

# CITY OF ALBUQUERQUE



April 11, 2016

Del Paul Jack  
Del Paul Jack Architect  
3005 Arno St., NE  
Albuquerque, NM 87107

**Re: Shopping Center**  
**1220 Eubank Blvd., NE**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp dated 4-8-16 (J21-D045)

Dear Mr. Jack,

The TCL submittal received 4-11-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: SHOPPING CENTER @ 1220 CUBANK N.E. Building Permit #: \_\_\_\_\_ City Drainage #: 121045

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: LOT 13A, IN BLOCK 10A, DALE J. BELLAMAH'S PRINCESS JEANNE PARK

City Address: 1220 CUBANK N.E.

Engineering Firm: LEVI J. VALDEZ, P.E. GEORGE T. RODRIGUEZ - DEVEL. CONSULT. Contact: GEORGE RODRIGUEZ

Address: 12800 SAN JUAN N.E., ALBUQUERQUE, NEW MEXICO

Phone#: 505-610-0593 Fax#: \_\_\_\_\_ E-mail: pawrod@hotmail.com

Owner: FELIX RABADI Contact: FELIX RABADI

Address: 11201 SAN ANTONIO N.E., ALBUQUERQUE, NEW MEXICO 87122

Phone#: 505-440-6443 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: DEL PAUL JACK Contact: DEL PAUL JACK

Address: ALBUQUERQUE, NEW MEXICO

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: HARRIS SURVEYING Contact: TONY HARRIS

Address: ALBUQUERQUE, NEW MEXICO

Phone#: 505-889-8056 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: ? Contact: \_\_\_\_\_

Address: \_\_\_\_\_

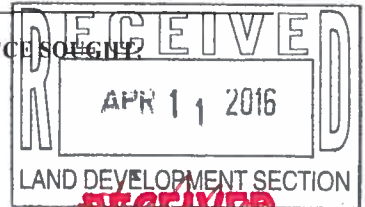
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_

