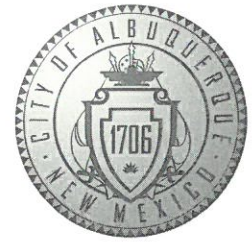


# CITY OF ALBUQUERQUE



November 2, 2017

Levi J. Valdez, PE  
George T Rodriguez-Development Consultant  
12800 San Juan Rd. SE  
Albuquerque, NM 87123

**Re: Shopping Center  
1220 Eubank Blvd. NE  
Request Permanent C.O. - Accepted  
Engineer's Stamp dated: 3-11-16 (J21D045)  
Certification dated: 10-30-17**

Dear Mr. Valdez,

Based on the Certification received 10/30/2017, the site is acceptable for permanent release of Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Albuquerque

Sincerely,

NM 87103

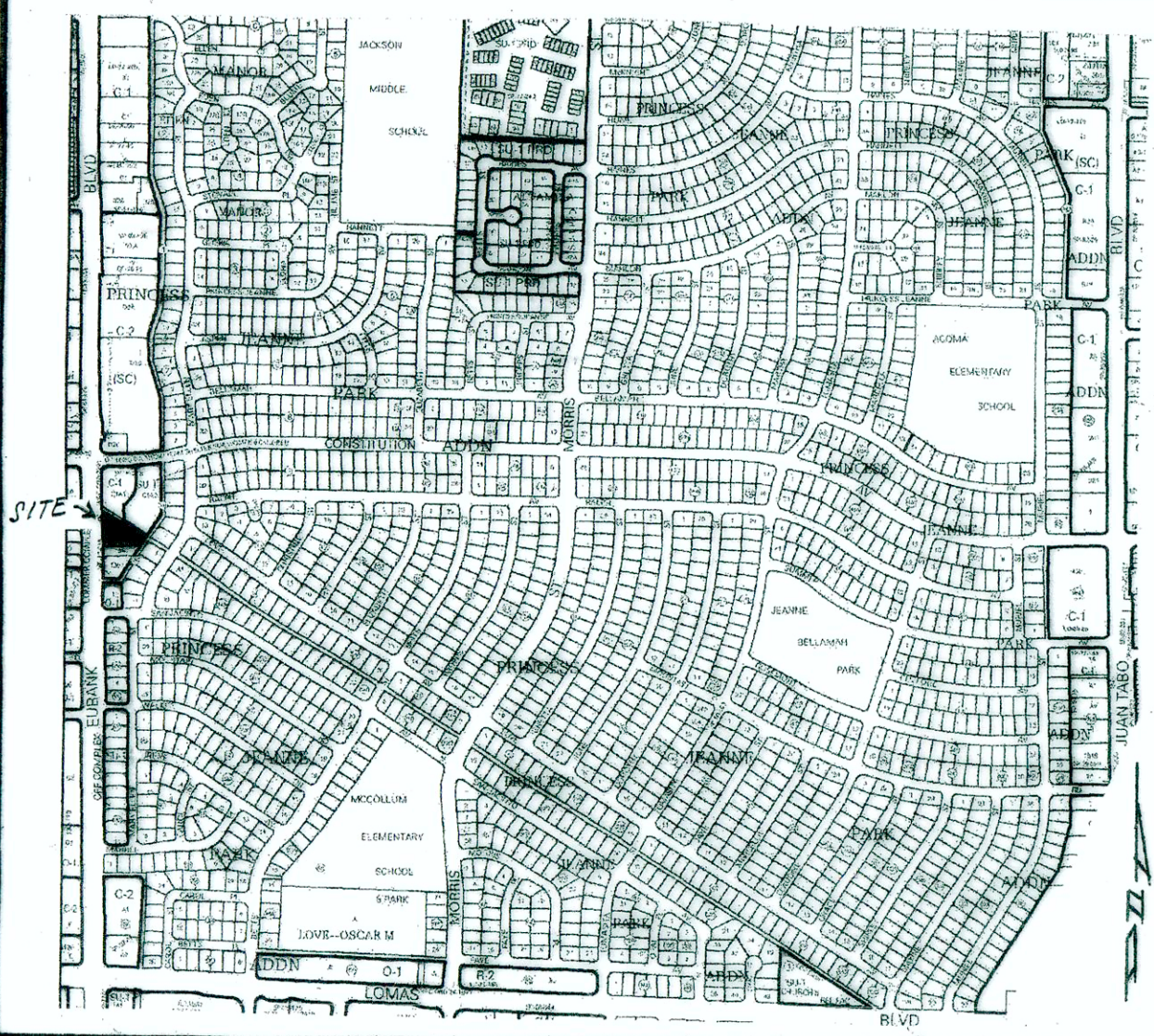
James D. Hughes, P.E.  
Principal Engineer, Planning Dept.  
Development and Review Services

[www.cabq.gov](http://www.cabq.gov)

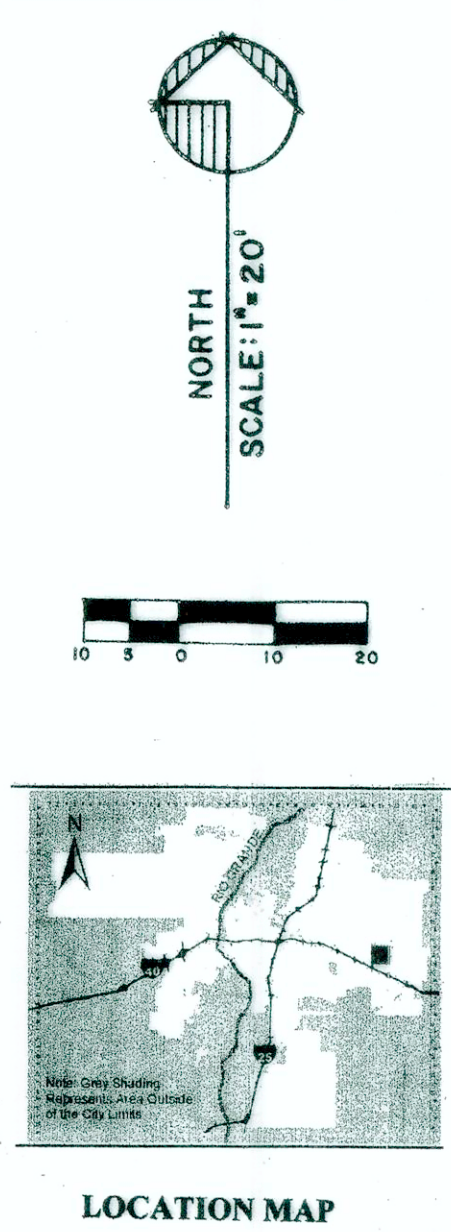
TE/JH

C: email      Serna, Yvette M.; Fox, Debi; Tena, Victoria C.; Sandoval, Darlene M.





