

1. THE CONTRACTOR SHALL CONDUCT ALL DIMENSIONS IN THE FIELD. HE SHALL ALSO VERIFY THE ACCURACY & COMPLETENESS OF THE PLANS BEFORE STARTING CONSTRUCTION. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO 4-HILLS DESIGNERS FOR APPLICABLE REVISIONS.
2. DO NOT SCALE DRAWINGS.
3. BUILDING DESIGN & CONSTRUCTION DOCUMENTS CONFORM TO ALL CITY, COUNTY & STATE UBC REQUIREMENTS.
4. PERMITTING ENGINEERING SURVEYING CONSTRUCTION SUB CONTRACTING, VARIANCES, LEINS & LIABILITIES ARE THE RESPONSIBILITIES OF THE OWNER AND/OR CONTRACTORS.
5. ANY DISCREPANCIES IN SURVEYING OR PLATTING ARE NOT THE RESPONSIBILITY OF 4-HILLS DESIGNERS.
6. PROVIDE LEGIBLE PREMISES IDENTIFICATION, VISIBLE FROM THE STREET.
7. THE CONTRACTOR SHALL CONNECT TO THE CITY WATER AND SEWER SYSTEM.
8. ALL HANDICAP PARKING AND RAMPS SHALL COMPLY WITH CABO/ANSI A117.1-1998
9. THE NEAREST FIRE HYDRANT IS LOCATED AT THE FRONT OF THIS PROPERTY.
10. ACCESS FROM THE BUILDING TO THE FRONT SIDEWALK IS THROUGH THE PARKING LOT.
THE FRONT SIDE WALK SHALL BE LOCATED SO AS NOT TO BE OBSTRUCTED BY LANDSCAPING, SIGNAGE OR FIRE HYDRANTS.

1. PARKING, LIGHTING, SIGNAGE & LANDSCAPING SHALL COMPLY WITH REQUIREMENTS OUTLINED IN THE ALBUQUERQUE ZONING CODE.
2. LANDSCAPING IS SHOWN ON SHEET 3.

LOT NUMBERED THIRTEEN B-1 (13-B-1) IN BLOCK
NUMBERED TEN A (10A) OF THE SUMMARY PLAT
OF LOT 13B, BLOCK 10A, DALE J. BELLAMAH'S
PRINCESS JEANNE PARK, AN ADDITION TO THE
CITY OF ALBUQUERQUE, NEW MEXICO.



$$\frac{2265 \text{ SQ. FT.}}{200 \text{ SQ. FT.}} = 12 \text{ SPACES REQ'D.}$$

SPACES PROVIDED = 13

NET AREA OF BUILDING = 2265 SQ. FT.
MAXIMUM HEIGHT OF BLDG. = 20'-3"
HOURS OF OPERATION = 6 AM TO 6 PM
NUMBER OF EMPLOYEES = 10
FOR LANDSCAPING SEE SHEET 3.