Yes  No  Copy Provided

DATE SUBMITTED: 04-04-16

By: GEORGE T. RODRIGUEZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

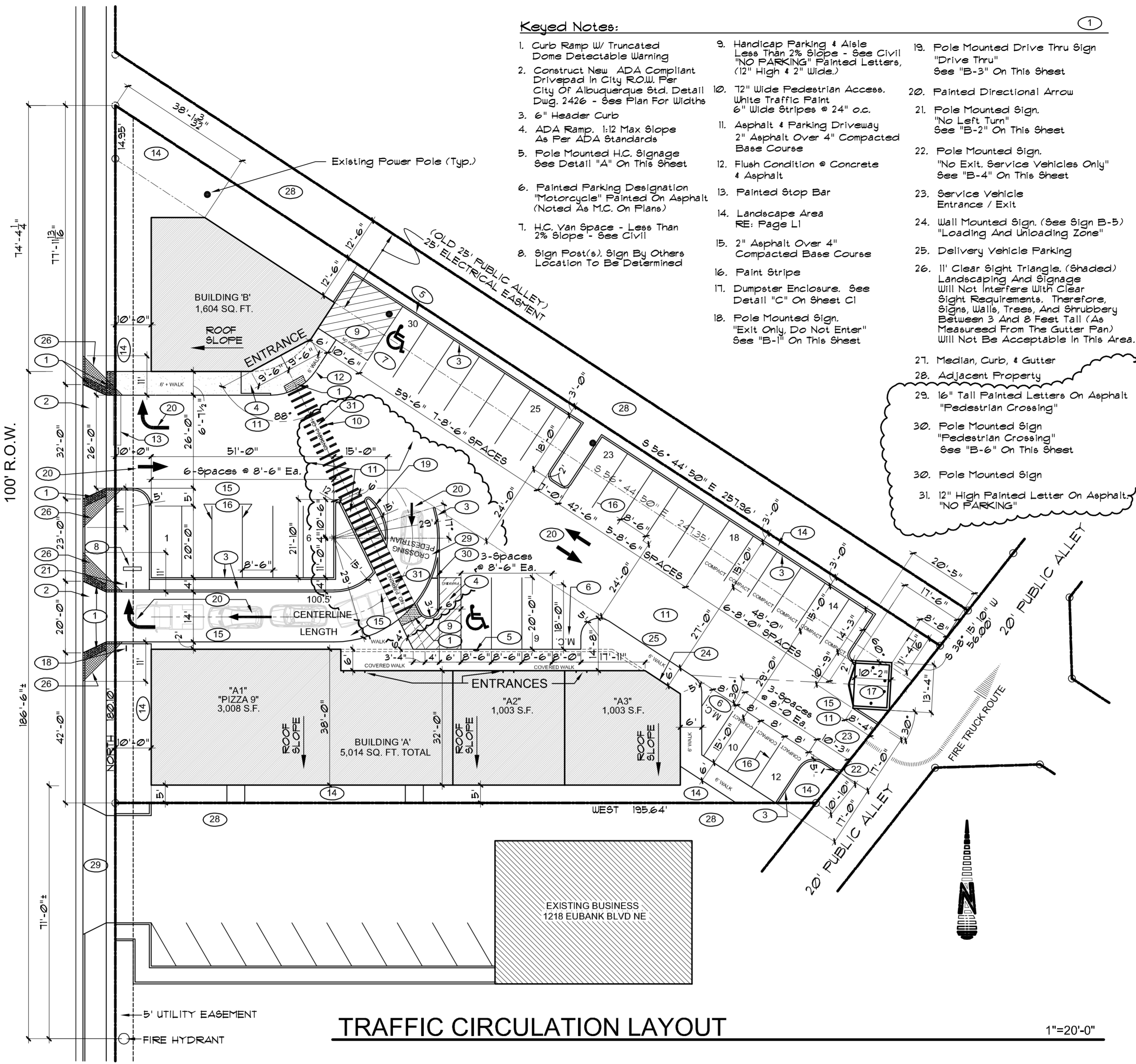
**General Notes:**

1. Unused Curb Cuts Must Be Replaced With Sidewalk And Curb & Gutter. Per City Of Albuquerque Std. Detail 2415A & 2430
2. All Broken Or Cracked Sidewalks, Curb, & Gutters, Must Be Replaced. Per City Of Albuquerque Std. Detail 2415A & 2430

