

CITY OF ALBUQUERQUE



February 22, 2017

Levi J. Valdez, PE
George T Rodriguez-Development Consultant
12800 San Juan Rd. SE
Albuquerque, NM 87123

**Re: Shopping Center
1220 Eubank Blvd. NE
Request 30-Temporary C.O. - Accepted
Engineer's Stamp dated: 3-11-16 (J21D045)
Certification dated: 1-26-17**

Dear Mr. Valdez,

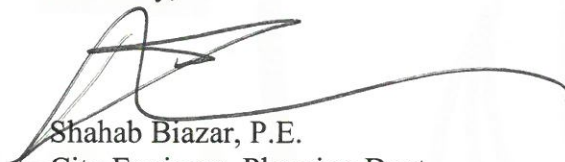
Based on the certification provided in your submittal received 2/17/2017, the above referenced is approved for a 30-day Temporary Release of Occupancy by Hydrology. However, before a permanent CO can be accepted the following comments must be addressed.

- Alley grades and improvements to be provided. Submit plans thru DRC for approval.
- Pond #1 grades need to be corrected.
- Remove notes referring to pond #2.
- Remove note #1 referring to existing retaining wall.
- Correct drainage on north side against building B.

An inspection by our office will need to take place after these corrections are made.

If you have any questions, you can contact me at 924-3999 or Totten Elliott at 924-3982.

