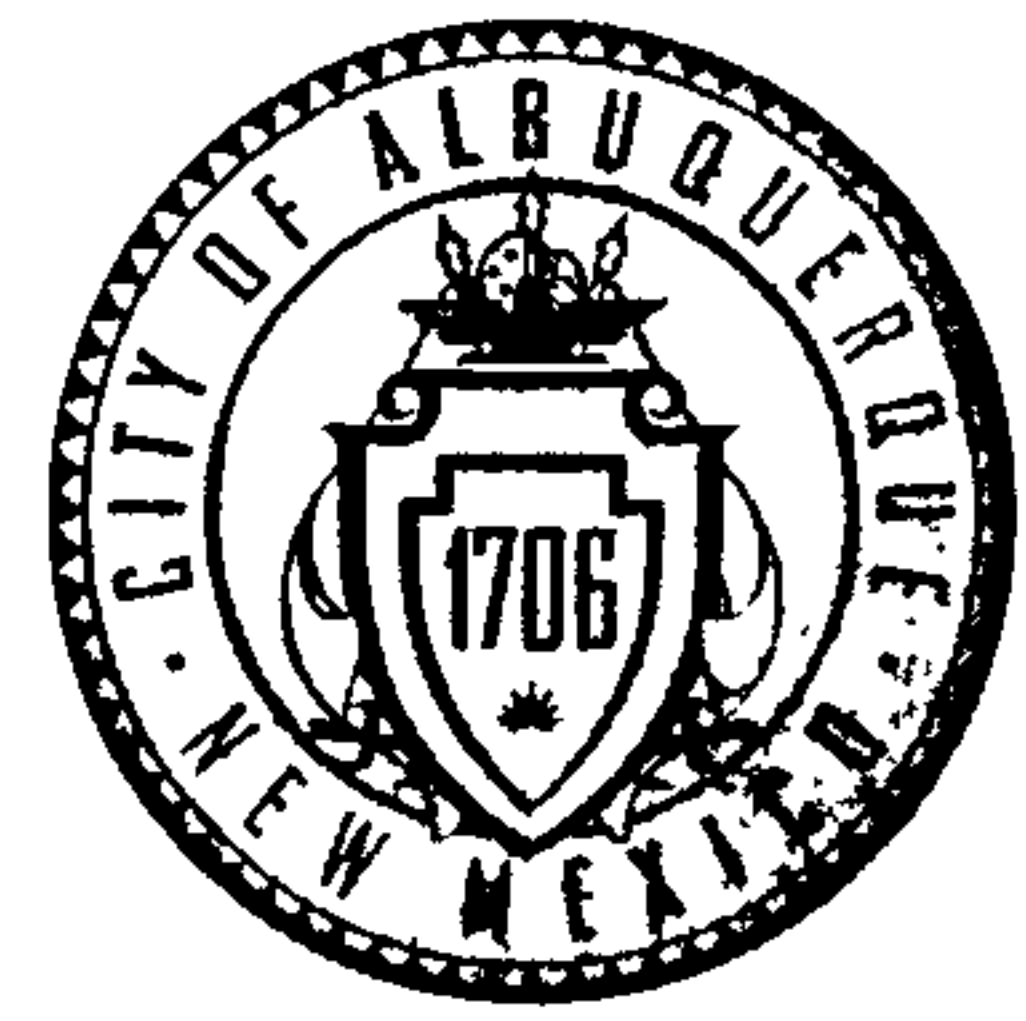


CITY OF ALBUQUERQUE



February 22, 2017

Levi J. Valdez, PE
George T Rodriguez-Development Consultant
12800 San Juan Rd. SE
Albuquerque, NM 87123

**Re: Shopping Center
1220 Eubank Blvd. NE
Request 30-Temporary C.O. - Accepted
Engineer's Stamp dated: 3-11-16 (J21D045)
Certification dated: 1-26-17**

Dear Mr. Valdez,

Based on the certification provided in your submittal received 2/17/2017, the above referenced is approved for a 30-day Temporary Release of Occupancy by Hydrology. However, before a permanent CO can be accepted the following comments must be addressed.

PO Box 1293

Albuquerque

New Mexico 87103

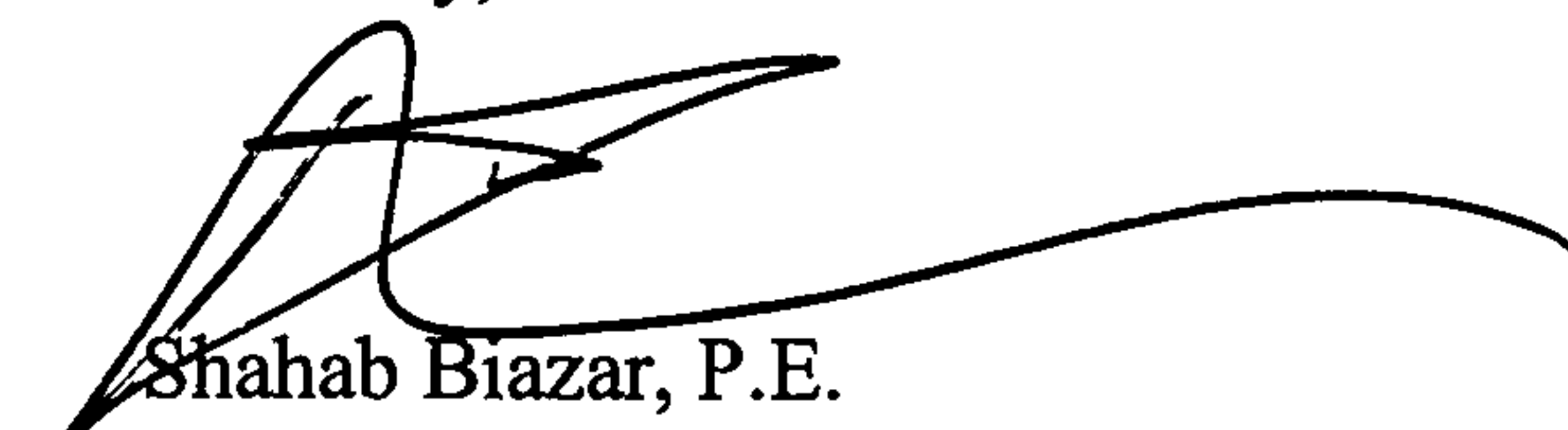
- Alley grades and improvements to be provided. Submit plans thru DRC for approval.
- Pond #1 grades need to be corrected.
- Remove notes referring to pond #2.
- Remove note #1 referring to existing retaining wall.
- Correct drainage on north side against building B.

