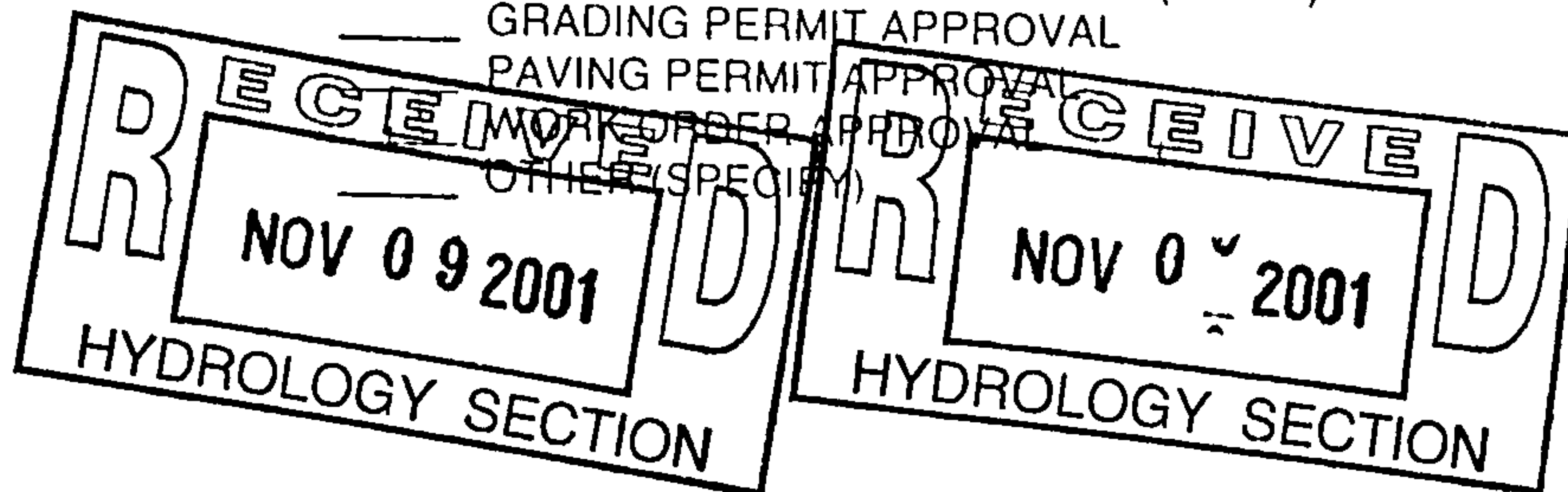
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☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED

- ☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED 11-09-01 BY AD White

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five
2. Drainage Plans. Required for building permits, grading permits, paving permits and site plans less than five (5)
3. Drainage Report. Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

11/20/01 - Letter, sent; attached dated 11/15 at Engineer Arch? Logged in 11/15/01

DRAINAGE INFORMATION SHEET

APPLICANT'S NAME: TIM CHAVEZ ZONE ATLAS/DRNG. FILE #: J-21-2/D41

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 113-B-1", BLOCK 10-A, DALE J. BELLAMAH'S PRINCESS JEANNE R.

CITY ADDRESS: 1216 EUBANK BLVD. N.E., ALBUQUERQUE, NEW MEXICO 87111

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: MR. VALDEZ
GEORGE T. RODRIGUEZ MR. RODRIGUEZ

ADDRESS: 12800 SAN JUAN, N.E. 87123 PHONE: 294-0320

OWNER: TIM CHAVEZ CONTACT: MR. CHAVEZ

ADDRESS: 1218 EUBANK N.E. 87112 PHONE: 298-5672

STRUCTURAL ARCHITECT: IRA WHITE - 4 HILLS DESIGNERS CONTACT: MR. WHITE

ADDRESS: 1605 SOPLO RD. S.E. 87123 PHONE: 294-1296

SURVEYOR: ENGINEER CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: PEREA CONSTRUCTION LLC CONTACT: TONY PEREA

ADDRESS: P.O. BOX 10096 PHONE: 898-5166
ALBUQUERQUE, N.M. 87184

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- ☐ YES
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- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 03-01-01

BY: GEORGE T. RODRIGUEZ

TRAFFIC CIRCULATION LAYOUT CHECKLIST

SITE ADDRESS: 1216 Subank NE

AGENT: FRA WHITE - 4 HILLS Designers

LEGAL DESCRIPTION: DNE BELLAMAH & PRINCESS Jeanne Park Subd. Block 10-A, Lot 1:

DATE: 11/20/01

ZONE ATLAS PAGE: 521

The Traffic Circulation Layout (TCL) is a basic Site Plan that contains information on all new and existing elements involved in the development of the site including: buildings, street widths, street sidewalks and curbs, gutter, parking lot features, driveways, landscaped areas, lot lines and easement limits, etc. It will be reviewed prior to submittal of plans for a building permit. The TCL must be reviewed and approved prior to the approval of the plans for building permit. In most all cases the TCL must be certified by the designer-of-record prior to the issuance of a Certificate of Occupancy for that site.

The design firm needs to comply with the *TRAFFIC CIRCULATION LAYOUT CHECKLIST* provided, along with requirements of Chapter 23 of the Development Process Manual (DPM).

GENERAL INFORMATION REQUIRED:

- ☒ 1. TCL must be stamped, signed and dated by N.M. registered architect or engineer.
- ☒ 2. Street address of site, also include the drainage plan reference number.
- ☒ 3. Provide legal description, name of subdivision, lot number and/or tract number on TCL.
- ☒ 4. Any Infrastructure work on city property, as part of this development, must be complete before issuance of CO. If work is not completed, Financial Guarantee must be on file with City Engineer.
- ☒ 5. Encroachment agreements are needed when structures, fences, walls or items of equal conflict are within City property.
- ☐ 6. Drainage and Landscape Plans must match the Site Plan.

SPECIFIC INFORMATION REQUIRED:

- ☒ 1. State Highway Department approval is required at locations where access is being taken from a Highway Department roadway.
- ☒ 2. Delivery vehicle and refuse maneuvering area must be contained on the site.
- ☐ 3. State the design vehicle to be used for deliveries to this site.
- ☐ 4. Show new and existing infrastructure on TCL, clearly labeled, dimensioned and to scale. Clearly distinguish between the new and existing improvements.
- ☐ 5. Clearly show the phasing for this site.

- ☐ 6. Curb cuts need to be in accordance with Chapter 23.6.B of the DPM and COA standard dwg #2425 or #2426. *State Dwg. No. on Plan.*
- ☐ 7. Parking stalls and drive aisles need to be in accordance with Chapter 23.7.A of the DPM.
- ☒ 8. Adequate queuing needs to be provided in accordance with Chapter 23.7.C of the DPM.
- ☒ 9. Label parking stalls for small car as "COMPACT" or equal.
- ☐ 10. Sidewalks are required to be 5ft when placed between a building and parking stall.
- ☒ 11. Drive-through facilities shall be designed in accordance with Chapter 23.7.E.
- ☐ 12. Clearly show both sides of the adjacent street to scale and all existing infrastructure, include the sidewalk, curb and gutter, median, etc. as applicable.
- ☐ 13. Handicap parking stalls must be in accordance with the New Mexico State Building code for accessibility.
- ☒ 14. Handicap ramps are required at street corners.
- ☒ 15. Cross access easements may be needed.