VICINITY MAP J-21-Z N.T.S.



LOCATION MAP

DRAINAGE CERTIFICATION:

I, LEVI J. VALDEZ, N.M.P.E. NO. 5693, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED MARCH 11, 2016. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY (TEMPORARY).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSES.

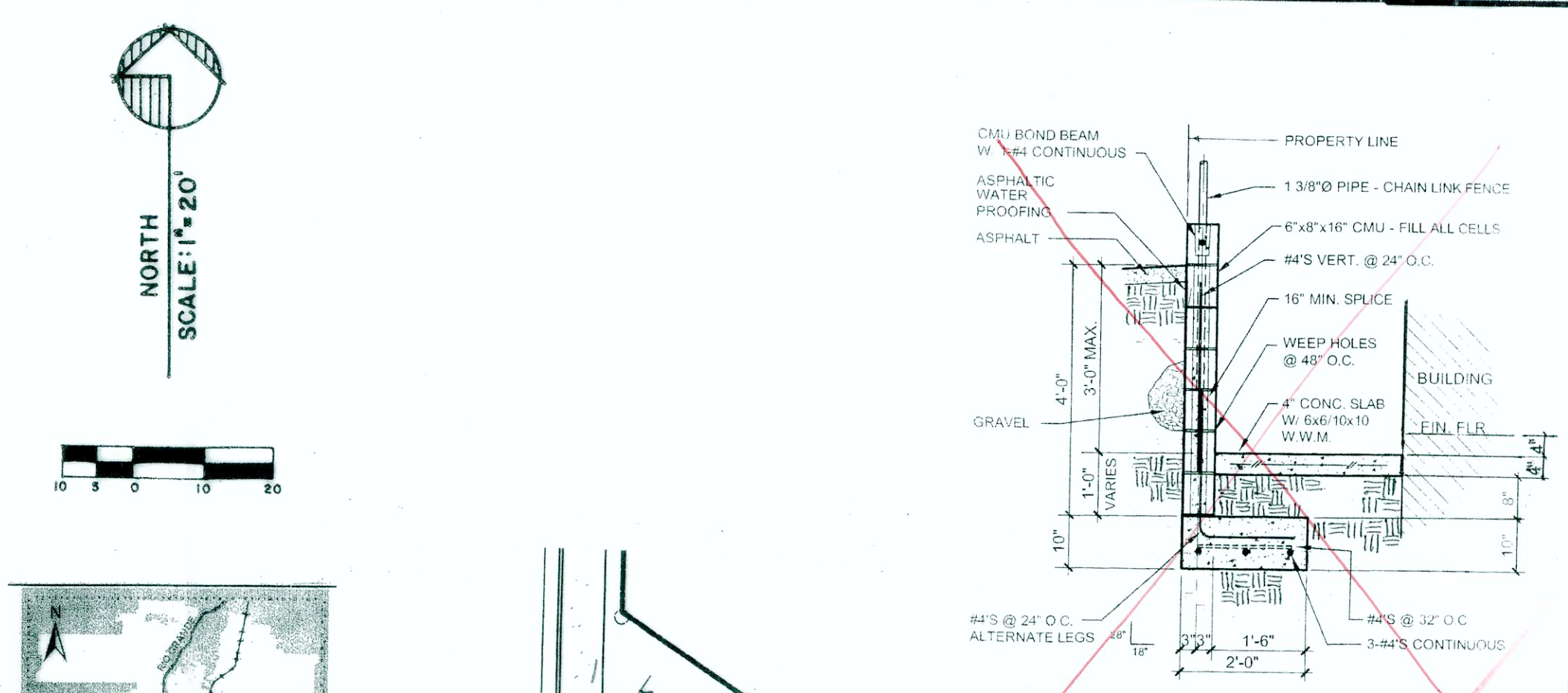
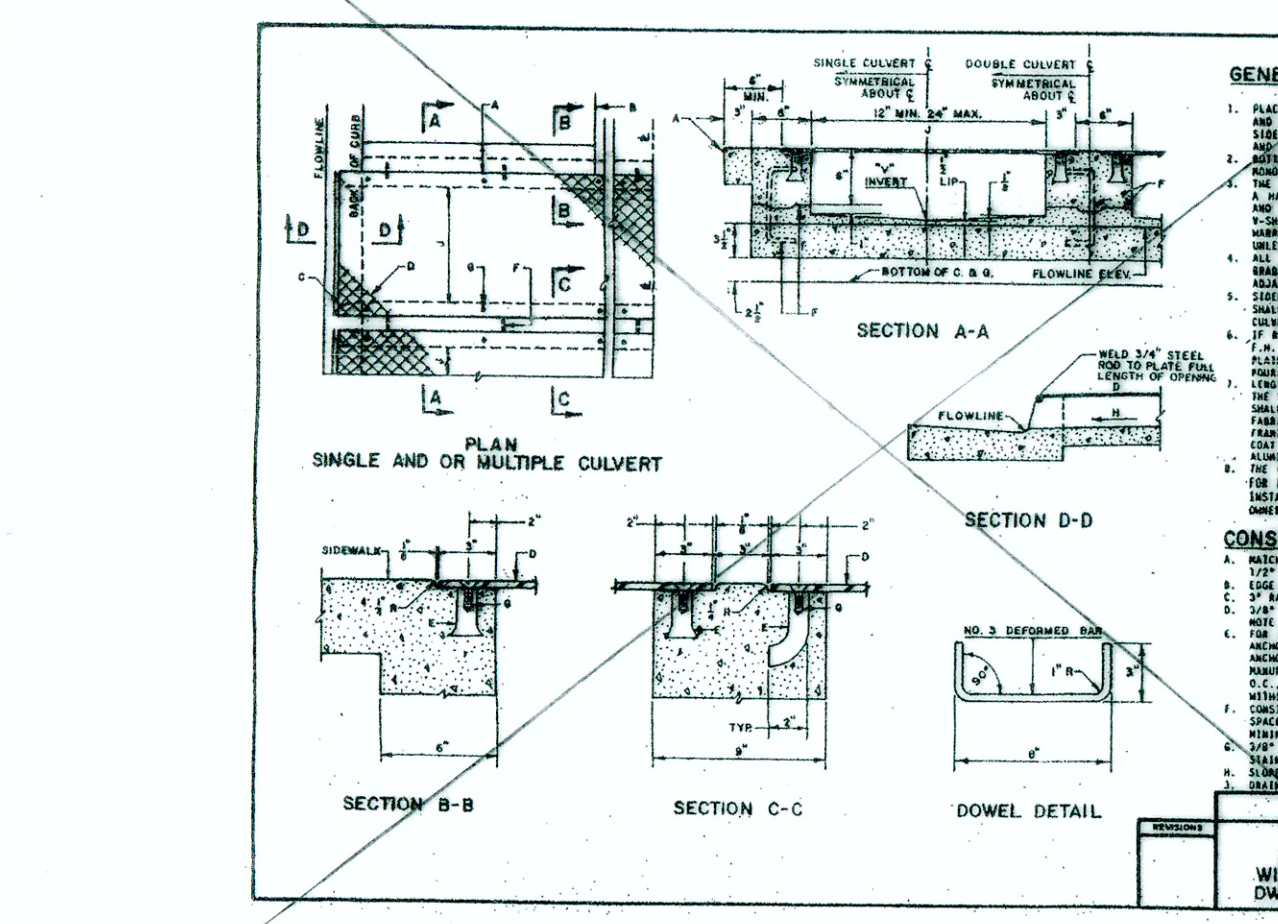
Levi J. Valdez  
LEVI J. VALDEZ, N.M.P.E. NO. 5693  
01-26-17 10-30-17  
DATE