An inspection by our office will need to take place after these corrections are made.

www.cabq.gov

If you have any questions, you can contact me at 924-3999 or Totten Elliott at 924-3982.

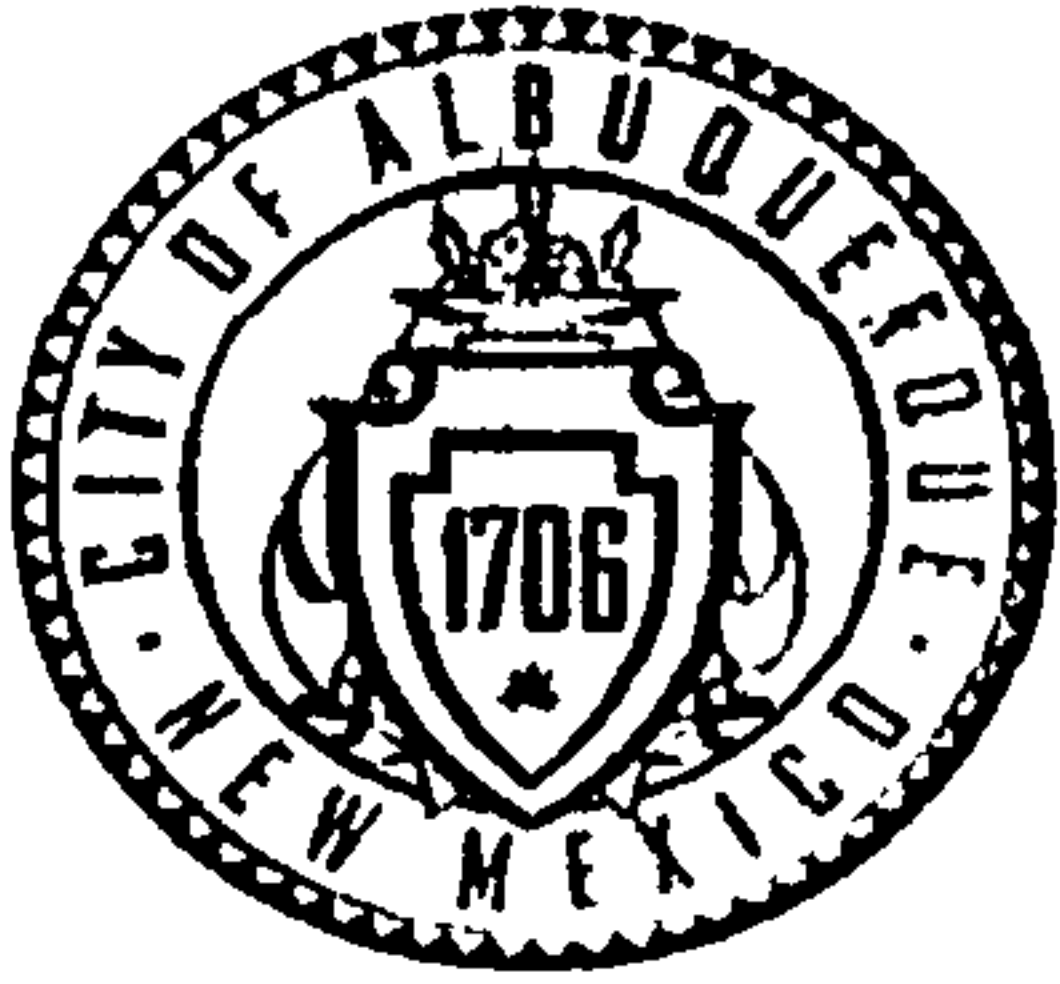
Sincerely,


Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

TE/SB

C: email

Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: 1220 EUBANK N.E. Building Permit #: _____ Hydrology File #: J210045
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 13A, BLOCK 10A, DALE J. BELLAMAH'S PRINCESS JEAN PARK
City Address: 1220 EUBANK BLVD. N.E.

Applicant: FELIX RABADI Contact: FELIX RABADI
Address: 1220 EUBANK N.E.
Phone#: 505-440-6443 Fax#: _____ E-mail: _____
Other Contact: GEORGE T. RODRIGUEZ Contact: GEORGE RODRIGUEZ
Address: 12800 SAN JUAN N.E.
Phone#: 505-610-0593 Fax#: _____ E-mail: paurod@hotmail.com

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION
FOR (TEMP.)
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 02-17-17 By: [Signature]

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

April 7, 2016

Levi J. Valdez, PE
George T Rodriguez-Development Consultant
12800 San Juan Rd. SE
Albuquerque, NM 87123

**Re: Shopping Center
1220Eubank NE
Grading & Drainage Plan
Engineer's Stamp dated: 3-11-16 (J21D045)**

Dear Mr. Valdez,

PO Box 1293

Based on the information provided in your submittal received 4/6/2016, this plan is approved for building Permit.

Albuquerque

Please attach a copy of this approved plan, dated 3-11-16, to the construction sets in the permitting process prior to sign-off by Hydrology.

New Mexico 87103

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

www.cabq.gov

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Hydrology
Planning Department

RR/AC
C: email

J21D045

From: Patz, Logan W.
To: Cordova, Camille C. (camillecordova@cabq.gov)
Cc: "Del Jack"; Biazar, Shahab
Subject: Eubank Shopping Center, 1220 Eubank Blvd NE - J21D045 TCL 30-Day CO Temp Approval
Date: Thursday, February 02, 2017 1:29:00 PM

Hello Camille,

The transportation section is ok with issuing a 30-day Temp CO for the project site above. Letter will follow after submittal of request for permanent CO.

Let me know if you have any questions.

Thanks.