SITE PLAN

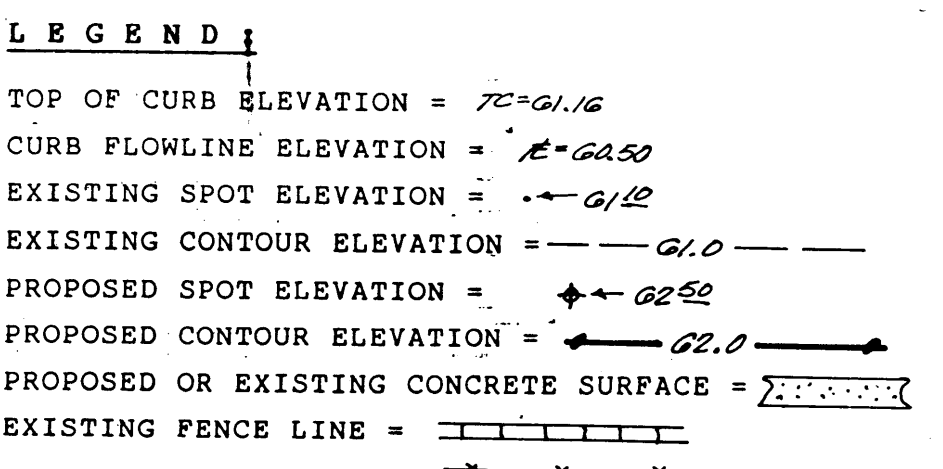
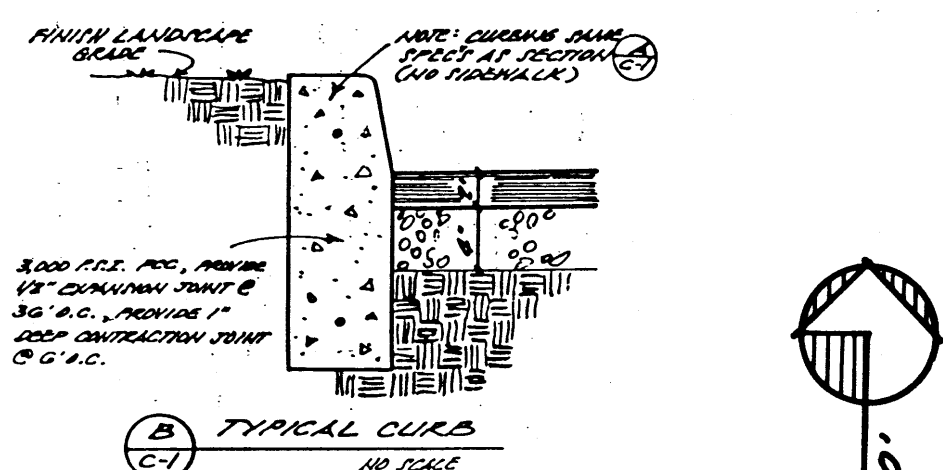
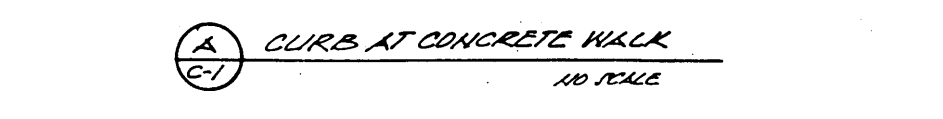