GENERAL NOTES:

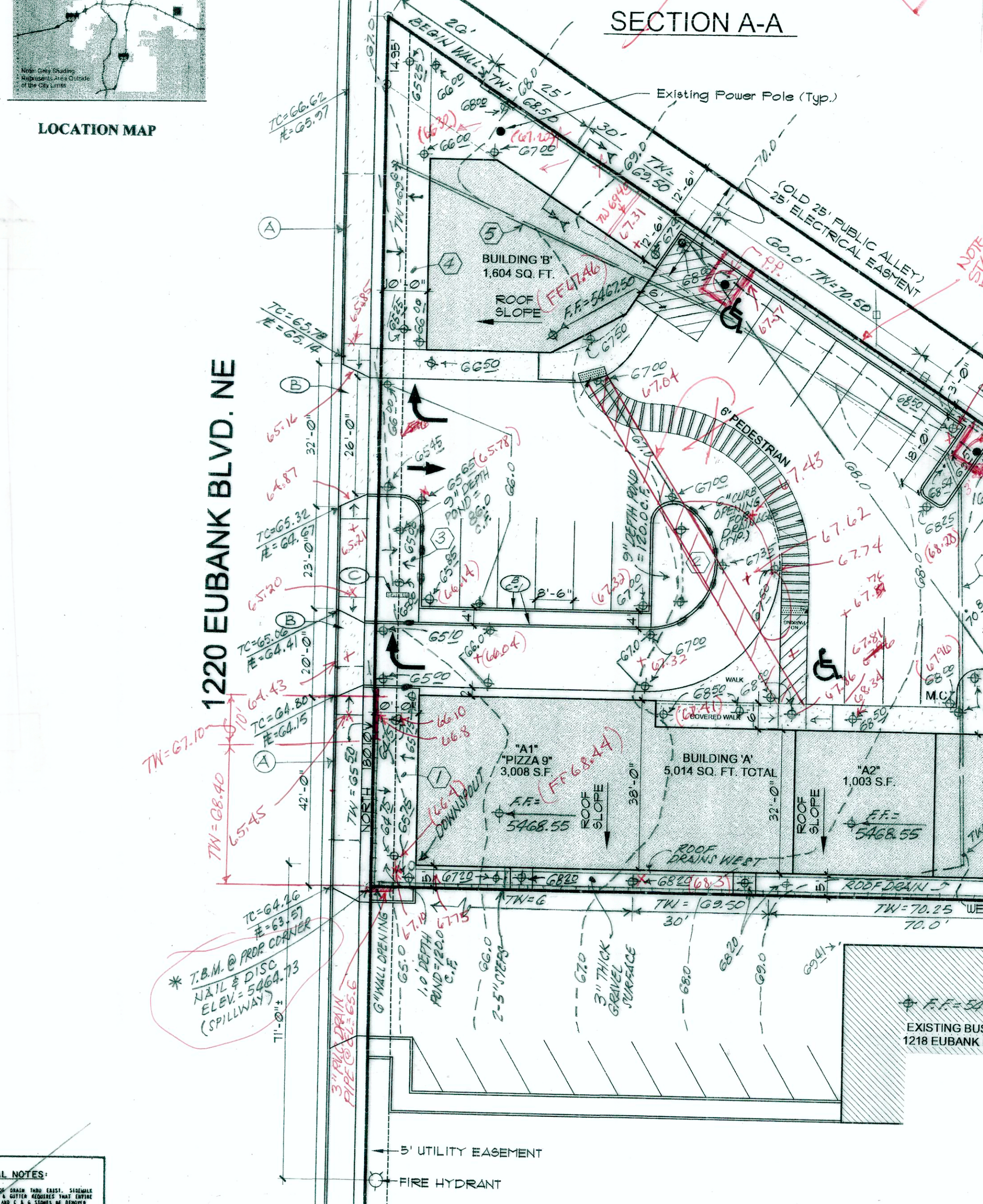
- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

LEGEND:

- TOP OF CURB ELEVATION = TC = 65.06
- CURB FLOWLINE ELEVATION = E = 64.41
- EXISTING SPOT ELEVATION = 71.2
- EXISTING CONTOUR ELEVATION = 67.0
- PROPOSED SPOT ELEVATION = 66.00
- PROPOSED CONTOUR ELEVATION = 67.0
- PROPOSED OR EXISTING CONCRETE SURFACE = 67.0
- EXISTING FENCE LINE =



SECTION A-A



DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE EAST SIDE OF EUBANK BOULEVARD N.E. JUST SOUTH OF THE INTERSECTION OF EUBANK BLVD. N.E. AND CONSTITUTION AVENUE N.E., ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

THE SUBJECT SITE IS PRESENTLY A PARTIALLY DEVELOPED COMMERCIAL PROPERTY; THE PROPOSED PLAN AS SHOWN HEREON IS TO CONSTRUCT A NEW COMMERCIAL STRIP CENTER AND ASSOCIATED IMPROVEMENTS THEREON.