Logan Patz

Planning Department
Transportation Development
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
505-924-3630

J21D045

From: Patz, Logan W.
To: "Del Jack"
Subject: Eubank Shopping Center, 1220 Eubank Blvd NE - J21D045 TCL CO Temp
Date: Wednesday, February 01, 2017 4:43:00 PM

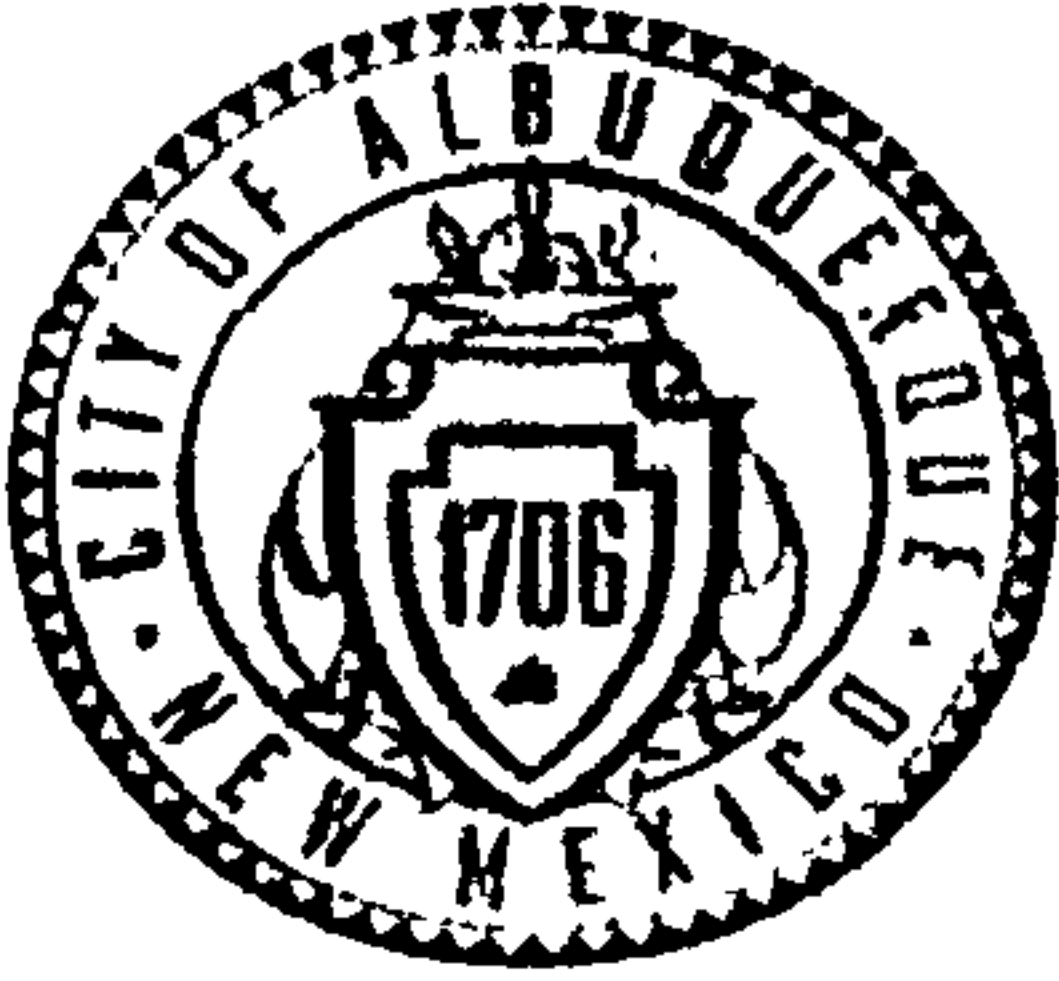
Hello,

For the project listed above, a 30 day temp CO should have been issued. I was able to visit the site Monday Jan 30 and saw there was some improvements going on to the entrance, alley and the dumpster pad. These improvements will need to be completed and the changes redlined on the plan when submitting for the final CO. Other Items missing and changed. The signs need to be posted and the Motor cycle parking swapped with the compact car spot.

Thank you.

Logan Patz

Planning Department
Transportation Development
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
505-924-3630



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: ELIBANK Shopping Center Building Permit #: 201690526 Hydrology File #: J21D045
DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: REPLAT OF LOT 13A, BLOCK 10A, DALE J. BELMONT, PRINCESS JEANE PARK
City Address: 1220 ELIBANK BLVD. N.E., ALBUQUERQUE, N.M. 87112

Applicant: DEL PAUL JACK Contact: DEL
Address: 3005 ARNO ST. N.E., ABQ, N.M. 87107
Phone#: 505.235.2670 Fax#: ~ E-mail: del paul jack@yahoo.com
Other Contact: GEORGE RODRIGUEZ, P.E. Contact: GEORGE
Address: ~
Phone#: 505.245.0523 Fax#: ~ E-mail: ~
610.