**Keyed Notes:**

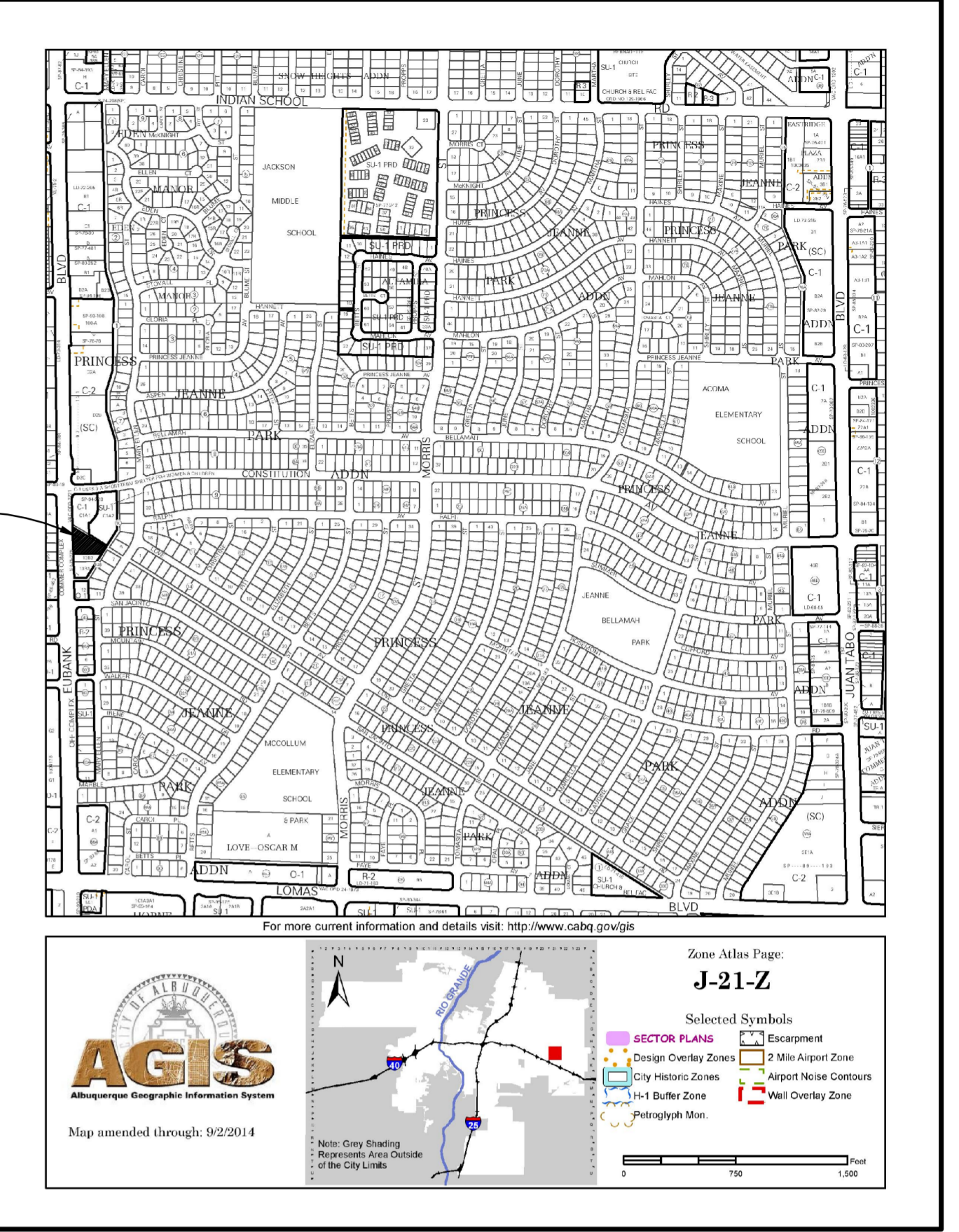
1. Curb Ramp W/ Truncated Dome Detectable Warning
2. Construct New ADA Compliant Driveway In City R.O.W. Per City Of Albuquerque Std. Detail 2426 - See Plan For Widths
3. 6" Header Curb
4. ADA Ramp, 1:12 Max Slope As Per ADA Standards
5. Pole Mounted H.C. Signage See Detail "A" On This Sheet
6. Painted Parking Designation "Motorcycle" Painted On Asphalt (Noted As H.C. On Plans)
7. H.C. Van Space - Less Than 2% Slope - See Civil
8. Sign Post(s), Sign By Others Location To Be Determined
9. Handicap Parking & Aisle Less Than 2% Slope - See Civil "NO PARKING" Painted Letters, (12" High & 2" Wide.)
10. 12" Wide Pedestrian Access, White Traffic Paint 6" Wide Stripes @ 24" o.c.
11. Asphalt & Parking Driveway 2" Asphalt Over 4" Compacted Base Course
12. Flush Condition @ Concrete & Asphalt
13. Painted Stop Bar
14. Landscape Area RE: Page L1
15. 2" Asphalt Over 4" Compacted Base Course
16. Paint Strips
17. Dumpster Enclosure. See Detail "C" On Sheet C1
18. Pole Mounted Sign, "Exit Only, Do Not Enter" See "B-1" On This Sheet
19. Pole Mounted Drive Thru Sign "Drive Thru" See "B-3" On This Sheet
20. Painted Directional Arrow
21. Pole Mounted Sign, "No Left Turn" On This Sheet See "B-2" On This Sheet
22. Pole Mounted Sign, "No Exit, Service Vehicles Only" See "B-4" On This Sheet
23. Service Vehicle Entrance / Exit
24. Wall Mounted Sign. (See Sign B-5) "Loading And Unloading Zone"
25. Delivery Vehicle Parking
26. 11' Clear Sight Triangle. (Shaded) Landscaping And Signage Will Not Interfere With Clear Sight Requirements, Therefore, Signs, Walls, Trees, And Shrubby Between 3 And 8 Feet Tall (As Measured From The Gutter Pan) Will Not Be Acceptable In This Area.
27. Median, Curb, & Gutter
28. Adjacent Property
29. 16" Tall Painted Letters On Asphalt "Pedestrian Crossing"
30. Pole Mounted Sign "Pedestrian Crossing" See "B-6" On This Sheet
31. Pole Mounted Sign "NO PARKING"

EUBANK BLVD. NE  
100' R.O.W.