THE SUBJECT SITE, 1.) DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN, (RE: F.E.M.A. FIRM PANEL 35001C0356H, EFFECTIVE DATE: 08-16-12), 2.) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 3.) DOES NOT CONTRIBUTE OFFSITE FLOWS TO ADJACENT PROPERTIES; NEW DEVELOPED FLOWS SHOWN ON THE PLAN HEREON ARE TO BE DIRECTED TO A "FIRST FLUSH RETENTION POND" AND DISCHARGED AT A DESIGNATED SPILLWAY ELEVATION INTO EUBANK BLVD. N.E., SAID FLOWS WILL HAVE NO ADVERSE AFFECT TO DOWNSTREAM PROPERTIES.

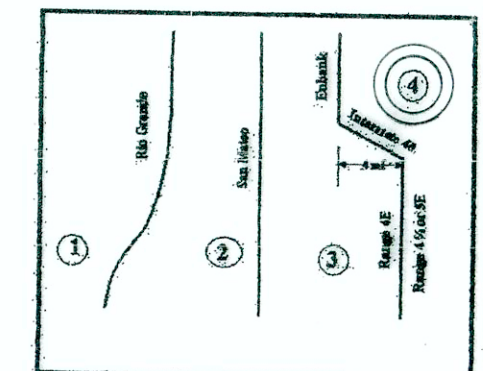
DRAINAGE CALCULATIONS ARE PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

A-1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East; South of Interstate 40
4	East of Eubank, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40

Zone	Intensity	100-YR (2-YR, 10-YR)
1	4.70 (1.84, 3.14)	
2	5.05 (2.04, 3.41)	
3	5.38 (2.11, 3.65)	
4	5.61 (2.34, 3.83)	



Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Coarse, Unfilled Areas.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil uncompacted by human activity. Minimal vegetation. Unpaved parking roads, trails. Most vacant lots. Gravel or rock on plastic (sheet) landscaping. Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Zone	Treatment	100-YR (2-YR, 10-YR)
1	A	1.29 (0.00, 0.24)
2	B	1.56 (0.00, 0.38)
3	C	1.87 (0.00, 0.58)
4	D	2.20 (0.05, 0.87)

SITE AREA = 0.53 ACRE ZONE: FOUR (4)  
PRECIPITATION: 360 = 2.90 in.  
1440 = 3.65 in.  
10day = 5.95 in.

EXCESS PRECIPITATION: PEAK DISCHARGE:  
TREATMENT A 0.80 in. 2.20 cfs/ac.  
TREATMENT B 1.08 in. 2.92 cfs/ac.  
TREATMENT C 1.46 in. 3.73 cfs/ac.  
TREATMENT D 2.64 in. 5.25 cfs/ac.

EXISTING CONDITIONS: PROPOSED CONDITIONS:  
TREATMENT A AREA 0.00 ac. AREA 0.00 ac.  
TREATMENT B AREA 0.00 ac. AREA 0.00 ac.  
TREATMENT C AREA 0.23 ac. AREA 0.09 ac.  
TREATMENT D AREA 0.30 ac. AREA 0.44 ac.

EXISTING EXCESS PRECIPITATION:  
Weighted E = (0.80)x(0.00)+(1.08)x(0.00)+(1.46)x(0.23)+(2.64)x(0.30)/0.53 = 2.13 in.  
V100-360 = (2.13)x(0.53)/12 = 0.094167 ac-ft = 4,109.9 cf

EXISTING PEAK DISCHARGE:  
Q100 = (2.20)x(0.00)+(2.92)x(0.00)+(3.73)x(0.23)+(5.25)x(0.30) = 2.43 cfs

PROPOSED EXCESS PRECIPITATION:  
Weighted E = (0.80)x(0.00)+(1.08)x(0.00)+(1.46)x(0.09)+(2.64)x(0.44)/0.53 = 2.44 in.  
V100-360 = (2.44)x(0.53)/12.0 = 0.107767 ac-ft = 4,694.3 cf

PROPOSED PEAK DISCHARGE:  
Q100 = (2.20)x(0.00)+(2.92)x(0.00)+(3.73)x(0.09)+(5.25)x(0.44) = 2.65 cfs  
INCREASE: Q100 = 0.22 CFS V100-360 = 584.4 CU. FT.

NOTE: "1" FLUSH RETENTION POND VOLUME: (TOTAL REQUIRED) 0.34" (0.03") x 19,166.4 SQ. FT. = 575.0 CU. FT.

RETENTION PONDS PROVIDED: 590.0 CU. FT. (TOTAL)

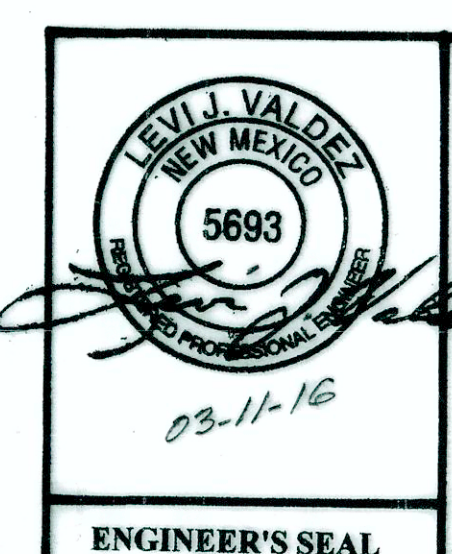
LEGAL DESCRIPTION: LOT 13A, IN BLOCK 10A, DALE J. BELLAMAH'S PRINCESS JEANNE PARK ADDITION, ALBUQUERQUE, NEW MEXICO.

BENCH MARK REFERENCE: CITY OF ALBUQUERQUE STATION "6-121", ELEVATION = 5471.44, (NAVD 1988), T.B.M. AS SHOWN ON THE PLAN HEREON.