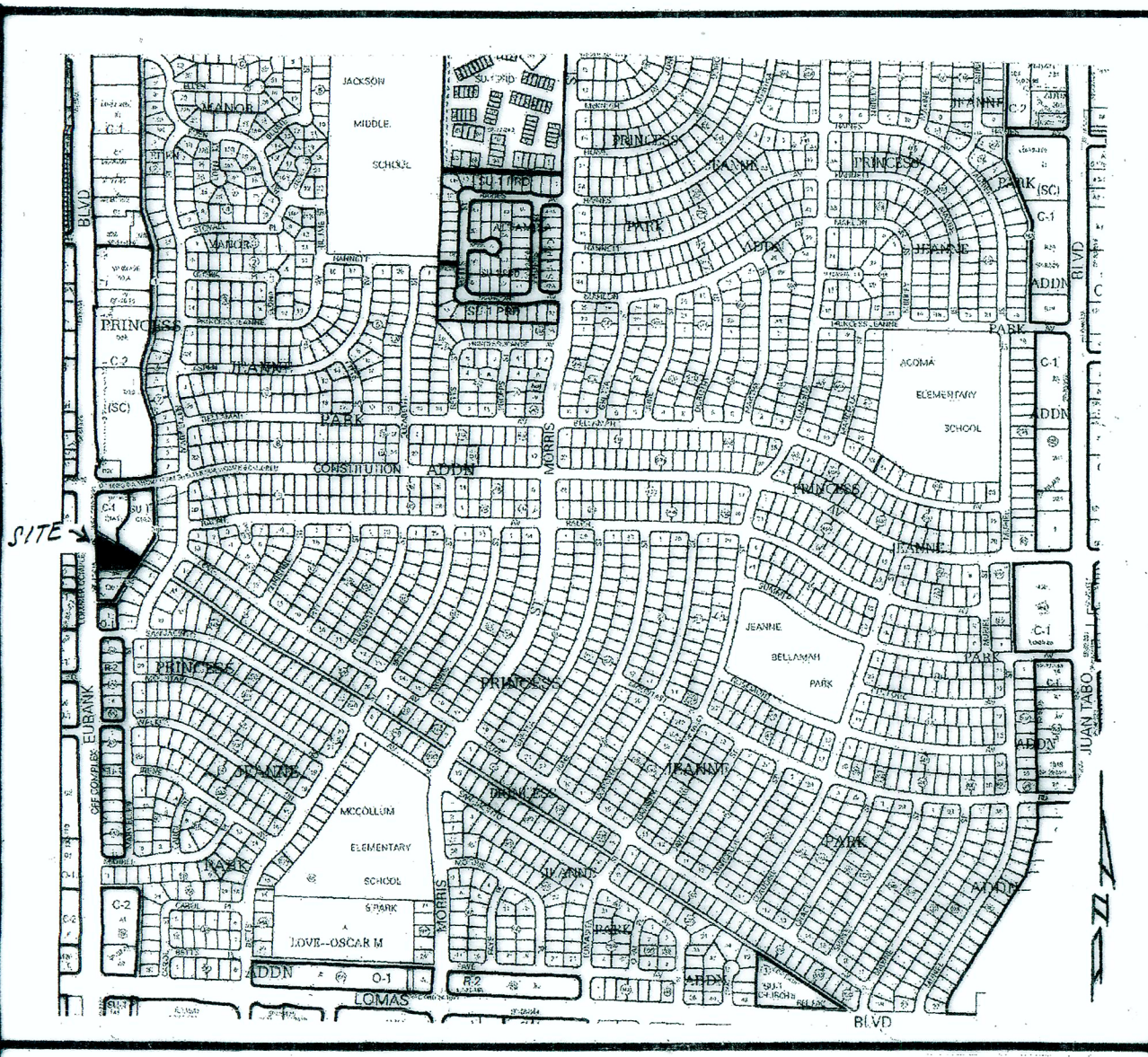
Sincerely,


Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

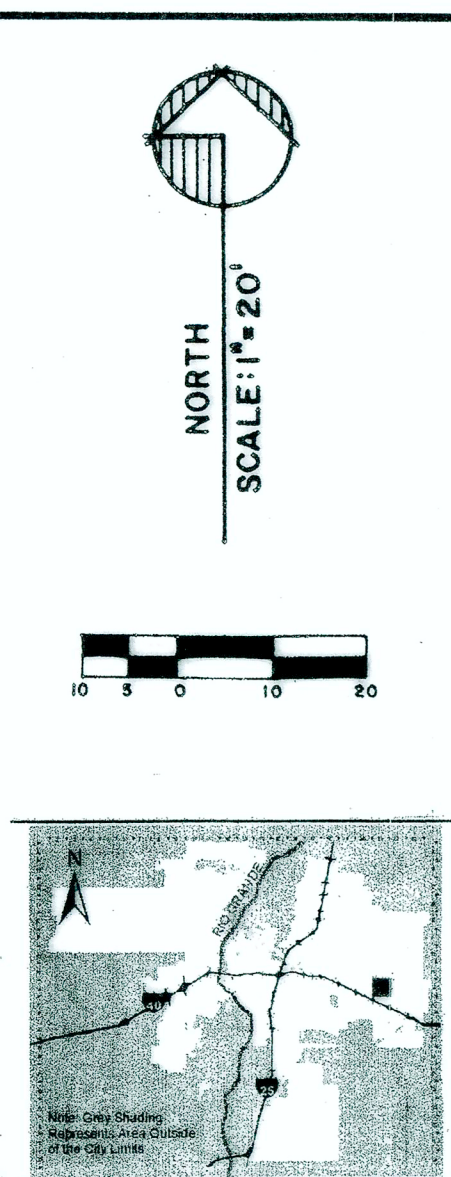
TE/SB

C: email

Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois



VICINITY MAP J-21-Z N.T.S.



LOCATION MAP

DRAINAGE CERTIFICATION:

I, LEVI J. VALDEZ, N.M.P.E. NO. 5693, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED MARCH 11, 2016. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY (TEMPORARY).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSES.