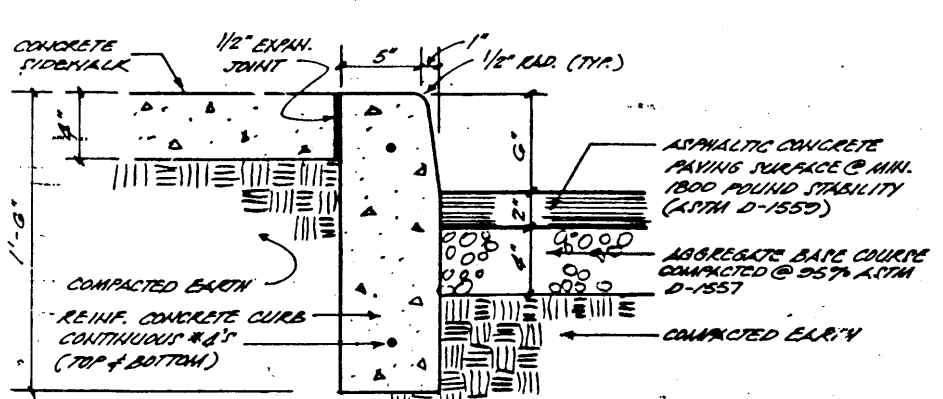
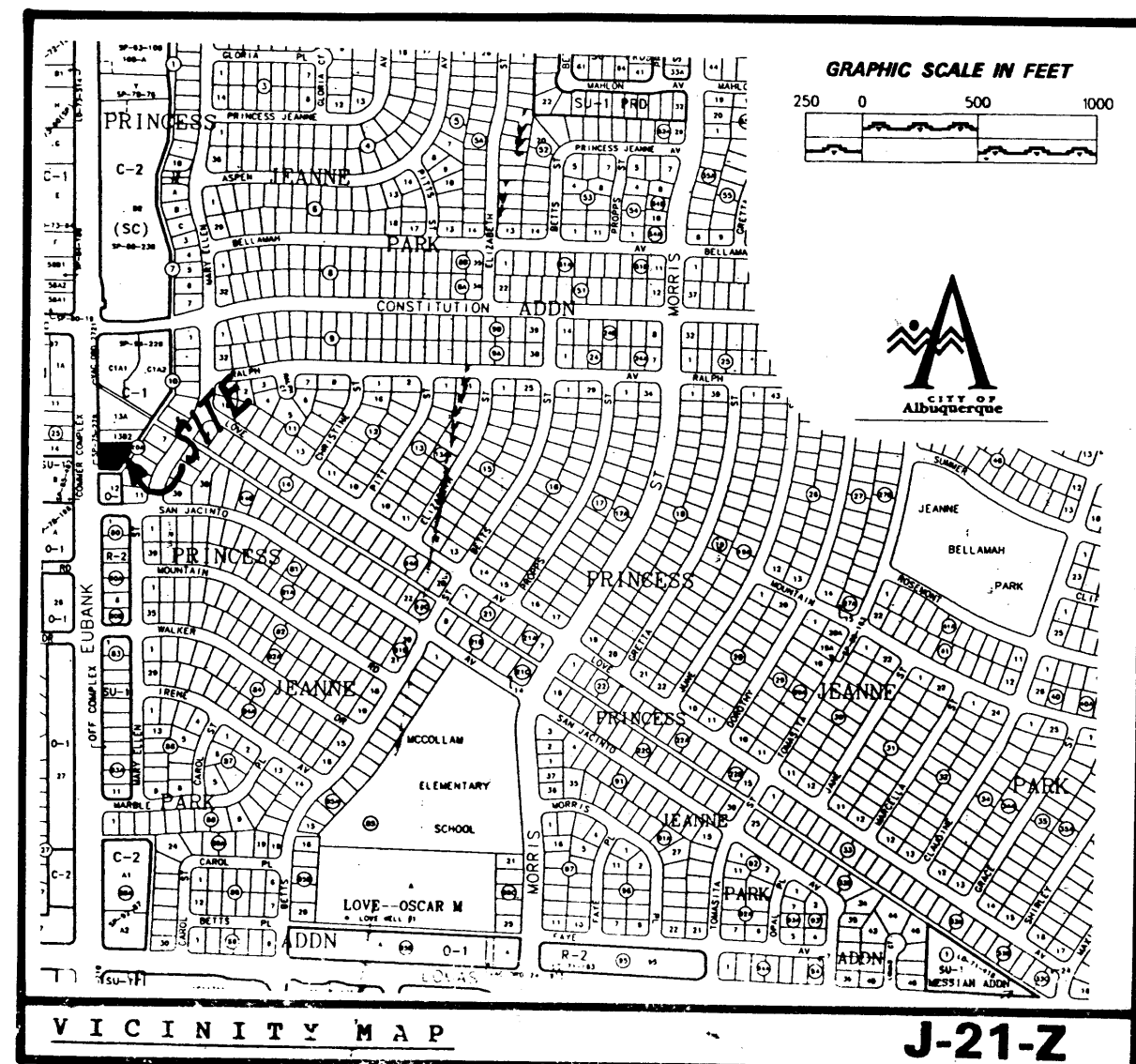
HTSSALONISITE