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

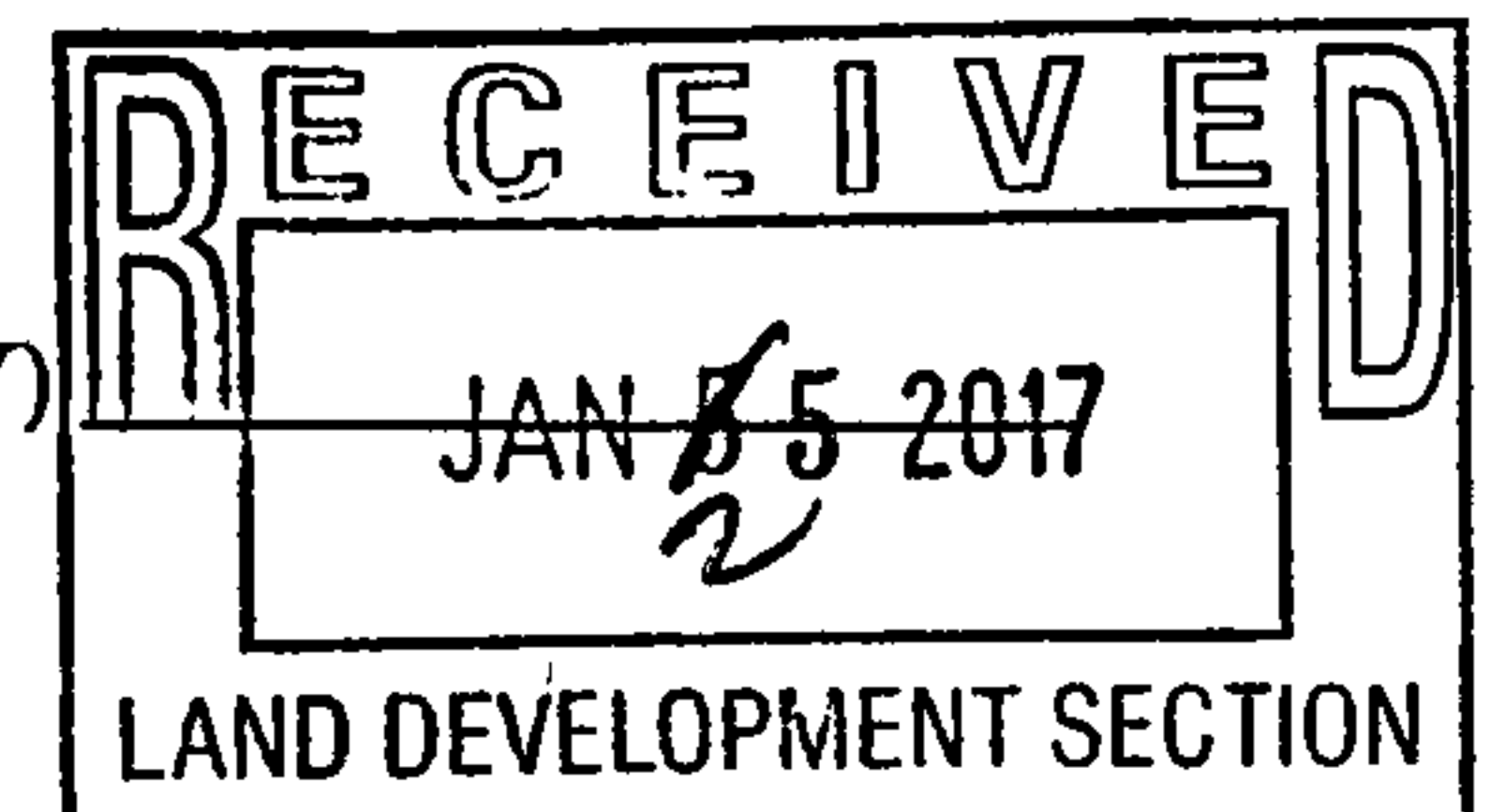
IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
(30 DAY TEMPORARY)
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ OTHER (SPECIFY) _____