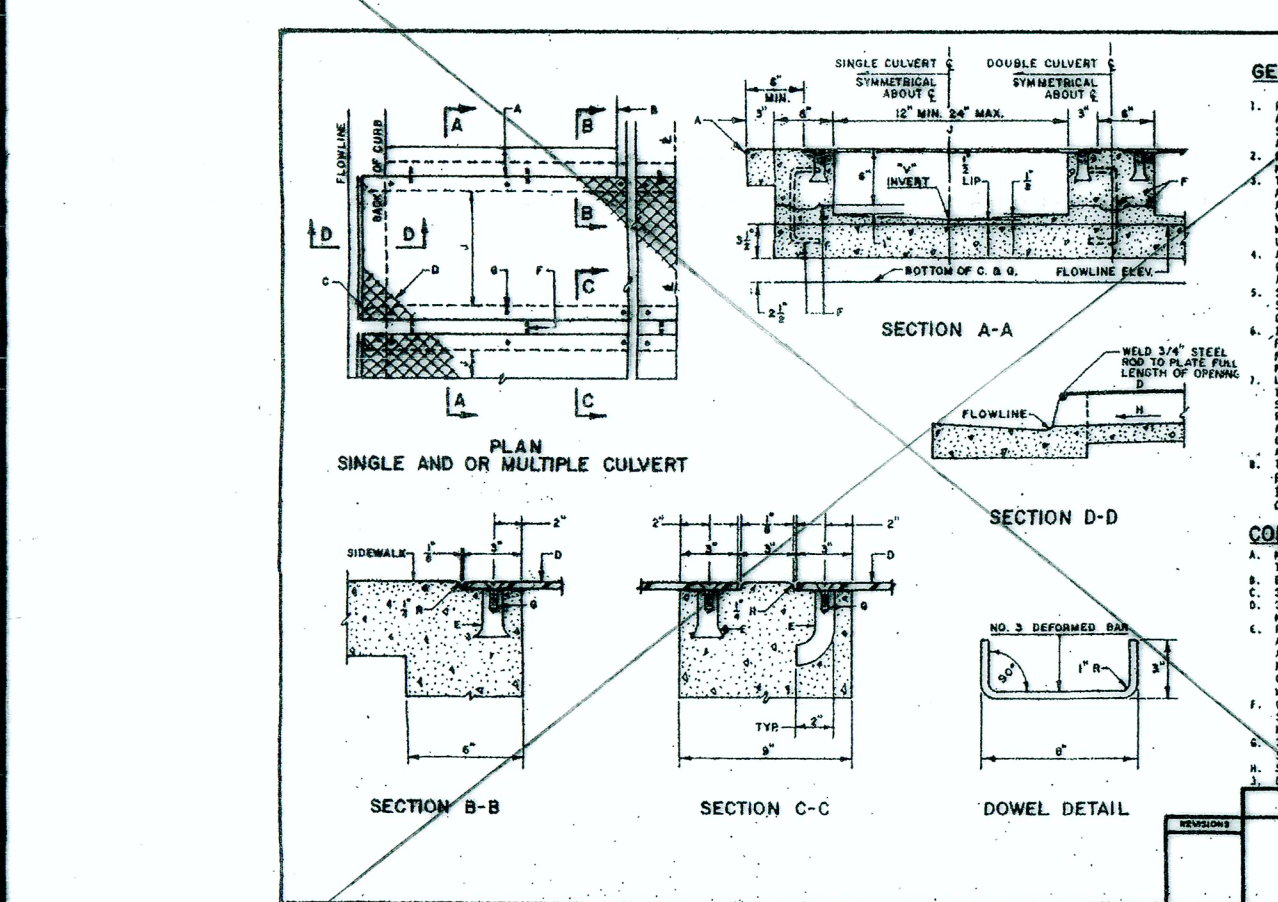
Levi J. Valdez
LEVI J. VALDEZ, N.M.P.E. NO. 5693
01-26-17
DATE

GENERAL NOTES:

- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

LEGEND:

- TOP OF CURB ELEVATION = TC = 65.06
- CURB FLOWLINE ELEVATION = FL = 64.91
- EXISTING SPOT ELEVATION = + 71.2
- EXISTING CONTOUR ELEVATION = - 67.0
- PROPOSED SPOT ELEVATION = + 66.00
- PROPOSED CONTOUR ELEVATION = - 67.0
- PROPOSED OR EXISTING CONCRETE SURFACE =
- EXISTING FENCE LINE =



GENERAL NOTES:

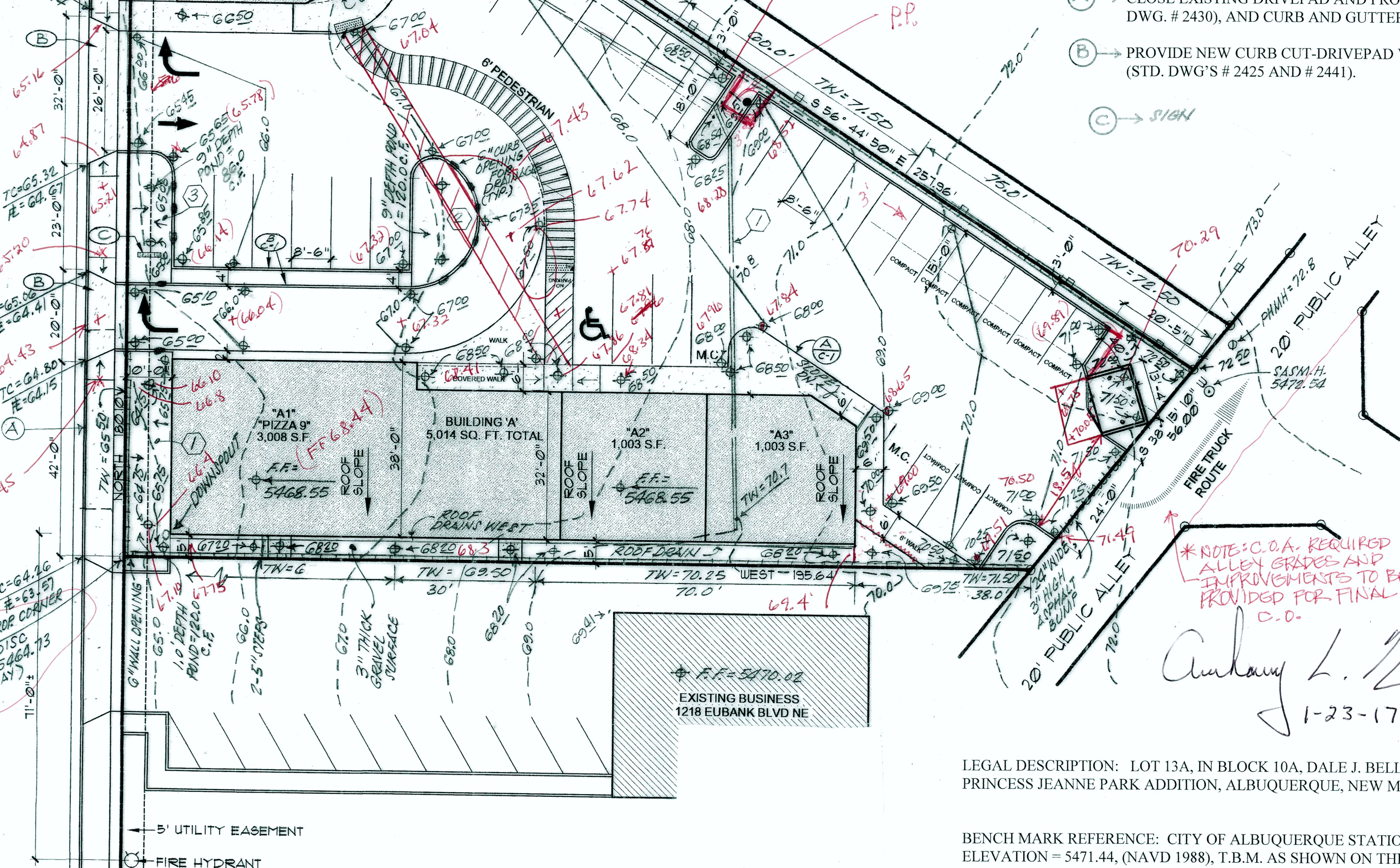
- PLAN OF CURB AND GUTTER SHALL BE SUBMITTED TO THE CITY OF ALBUQUERQUE FOR REVIEW AND APPROVAL.
- THE CURB AND GUTTER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE SPECIFICATIONS.
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CONSTRUCTION NOTES:

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DRAINAGE: SINGLE CULVERT WITH STEEL PLATE TOP DWG. 2236

1220 EUBANK BLVD. NE



DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE EAST SIDE OF EUBANK BOULEVARD N.E. JUST SOUTH OF THE INTERSECTION OF EUBANK BLVD. N.E. AND CONSTITUTION AVENUE N.E., ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

THE SUBJECT SITE IS PRESENTLY A PARTIALLY DEVELOPED COMMERCIAL PROPERTY; THE PROPOSED PLAN AS SHOWN HEREON IS TO CONSTRUCT A NEW COMMERCIAL STRIP CENTER AND ASSOCIATED IMPROVEMENTS THEREON.

THE SUBJECT SITE, 1.) DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN, (RE: F.E.M.A. FIRM PANEL 35001C0356H, EFFECTIVE DATE: 08-16-12). 2.) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 3.) DOES NOT CONTRIBUTE OFFSITE FLOWS TO ADJACENT PROPERTIES; NEW DEVELOPED FLOWS SHOWN ON THE PLAN HEREON ARE TO BE DIRECTED TO A "FIRST FLUSH RETENTION POND" AND DISCHARGED AT A DESIGNATED SPILLWAY ELEVATION INTO EUBANK BLVD. N.E., SAID FLOWS WILL HAVE NO ADVERSE AFFECT TO DOWNSTREAM PROPERTIES.