DESIGNED BY: IRA WHITE
DRAWN BY: IRA WHITE
DATE: 11/8/01

152

4-1115
OS/GN/25

0



- CONSTRUCTION NOTES:**
- 1.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OR SUB-SURFACE UTILITIES.
 - 2.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
 - 3.) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 - 4.) ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

- EROSION CONTROL MEASURES:**
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:
- 1.) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
 - 2.) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
 - 3.) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

TABLE A-9. PEAK DISCHARGE (cfs/acre)

Zone	A	B	C	D
1	1.29 [0.00, 0.24]	2.03 [0.03, 0.76]	2.87 [0.47, 1.49]	4.37 [1.89, 2.89]
2	1.56 [0.00, 0.38]	2.28 [0.08, 0.95]	3.14 [0.60, 1.71]	4.70 [1.86, 3.14]
3	1.87 [0.00, 0.58]	2.60 [0.21, 1.19]	3.45 [0.78, 2.00]	5.02 [2.04, 3.39]
4	2.20 [0.05, 0.87]	2.92 [0.38, 1.45]	3.73 [1.00, 2.26]	5.25 [2.17, 3.57]

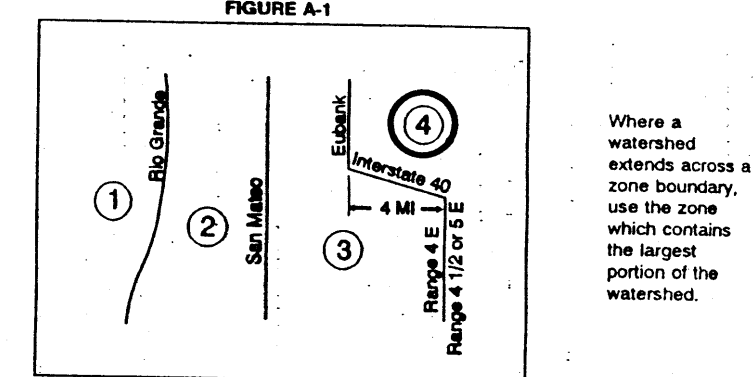
TABLE A-10. PEAK INTENSITY (INHR at $t_p = 0.2$ hour)

Zone	Intensity
1	4.70 [1.84, 3.14]
2	5.05 [2.04, 3.41]
3	5.38 [2.21, 3.66]
4	5.61 [2.34, 3.83]

- GENERAL NOTES:**
- 1.) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
 - 2.) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

TABLE A-1. PRECIPITATION ZONES

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40



DPM SECTION 22.2 - HYDROLOGY
January, 1993
Page A-4

TABLE A-4. LAND TREATMENTS

Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slope. Native grasses, weeds and shrubs in brushy areas with minimal disturbance to grading, groundcover and infiltration capacity. (Desert shrublands, Unimproved areas)
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil compaction by human activity with slopes greater than 10 percent and less than 20 percent. (Desert shrublands, Unimproved areas)
C	Soil compacted by human activity. Minimal vegetation. Unimproved parking, roads, trails. Most recent use: paved or rock on grade. (Desert shrublands, Unimproved areas)
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatment D, the area percentages in TABLE A-5 may be employed.

DRAINAGE COMMENTS AND CALCULATIONS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED APPROXIMATELY 500.0' SOUTH OF THE INTERSECTION OF EUBANK BLVD. N.E. AND CONSTITUTION AVENUE, N.E. AND ON THE EAST SIDE OF SAID EUBANK BLVD. N.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (CITY ZONE ATLAS "J-21-2").

THE SUBJECT PROJECT SITE, 1.) IS AT THE PRESENT TIME A DEVELOPED COMMERCIAL SITE THAT IS 100% IMPERVIOUS WITH AN EXISTING OLD BUILDING AND ASPHALT PAVING, 2.) ACCEPTS AND WILL CONTINUE TO ACCEPT OFFSITE FLOWS FROM THE ASPHALT PAVED PUBLIC ALLEY LYING ADJACENT TO SAID SITE, 3.) DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES, 4.) ACCORDING TO F.E.M.A. FIRM PANEL 358 OF 825 IS NOT LOCATED WITHIN A DESIGNATED FLOODPLAIN.

THE FREE-DISCHARGE OF THE EXISTING AND PROPOSED DEVELOPED FLOWS HAVE NO ADVERSE EFFECT TO DOWNSTREAM PROPERTIES.

CALCULATIONS:

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2., DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED JANUARY, 1993.

SITE AREA: 0.29 ACRES
PRECIPITATION ZONE: FOUR (4)
PEAK INTENSITY: "I" = 5.61
LAND TREATMENT METHOD FOR CALCULATION OF "Q_p".