DATE SUBMITTED: 20th of JANUARY 2016 By: DEL JACK

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

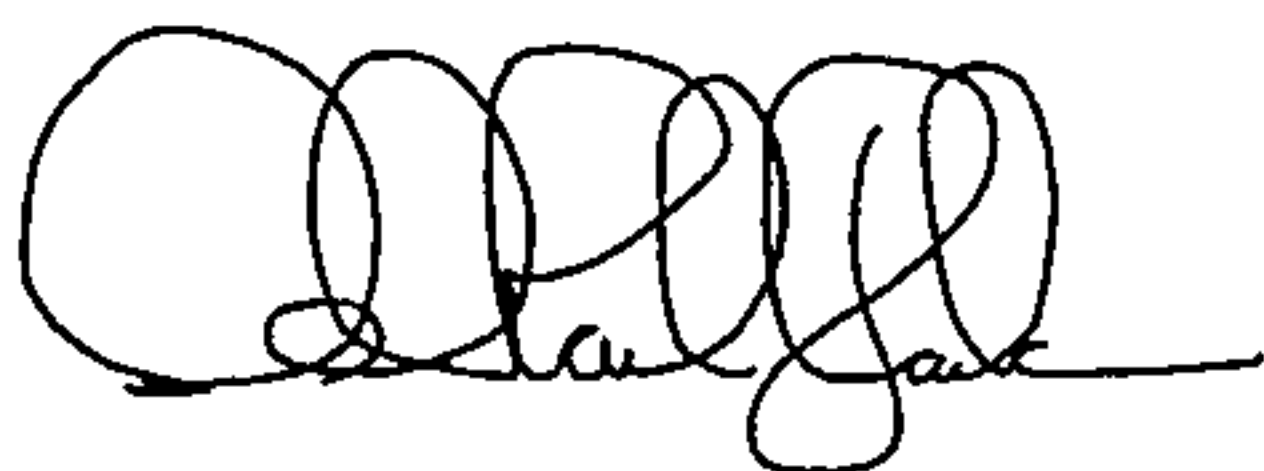
FEE PAID: _____

TRAFFIC CIRCULATION ~ LETTER OF BUILT COMPLIANCE

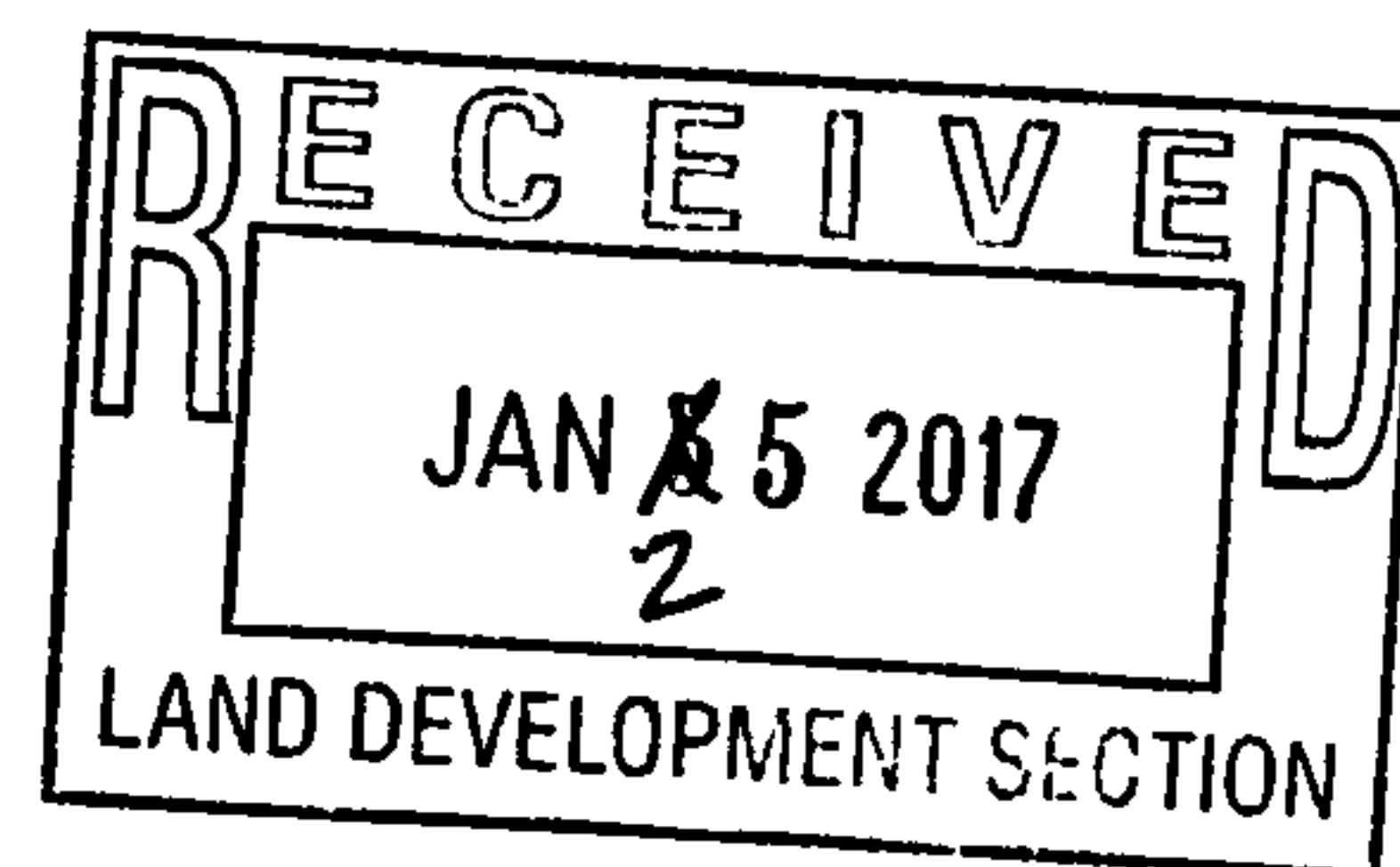
I, DEL PAUL JACK, NMRA #858, OF DEL PAUL JACK ARCHITECT HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED APRIL 11, 2016 . THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY GEORGE RODRIGUEZ OF THE FIRM GEORGE RODRIGUEZ P.E. . I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON THE 16TH OF JANUARY 2017 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

NO EXCEPTIONS ARE PRESENTED OR REQUESTED

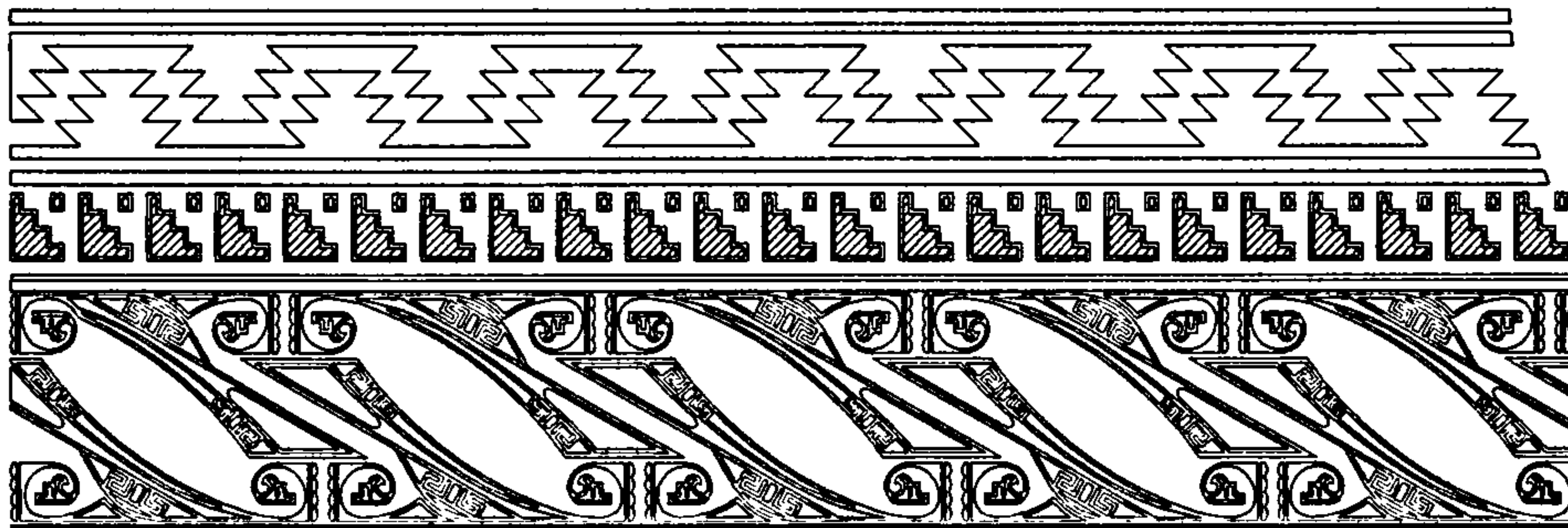
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



DEL PAUL JACK ARCHITECT
N.M. REGIS. #858



DEL PAUL JACK ~ ARCHITECT ~ 3005 ARNO ST. N.E.
ALBUQUERQUE ~ NEW MEXICO ~ 505 235 2670



CITY OF ALBUQUERQUE



April 11, 2016

Del Paul Jack
Del Paul Jack Architect
3005 Arno St., NE
Albuquerque, NM 87107

Re: **Shopping Center**
1220 Eubank Blvd., NE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 4-8-16 (J21-D045) *me*

Dear Mr. Jack,

The TCL submittal received 4-11-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