**TRAFFIC CIRCULATION LAYOUT**

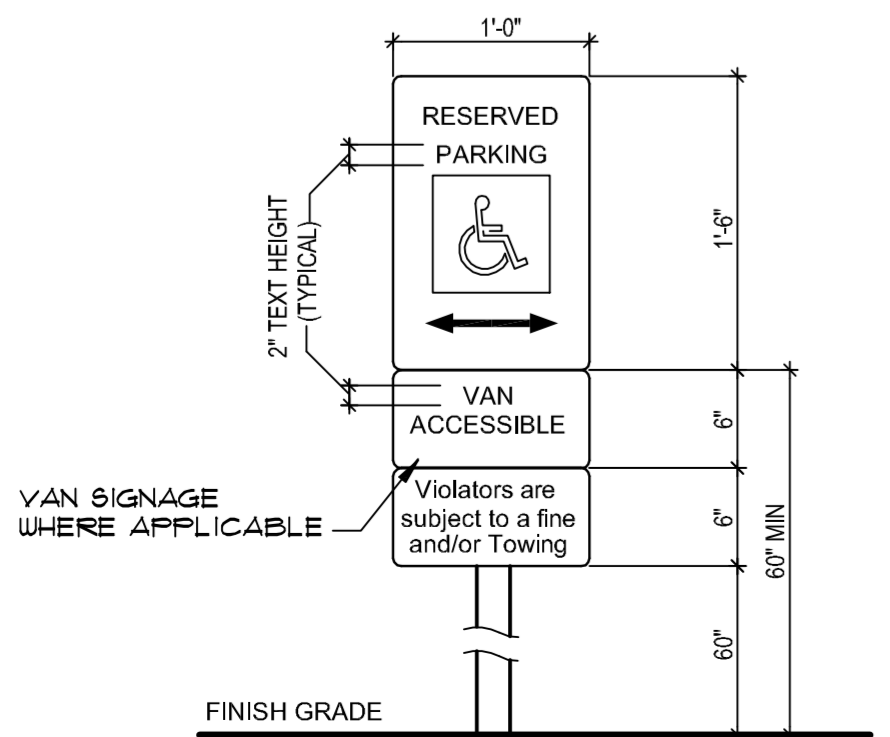
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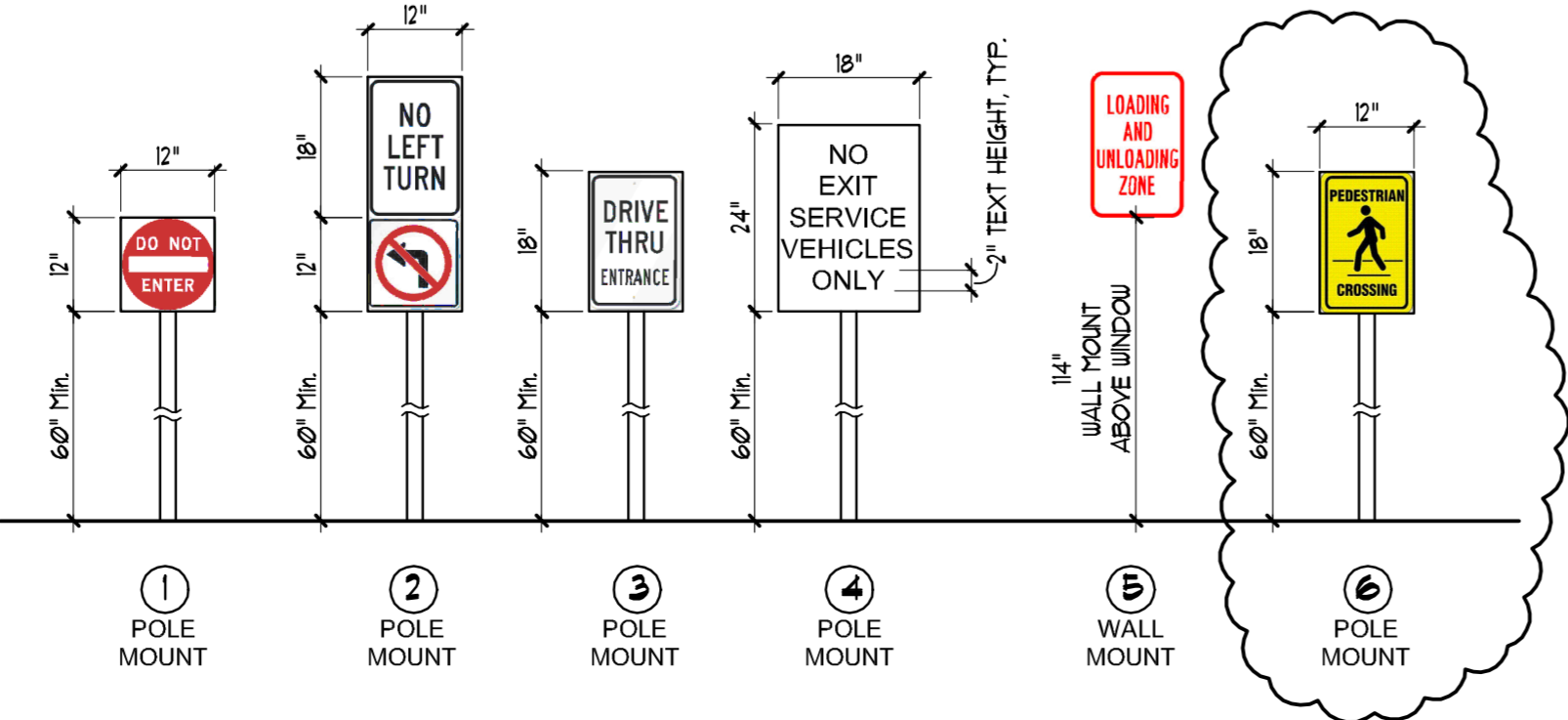
**VICINITY MAP**  
CITY ZONE MAP J-21-Z