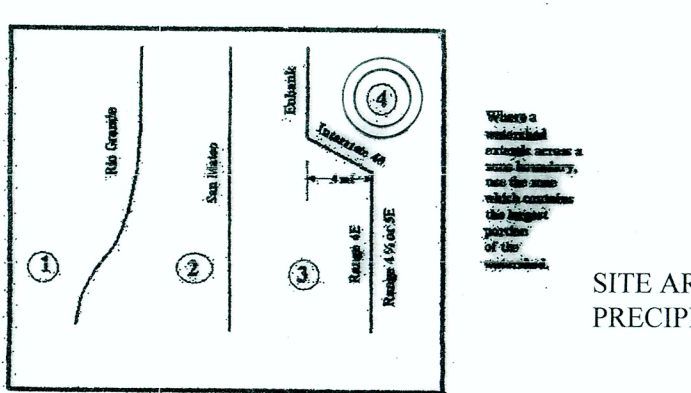
DRAINAGE CALCULATIONS ARE PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

A.1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East; South of Interstate 40
4	East of Eubank, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40

Zone	Intensity (IN/HR at 1-4.5 hour)
1	4.70 (1.84, 3.14)
2	5.05 (2.04, 3.41)
3	5.38 (2.21, 3.65)
4	5.61 (2.34, 3.83)



Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil uncompacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock-on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub cover with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In list of specific measurement for treatment D, the areal percentages in TABLE A-5 may be employed.

Zone	Treatment	100-YR (2-YR, 10-YR)
1	A	1.52 (0.00, 0.24)
1	B	2.08 (0.33, 0.76)
1	C	3.87 (0.47, 1.49)
1	D	4.37 (1.69, 2.89)
2	A	1.56 (0.00, 0.38)
2	B	2.28 (0.08, 0.95)
2	C	3.14 (0.60, 1.71)
2	D	4.70 (1.86, 3.14)
3	A	1.87 (0.00, 0.58)
3	B	2.60 (0.21, 1.19)
3	C	3.45 (0.78, 2.00)
3	D	5.02 (2.04, 3.39)
4	A	2.20 (0.05, 0.87)
4	B	2.92 (0.38, 1.45)
4	C	3.73 (1.00, 2.26)
4	D	5.25 (2.17, 3.57)

SITE AREA = 0.53 ACRE ZONE: FOUR (4)
PRECIPITATION: 360 = 2.90 in.
1440 = 3.65 in.
10day = 5.95 in.

EXCESS PRECIPITATION: PEAK DISCHARGE:

TREATMENT A 0.80 in. 2.20 cfs/ac.
TREATMENT B 1.08 in. 2.92 cfs/ac.
TREATMENT C 1.46 in. 3.73 cfs/ac.
TREATMENT D 2.64 in. 5.25 cfs/ac.

EXISTING CONDITIONS: PROPOSED CONDITIONS:

AREA AREA
TREATMENT A 0.00 ac. 0.00 ac.
TREATMENT B 0.00 ac. 0.00 ac.
TREATMENT C 0.23 ac. 0.09 ac.
TREATMENT D 0.30 ac. 0.44 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.80)x(0.00)+(1.08)x(0.00)+(1.46)x(0.23)+(2.64)x(0.30)/0.53 = 2.13 in.
V100-360 = (2.13)x(0.53)/12 = 0.094167 ac-ft = 4,109.9 cf

EXISTING PEAK DISCHARGE:

Q100 = (2.20)x(0.00)+(2.92)x(0.00)+(3.73)x(0.23)+(5.25)x(0.30) = 2.43 cfs

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.80)x(0.00)+(1.08)x(0.00)+(1.46)x(0.09)+(2.64)x(0.44)/0.53 = 2.44 in.
V100-360 = (2.44)x(0.53)/12.0 = 0.107767 ac-ft = 4,694.3 cf
V100-1440 = (0.11)+(0.44)x(3.65 - 2.90)/12 = 0.13750 ac-ft = 5,989.5 cf
V100-10day = (0.11)+(0.44)x(5.95 - 2.90)/12 = 0.22183 ac-ft = 9,663.1 cf

PROPOSED PEAK DISCHARGE:

Q100 = (2.20)x(0.00)+(2.92)x(0.00)+(3.73)x(0.09)+(5.25)x(0.44) = 2.65 cfs

INCREASE: Q100 = 0.22 CFS V100-360 = 584.4 CU. FT.

NOTE: 1" FLUSH RETENTION POND VOLUME: (TOTAL REQUIRED) 0.34" (0.03") x 19,166.4 SQ. FT. = 575.0 CU.FT.