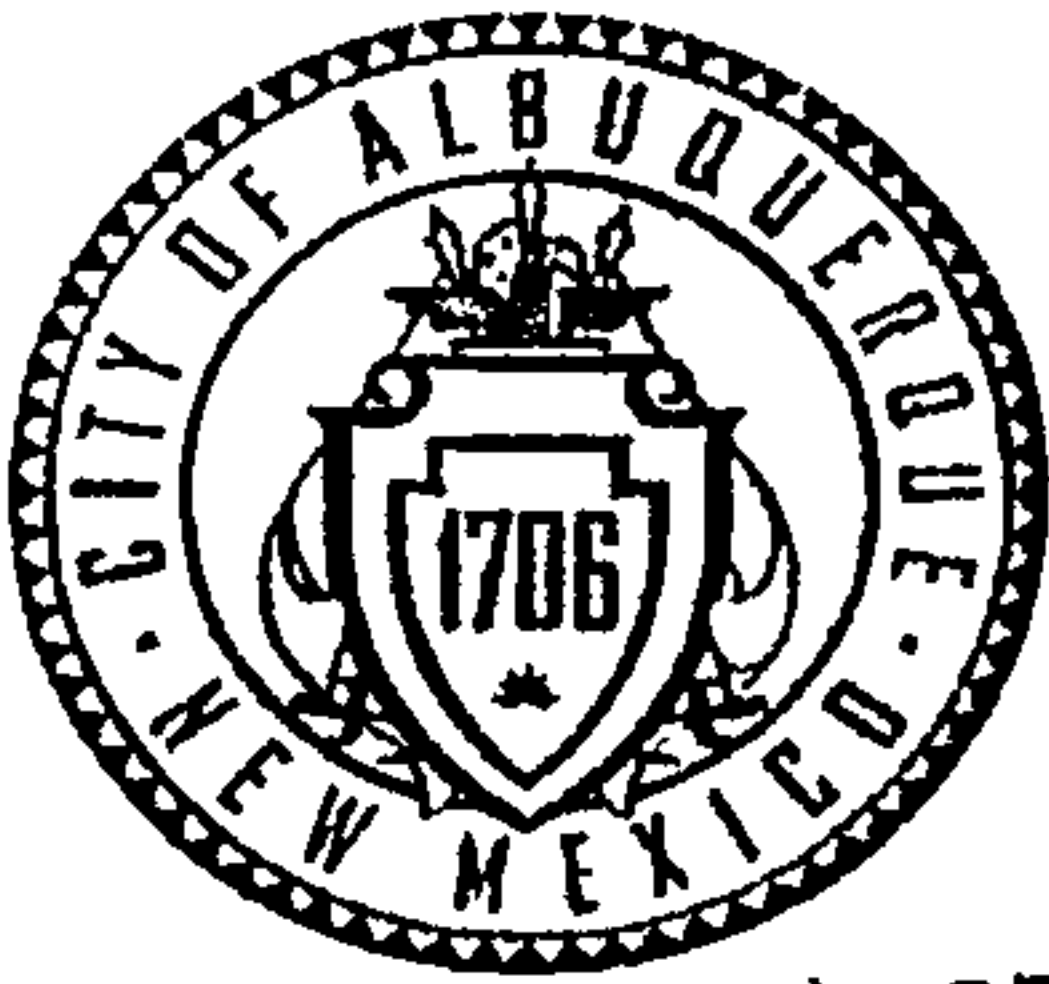
\gs via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

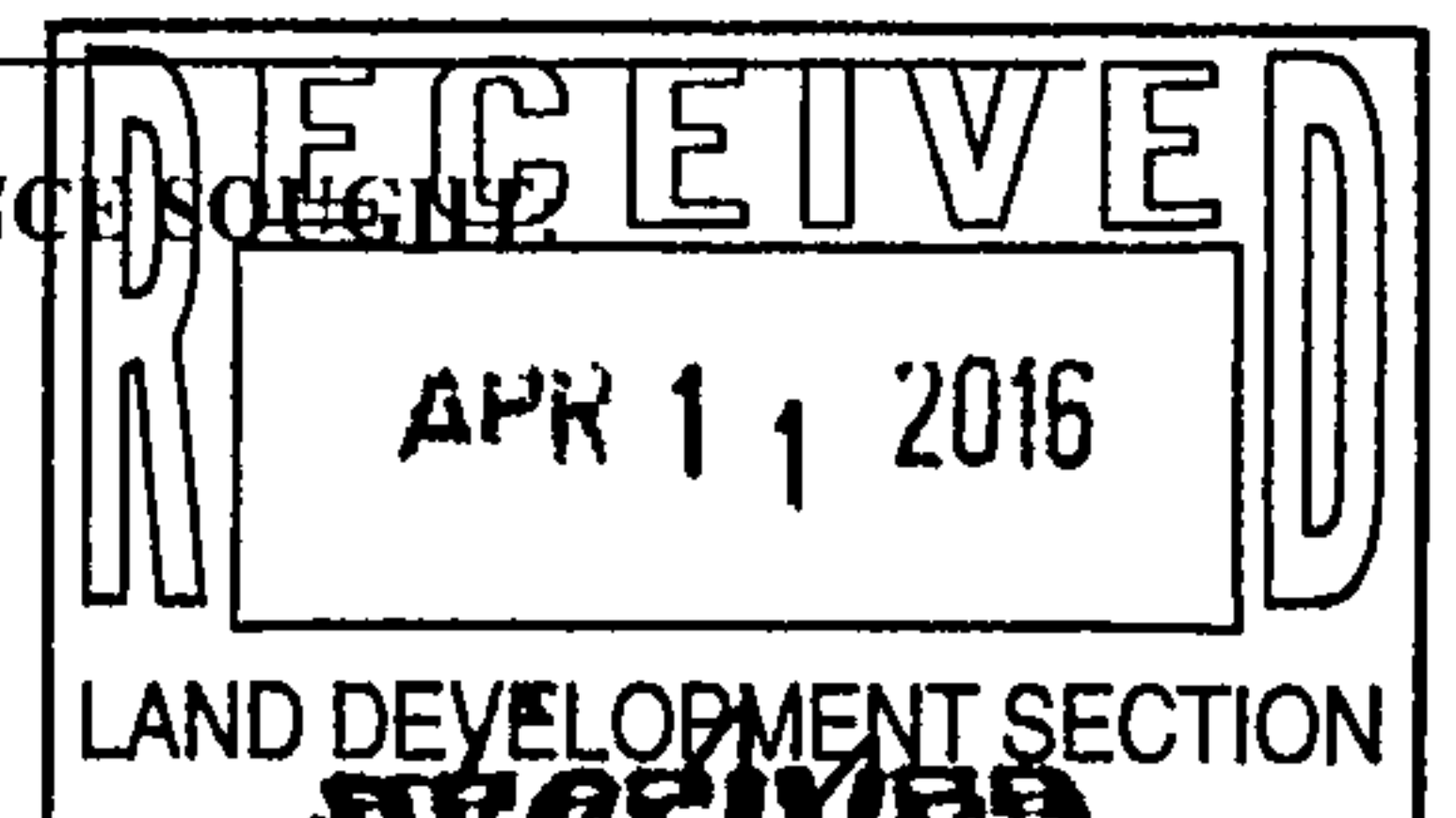
Project Title: SHOPPING CENTER @ 1220 CUBANK N.E. Building Permit #: _____ City Drainage #: 121045
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 13A, IN BLOCK 10A, DALE J. BELLAMAH'S PRINCESS JEANNE PARK
City Address: 1220 CUBANK N.E.
Engineering Firm: LEVI J. VALDEZ, P.E. - GEORGE T. RODRIGUEZ - DEVEL. CONSULT. Contact: GEORGE RODRIGUEZ
Address: 12800 SAN JUAN N.E., ALBUQUERQUE, NEW MEXICO
Phone#: 505-610-0593 Fax#: _____ E-mail: pawrod@hotmail.com
Owner: FELIX RABADI Contact: FELIX RABADI
Address: 11201 SAN ANTONIO N.E., ALBUQUERQUE, NEW MEXICO 87122
Phone#: 505-440-6443 Fax#: _____ E-mail: _____
Architect: DEL PAUL JACK Contact: DEL PAUL JACK
Address: ALBUQUERQUE, NEW MEXICO
Phone#: _____ Fax#: _____ E-mail: _____
Surveyor: HARRIS SURVEYING Contact: TONY HARRIS
Address: ALBUQUERQUE, NEW MEXICO
Phone#: 505-889-8056 Fax#: _____ E-mail: _____
Contractor: ? Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ ~~DRAINAGE PLAN 1st SUBMITTAL~~
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes ☒ No ☐