\* NOTE: ELEVATIONS SHOWN IN "RED" ARE "AS-BUILT" SPOT ELEVATIONS

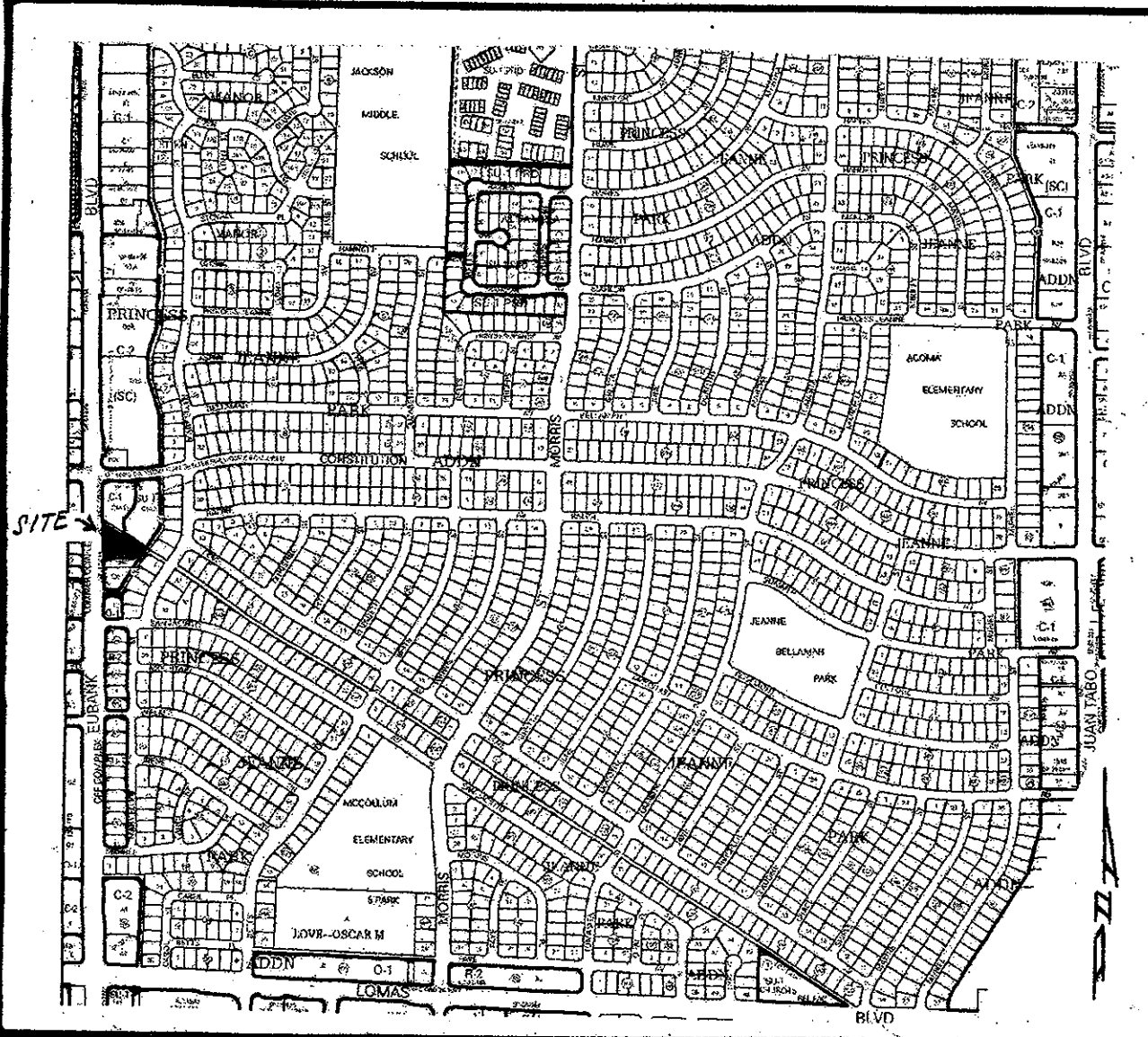
(ENGINEER'S CERTIFICATION)  
JANUARY 2017  
(OCTOBER 30, 2017)

GRADING AND DRAINAGE PLAN

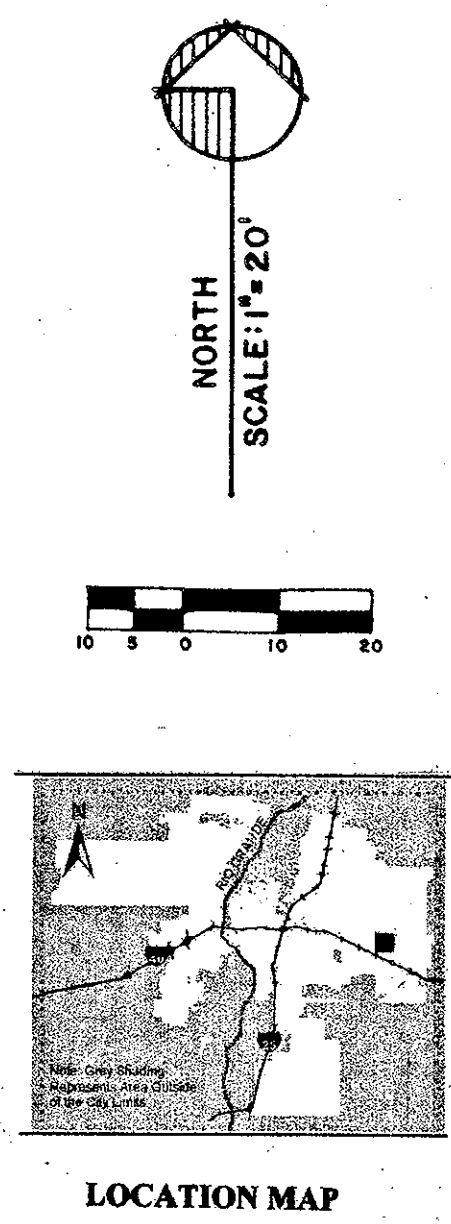


A PROPOSED  
GRADING AND DRAINAGE PLAN  
FOR A COMMERCIAL STRIP CENTER  
1220 EUBANK BLVD. N.E.  
ALBUQUERQUE, NEW MEXICO  
JANUARY, 2016





**VICINITY MAP**  
J-21-Z  
N.T.S.



**LOCATION MAP**

**DRAINAGE CERTIFICATION:**

I, LEVI J. VALDEZ, N.M.P.E. NO. 5693, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED MARCH 11, 2016. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY (FUTURE).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSES.