RETENTION PONDS PROVIDED: 5900 CU.FT. (TOTAL)

LEGAL DESCRIPTION: LOT 13A, IN BLOCK 10A, DALE J. BELLAMAH'S PRINCESS JEANNE PARK ADDITION, ALBUQUERQUE, NEW MEXICO.

BENCH MARK REFERENCE: CITY OF ALBUQUERQUE STATION "6-J21", ELEVATION = 5471.44, (NAVD 1988), T.B.M. AS SHOWN ON THE PLAN HEREON.

* NOTE: ELEVATIONS SHOWN IN "RED" ARE "AS-BUILT" SPOT ELEVATIONS.

(ENGINEER'S CERTIFICATION) JANUARY 2017

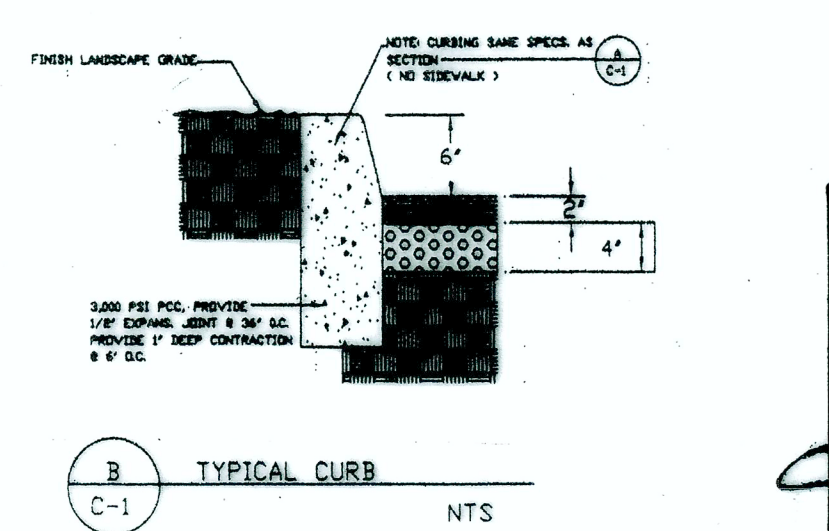
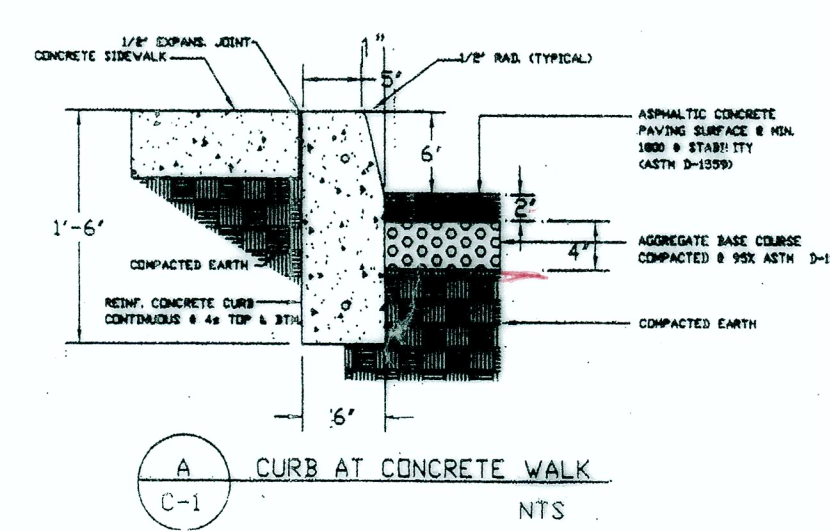
Drainage Facilities within City Right-of-Way Notice to Contractor

- An excavation permit will be required before beginning any work within City Right-of-Way.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- Two working days prior to any excavation, the contractor must contact the local locating service, New Mexico One Call 260-1990, for the location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to traffic/street use.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets shall be performed on a 24-hour basis.

APPROVALS NAME DATE

HYDROLOGY INSPECTOR

NOTE: ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.



GRADING AND DRAINAGE PLAN

LEVI J. VALDEZ
NEW MEXICO
5693
03-11-16
ENGINEER'S SEAL

A PROPOSED
GRADING AND DRAINAGE PLAN
FOR A COMMERCIAL STRIP CENTER
1220 EUBANK BLVD. N.E.
ALBUQUERQUE, NEW MEXICO
JANUARY, 2016