Copy Provided

DATE SUBMITTED: 04-04-16

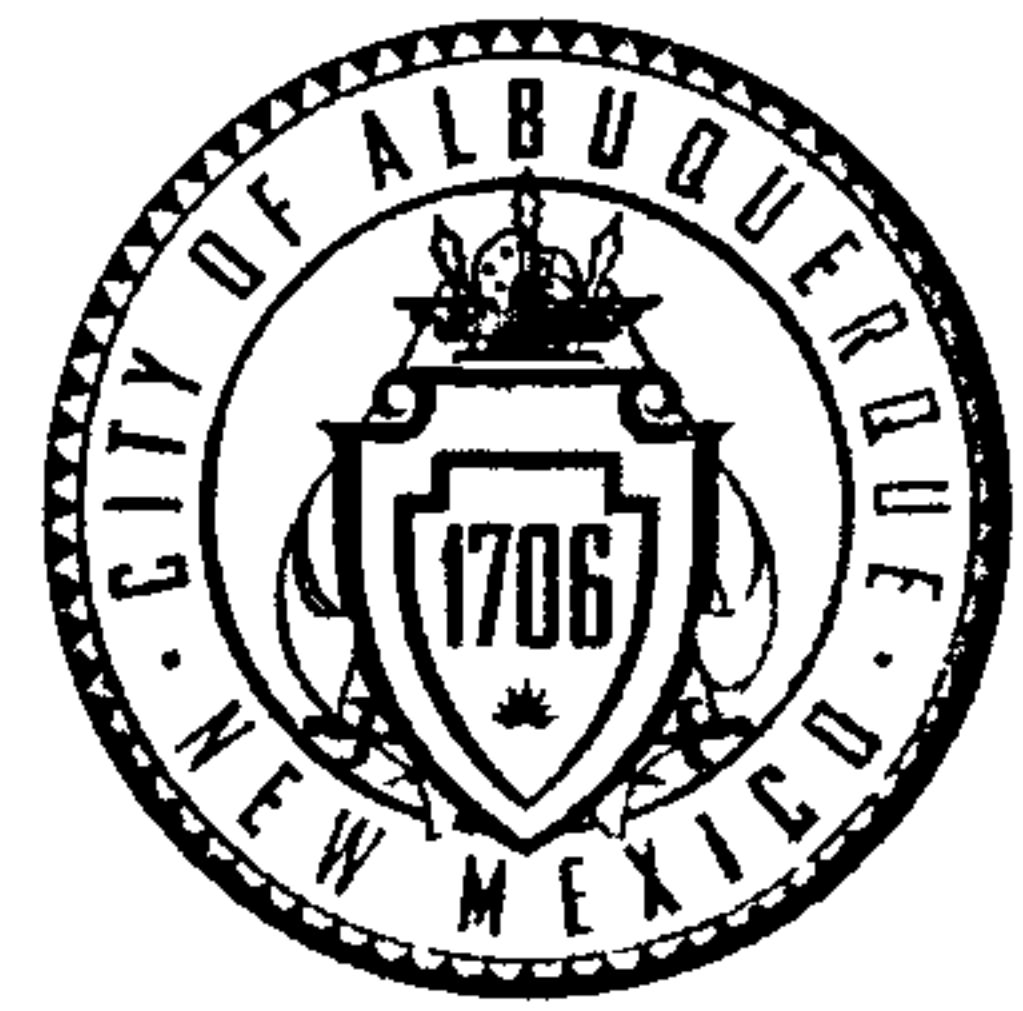
By: GEORGE T. RODRIGUEZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Drafter: Chris
298-5588

CITY OF ALBUQUERQUE



April 6, 2016

Del Paul Jack
Del Paul Jack Architect
3005 Arno St., NE
Albuquerque, NM 87107

Re: Shopping Center
1220 Eubank NE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 4-4-16 (J21-D045)

Dear Mr. Jack,

Based upon the information provided in your submittal received 4-5-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
3. Clarify the extents of the current phase.
4. Please detail the queuing length and show traffic flow directional arrows and signage for Drive-Thru.
5. Please identify all existing buildings, doors, structures, sidewalks, curbs, drive pads, wall and anything that influences the parking and circulation on the site.
6. Identify all existing access easements and rights of way width dimensions.
7. Identify the right of way width, medians, curb cuts, and street widths on Eubank Blvd. and the private alley to the east of the proposed project.
8. Please list the width and length for all existing and proposed parking spaces.
9. The handicap accessible spaces must be a minimum of 8.5 ft. in width.
10. The handicap accessible spaces must include an 8 ft. wide van access aisle; all other aisles should be 5 ft. in width.
11. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs.
12. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide,