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
D	0.29	X 5.25	= 1.52
"Q _p "			= 1.52 CFS

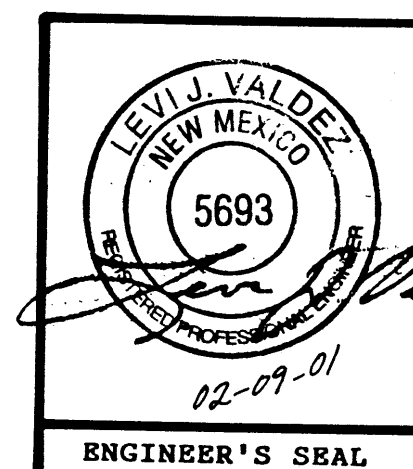
PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.04	X 3.73	= 0.15
D	0.25	X 5.25	= 1.31
"Q _p "			= 1.46 CFS

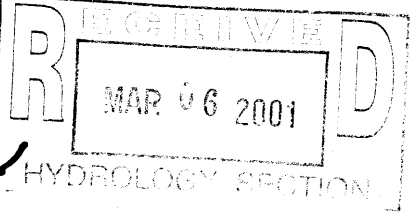
*** DECREASE = 1.52 CFS - 1.46 CFS = 0.06 CFS DECREASE

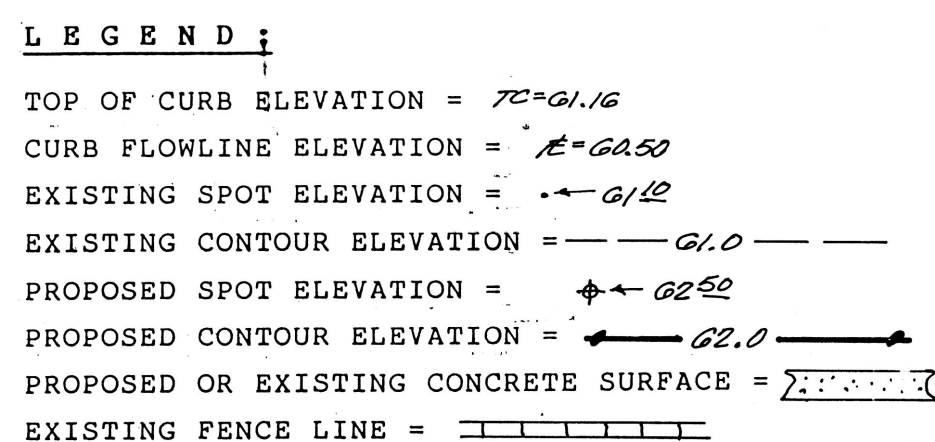