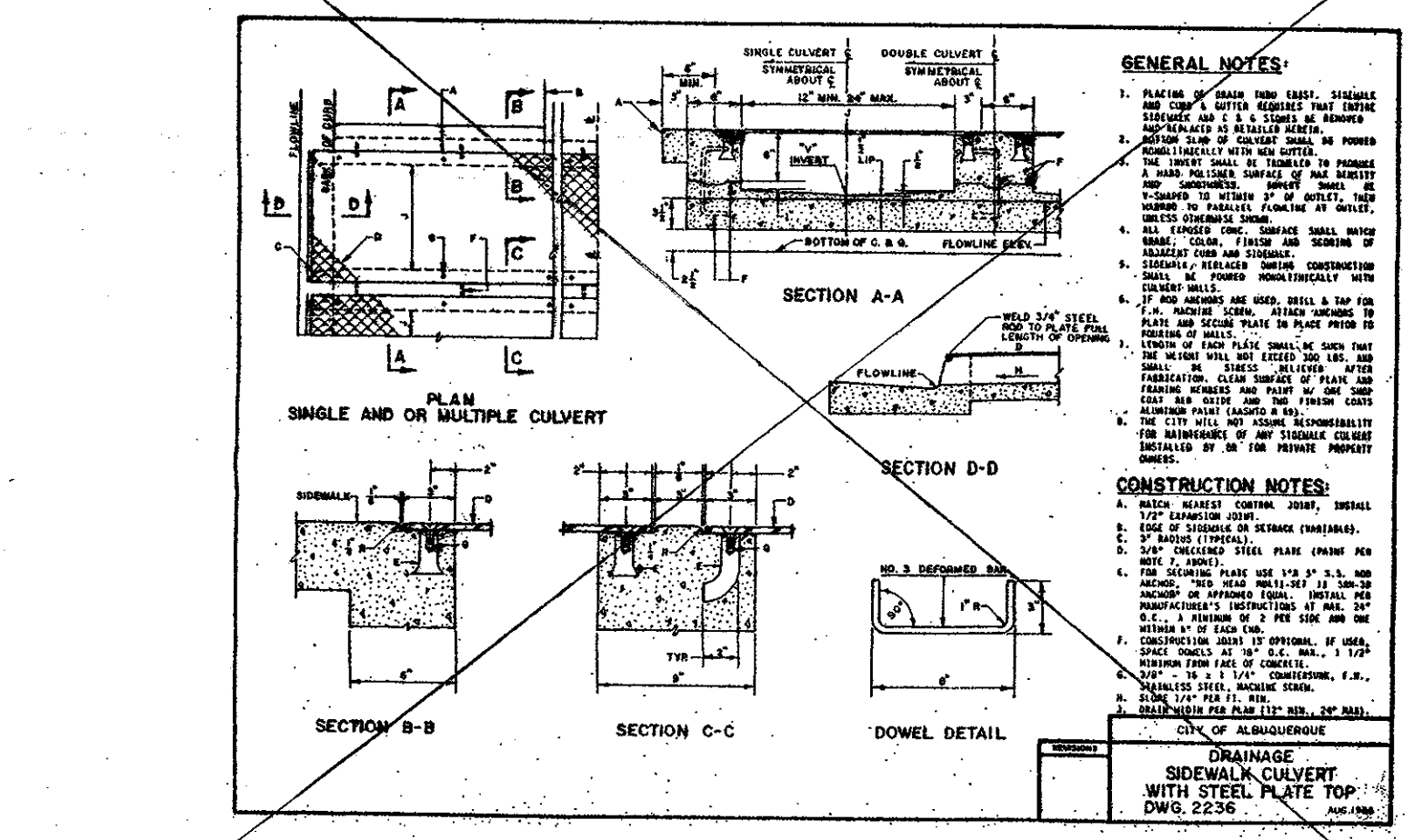
*Levi J. Valdez*  
LEVI J. VALDEZ, N.M.P.E. NO. 5693  
DATE: 04-26-17 10-30-17

**GENERAL NOTES:**

1. NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
2. NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

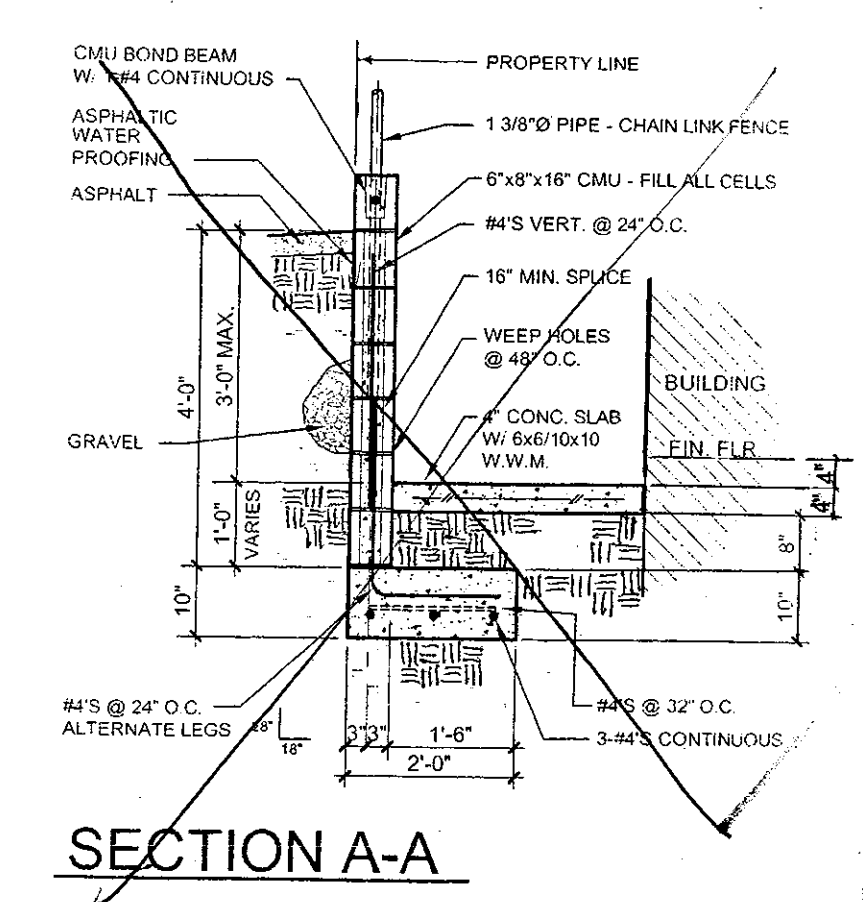
**LEGEND:**

- TOP OF CURB ELEVATION = 70.05.06
- CURB FLOWLINE ELEVATION = 70.05.41
- EXISTING SPOT ELEVATION = 71.2
- EXISTING CONTOUR ELEVATION = 70.0
- PROPOSED SPOT ELEVATION = 70.05.00
- PROPOSED CONTOUR ELEVATION = 70.0
- PROPOSED OR EXISTING CONCRETE SURFACE
- EXISTING FENCE LINE