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)

13. Show all drive aisle widths and radii.
14. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details from Eubank Blvd.
15. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details. Please clearly show this detail for each building.
16. Truncated domes will be required at all public drive pad entrances/exits. Please show this detail.
17. Design delivery vehicle route needs to be shown.
18. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
19. One-way vehicular paths require pavement directional signage and a posted **"Do Not Enter"** sign at the point of egress. Please show detail and location of posted signs.
20. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
21. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3*). Please provide a Clear Sight Triangle detail for major streets for the entrances/exits off of Eubank Blvd. See attached definitions from Development Process Manual.
22. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
23. Please include a copy of your shared access agreement with the adjacent property owner.
24. See Chapter 23, Section 6 of the City of Albuquerque *Development Process Manual*, for appropriate drive pad widths. The drive pad entrance/exit at the south east corner to the public alley must be a minimum of 25 ft. wide.
25. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
26. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



27. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

A handwritten signature in cursive script, appearing to read 'Racquel'.

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

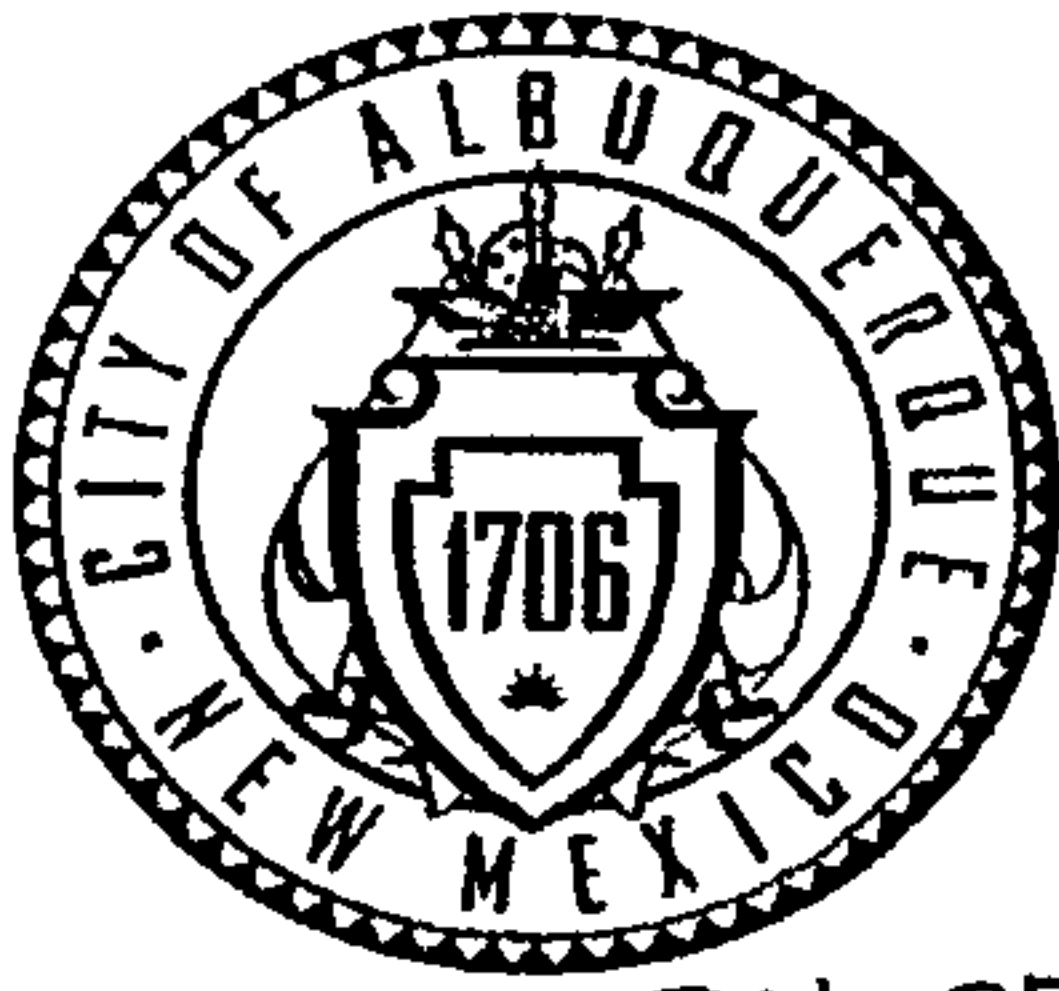
\gs via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: SHOPPING CENTER @ 1220 CUBANK N.E. Building Permit #: _____ City Drainage #: J210045
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 13A, IN BLOCK 10A, DALE J. BELLAMANS PRINCESS JEANNE PARK
City Address: 1220 CUBANK N.E.
Architect: DEL PAUL JACK Contact: DEL PAUL JACK
Engineering Firm: ARCHITECT
Address: ALBUQUERQUE, NEW MEXICO
Phone#: 505-235-2670 Fax#: _____ E-mail: _____
Owner: FELIX BABADI Contact: FELIX BABADI
Address: 11201 SAN ANTONIO N.E., ALBUQUERQUE, NEW MEXICO 87122
Phone#: 505-440-6443 Fax#: _____ E-mail: _____
Architect: DEL PAUL JACK Contact: DEL PAUL JACK
Address: ALBUQUERQUE, NEW MEXICO
Phone#: _____ Fax#: _____ E-mail: DELPAULJACK@yahoo.com
Surveyor: HARRIS SURVEYING Contact: TONY HARRIS
Address: ALBUQUERQUE, NEW MEXICO
Phone#: 505-889-8056 Fax#: _____ E-mail: _____
Contractor: ? Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes

No

Copy Provided

DATE SUBMITTED: 04-04-16

By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan.** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



Legend

- Bernalillo County Parcels
- Primary Streets**
 - Urban Principal Arterial
 - BN and SF Railroad
 - Freeway
 - Urban Minor Arterial
- Other Streets**
- Municipal Limits**
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED
- World Street Map

Notes

0.0 0 0.01 0.0 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
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