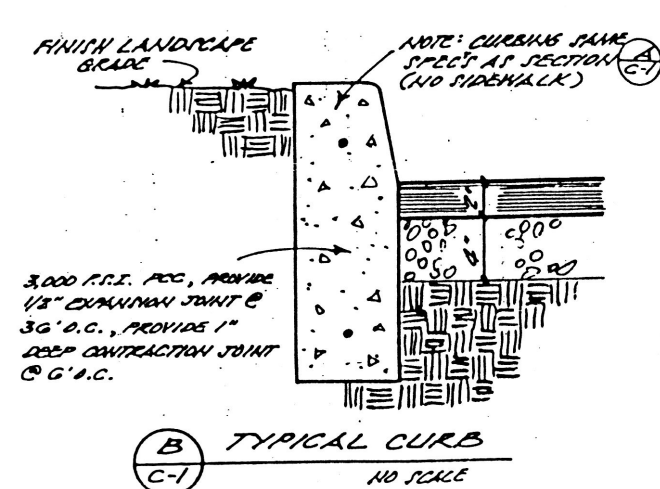
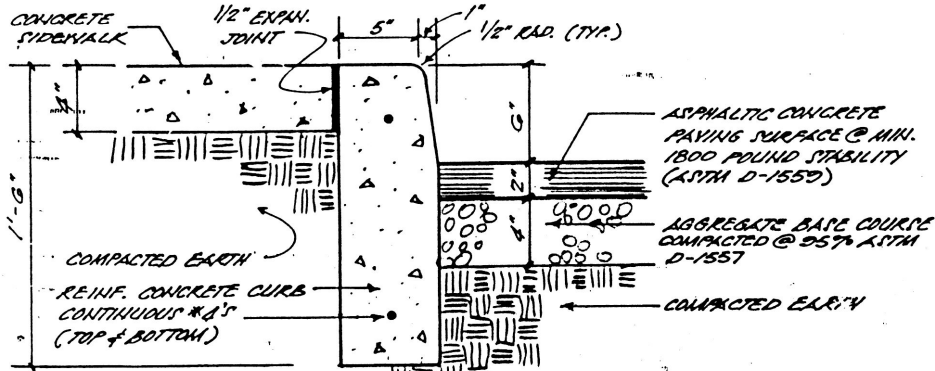
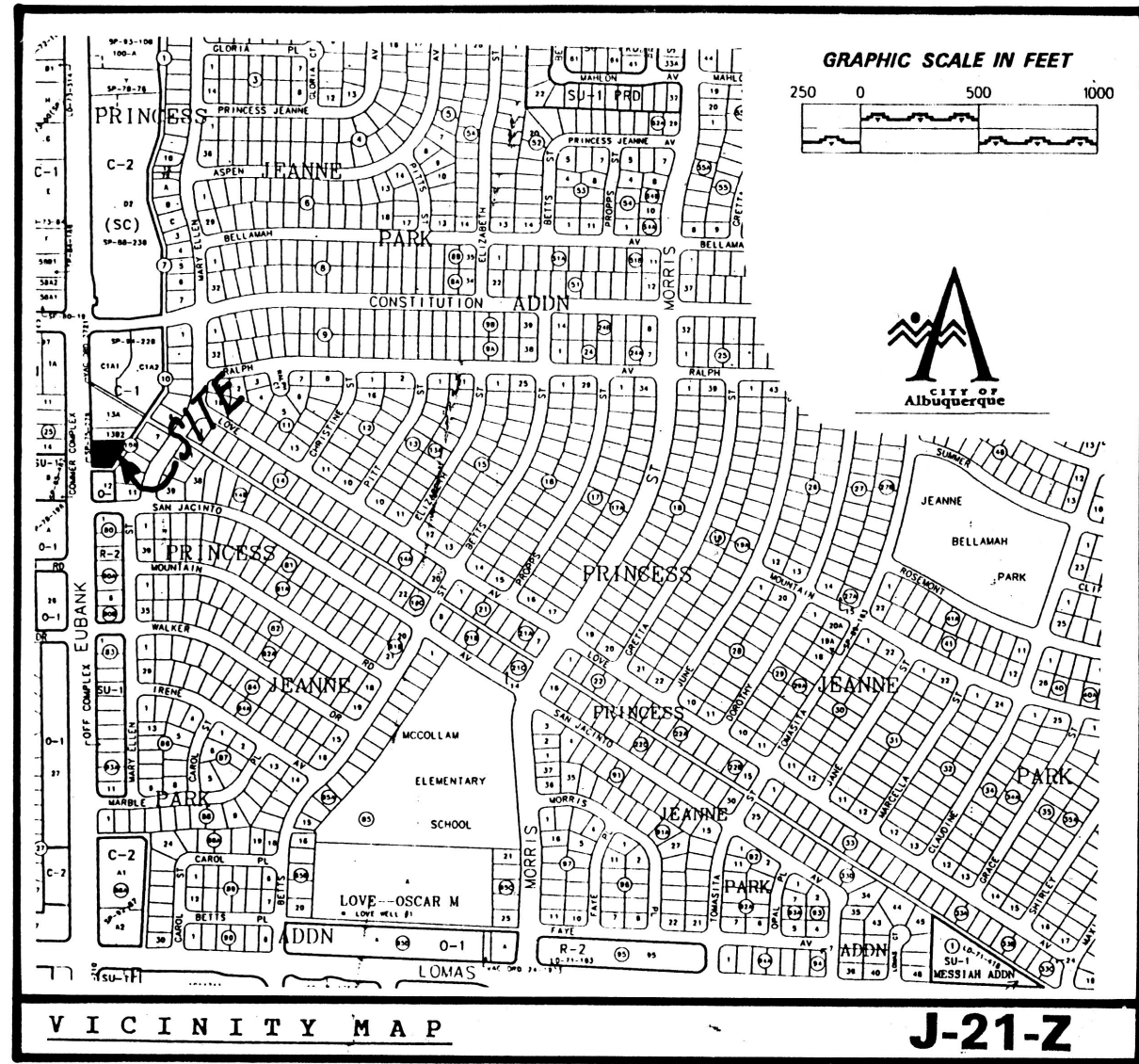
BENCH MARK REFERENCE: ACS STATION "6-J21", A STANDARD BRASS CAP LOCATED ON THE NORTH STREET MEDIAN AT THE INTERSECTION OF EUBANK BLVD. N.E. AND CONSTITUTION BLVD. N.E., M.S.L. ELEVATION = 5468.89; PROJECT T.B.M. AS SHOWN ON THE PLAN HEREON.