- Drainage Facilities within City Right-of-Way Notice to Contractor**
1. An excavation permit will be required before beginning any work within City Right-of-Way.
  2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
  3. Two working days prior to any excavation, the contractor must contact the line locating service, New Mexico One Call 248-1990, for the location of existing utilities.
  4. Prior to construction, the contractor shall locate and verify the location of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
  5. Backfill compaction shall be according to traffic/road use.
  6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
  7. Work on arterial streets shall be performed on a 24-hour basis.

APPROVALS	NAME	DATE
HYDROLOGY INSPECTOR		
NOTE: ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.		



**SECTION A-A**

**DRAINAGE COMMENTS:**

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE EAST SIDE OF EUBANK BOULEVARD N.E. JUST SOUTH OF THE INTERSECTION OF EUBANK BLVD. N.E. AND CONSTITUTION AVENUE N.E., ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

THE SUBJECT SITE IS PRESENTLY A PARTIALLY DEVELOPED COMMERCIAL PROPERTY; THE PROPOSED PLAN AS SHOWN HEREON IS TO CONSTRUCT A NEW COMMERCIAL STRIP CENTER AND ASSOCIATED IMPROVEMENTS THEREON.

THE SUBJECT SITE, 1.) DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN, (RE: F.E.M.A. FIRM PANEL 25001C0358H, EFFECTIVE DATE: 08-16-12.), 2.) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 3.) DOES NOT CONTRIBUTE OFFSITE FLOWS TO ADJACENT PROPERTIES; NEW DEVELOPED FLOWS SHOWN ON THE PLAN HEREON ARE TO BE DIRECTED TO A "FIRST FLUSH RETENTION POND" AND DISCHARGED AT A DESIGNATED SPILLWAY ELEVATION INTO EUBANK BLVD. N.E., SAID FLOWS WILL HAVE NO ADVERSE AFFECT TO DOWNSTREAM PROPERTIES.

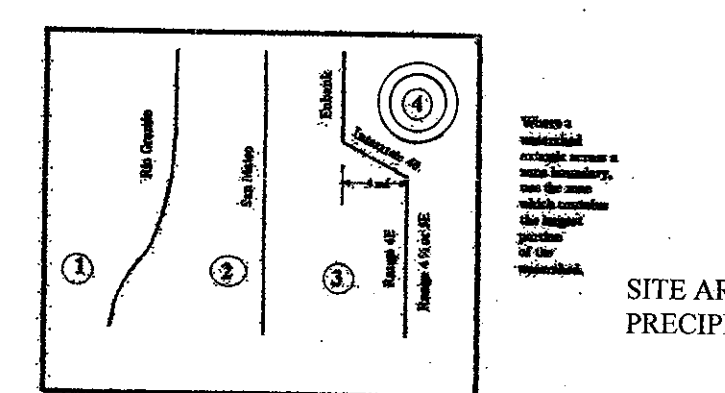
DRAINAGE CALCULATIONS ARE PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

**A-1 PRECIPITATION ZONES**  
Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40

**TABLE A-1B. PEAK INTENSITY (INCHES AT 1-HOUR)**

Zone	Intensity	100-YR (2-YR, 10-YR)
1	4.70	(1.84, 3.14)
2	5.05	(2.04, 3.41)
3	5.38	(2.21, 3.65)
4	5.61	(2.34, 3.83)



**TABLE A-4. LAND TREATMENTS**

Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Compacted, Unimproved Areas.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil uncompacted by human activity. Minimal vegetation. Unimproved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (sheet landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

**TABLE A-9. PEAK DISCHARGE (cfs/acre)**

Zone	Treatment			
	A	B	C	D
1	1.29 (0.00, 0.24)	2.05 (0.35, 0.76)	2.87 (0.47, 1.49)	4.37 (1.69, 2.89)
2	1.56 (0.00, 0.38)	2.28 (0.00, 0.85)	3.14 (0.46, 1.71)	4.70 (1.86, 3.14)
3	1.87 (0.00, 0.58)	2.60 (0.21, 1.19)	3.73 (0.78, 2.09)	5.02 (2.04, 3.39)
4	2.20 (0.05, 0.87)	2.92 (0.38, 1.45)	3.73 (1.06, 2.26)	5.25 (2.17, 3.57)

SITE AREA = 0.53 ACRE ZONE: FOUR (4)  
PRECIPITATION: 360 = 2.90 in.  
1440 = 3.65 in.  
10day = 5.95 in.

EXCESS PRECIPITATION:		PEAK DISCHARGE:	
TREATMENT A	0.80 in.	2.20 cfs/ac.	
TREATMENT B	1.08 in.	2.92 cfs/ac.	
TREATMENT C	1.46 in.	3.73 cfs/ac.	
TREATMENT D	2.64 in.	5.25 cfs/ac.	

EXISTING CONDITIONS:		PROPOSED CONDITIONS:	
TREATMENT A	AREA 0.00 ac.	AREA 0.00 ac.	
TREATMENT B	0.00 ac.	0.00 ac.	
TREATMENT C	0.23 ac.	0.09 ac.	
TREATMENT D	0.30 ac.	0.44 ac.	