LEGAL DESCRIPTION: LOT "13-B-1", IN BLOCK "10-A", DALE J. BELLAMAH'S PRINCESS JEANNE PARK ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.



GRADING AND DRAINAGE PLAN
FOR
TIM CHAVEZ - HAIRDRESSING SALON
EUBANK BOULEVARD, N.E.
ALBUQUERQUE, NEW MEXICO





CONSTRUCTION NOTES:

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TABLE A-10. PEAK INTENSITY (N/Hr at $t_c = 0.2$ hour)

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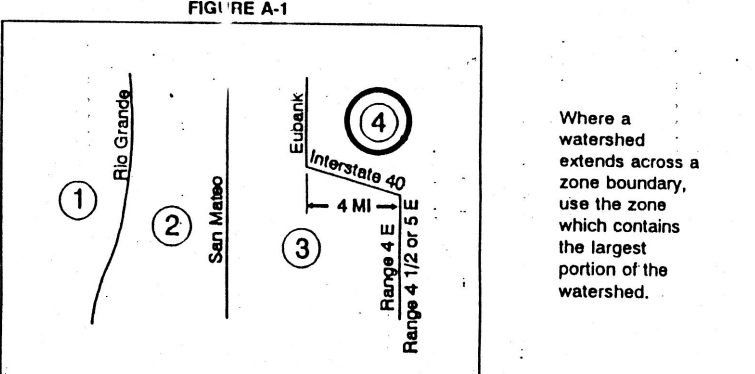


TABLE A-4. LAND TREATMENTS

Treatment	Land Condition
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B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert to desert). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by USDA Hydrologic Soil Group D.
D	Impervious areas: pavement and roofs.

DRAINAGE COMMENTS AND CALCULATIONS:

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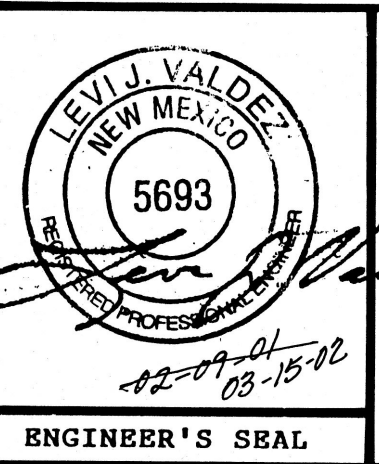
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LEGAL DESCRIPTION: LOT "13-B-1", IN BLOCK "10-A", DALE J. BELLAMAH'S PRINCESS JEANNE PARK ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.



A PROPOSED GRADING AND DRAINAGE PLAN

FOR

HEIGHTS HAIR STYLING

1216 EUBANK BLVD. N.E.

ALBUQUERQUE, NEW MEXICO.

FEBRUARY, 2001

(REVISED: JANUARY, 2002) 03-15-02