**EXISTING EXCESS PRECIPITATION:**  
Weighted E = (0.80)x(0.00)+(1.08)x(0.00)+(1.46)x(0.23)+(2.64)x(0.30)/0.53 = 2.13 in.  
V100-360 = (2.13)x(0.53)/12 = 0.094167 ac-ft = 4,109.9 cf

**EXISTING PEAK DISCHARGE:**  
Q100 = (2.20)x(0.00)+(2.92)x(0.00)+(3.73)x(0.23)+(5.25)x(0.30) = 2.43 cfs

**PROPOSED EXCESS PRECIPITATION:**  
Weighted E = (0.80)x(0.00)+(1.08)x(0.00)+(1.46)x(0.09)+(2.64)x(0.44)/0.53 = 2.44 in.  
V100-360 = (2.44)x(0.53)/12.0 = 0.107767 ac-ft = 4,694.3 cf  
V100-1440 = (0.11)+(0.44)x(3.65 - 2.90)/12 = 0.13750 ac-ft = 5,989.5 cf  
V100-10day = (0.11)+(0.44)x(5.95 - 2.90)/12 = 0.22183 ac-ft = 9,663.1 cf

**PROPOSED PEAK DISCHARGE:**  
Q100 = (2.20)x(0.00)+(2.92)x(0.00)+(3.73)x(0.09)+(5.25)x(0.44) = 2.65 cfs  
INCREASE: Q100 = 0.22 CFS V100-360 = 584.4 CU. FT.

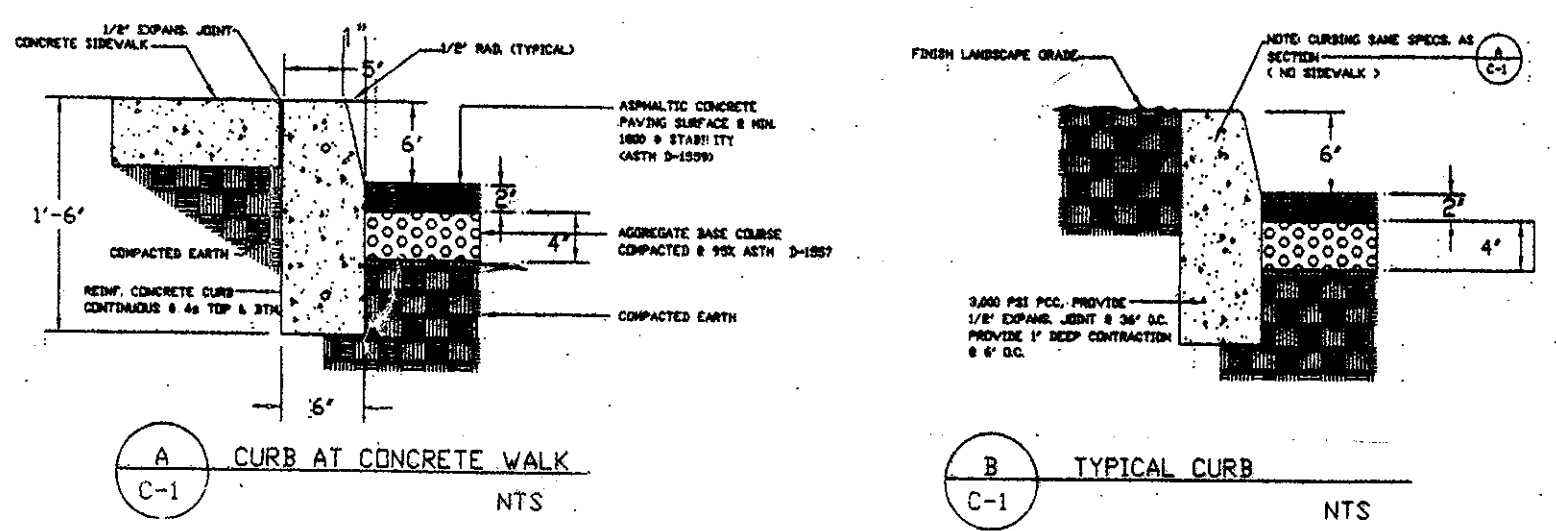
NOTE: "1" FLUSH RETENTION POND VOLUME: (TOTAL REQUIRED) 0.34" (0.03") x 19,166.4 SQ. FT. = 575.0 CU.FT.

RETENTION PONDS PROVIDED: 590.0 CU.FT. (TOTAL)

LEGAL DESCRIPTION: LOT 13A, IN BLOCK 10A, DALE J. BELLAMAH'S PRINCESS JEANNE PARK ADDITION, ALBUQUERQUE, NEW MEXICO.

BENCH MARK REFERENCE: CITY OF ALBUQUERQUE STATION "6-J21", ELEVATION = 5471.44, (NAVD 1988), T.B.M. AS SHOWN ON THE PLAN HEREON.

\* NOTE: ELEVATIONS SHOWN IN "RED" ARE "AS-BUILT" SPOT ELEVATIONS.



**SECTION A-A**  
CURB AT CONCRETE WALK  
NTS

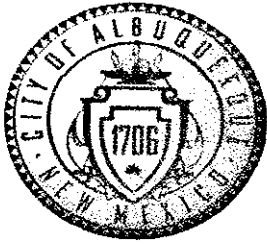
**SECTION B-B**  
TYPICAL CURB  
NTS

**ENGINEER'S SEAL**  
LEVI J. VALDEZ  
NEW MEXICO  
5693  
03-11-16

(ENGINEER'S CERTIFICATION)  
JULY 2017  
(OCTOBER 30, 2017)

A PROPOSED  
GRADING AND DRAINAGE PLAN  
FOR A COMMERCIAL STRIP CENTER  
1220 EUBANK BLVD. N.E.  
ALBUQUERQUE, NEW MEXICO  
JANUARY, 2016





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: 1220 EUBANK BLVD N.E. Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: LOT 13A, IN BLOCK 10A, DALE J. BELLAMAH'S PRINCESS JEANNE PL  
City Address: 1220 EUBANK BLVD. N.E., ALBUQUERQUE, NEW MEXICO  
Applicant: FELIX RABADI Contact: FELIX RABADI  
Address: 120 WYOMING BLVD. S.E., ALBUQUERQUE, NEW MEXICO  
Phone#: 505-440-6443 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Other Contact: GEORGE T. RODRIGUEZ / LEVI J. VALDES, P.E. Contact: LEVI VALDES  
Address: 12800 SAN JUAN N.E., ALBUQUERQUE, NEW MEXICO 87123  
Phone#: 505-610-0593 Fax#: \_\_\_\_\_ E-mail: paurod@hotmail

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION

- ☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR

- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)

- ☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL? ☒ Yes ☐ No

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL

- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 10-30-17 By: GEORGE T. RODRIGUEZ - CONSULTANT

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_