LEGAL DESCRIPTION	
UPC:	102105801522731917
SITE ADDRESS:	1220 EUBANK NE ALBUQUERQUE NM 87112
LEGAL DESCRIPTION:	REPLAT OF LOT 13A BLK 10A DALE J BELLAMAHS PRINCESS JEANNE PARK
LOT AREA:	23,247.29 SQ. FT. / ACRES: 0.5112

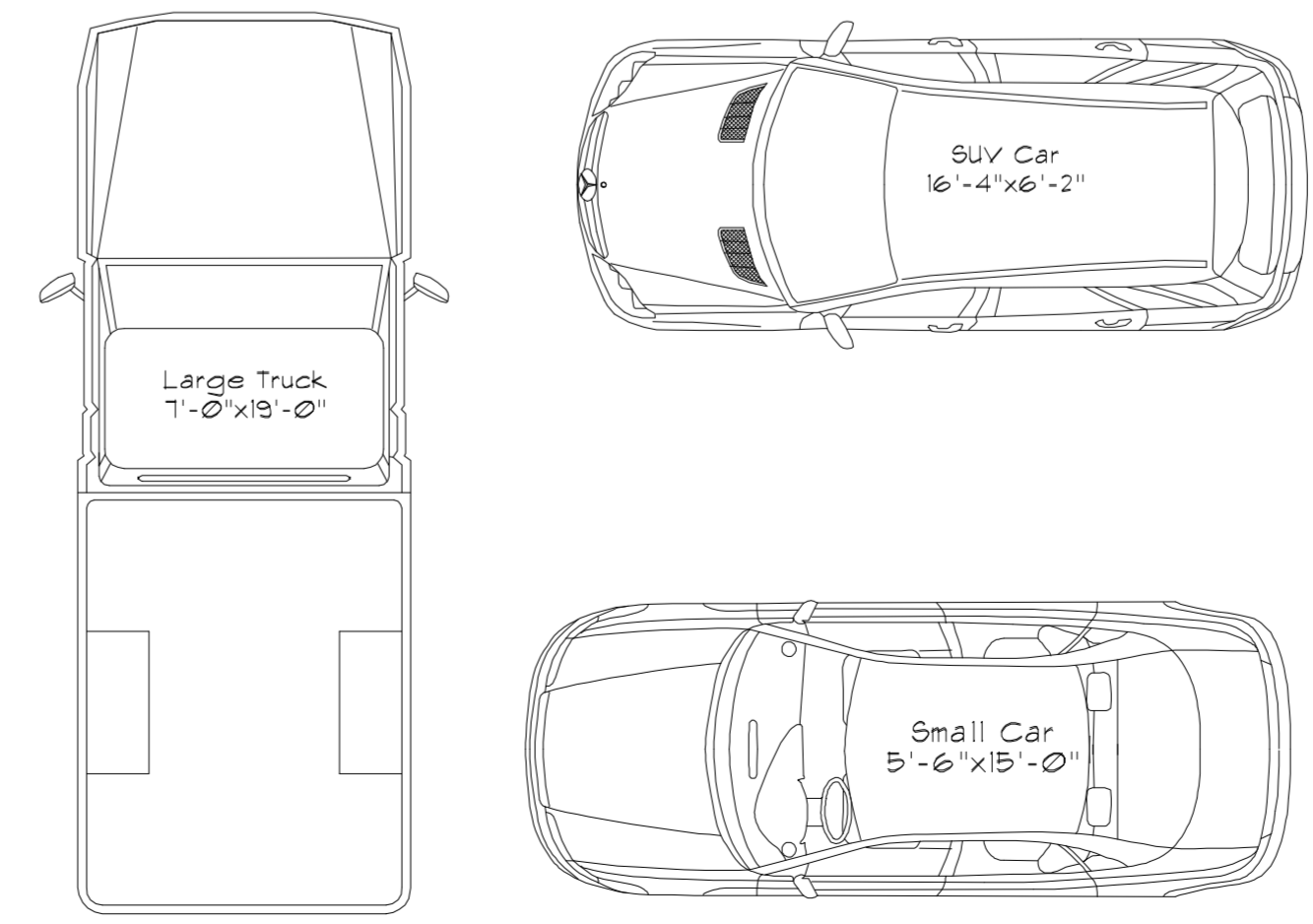
PARKING CALCULATIONS	
6,618 TOTAL SQ. FT.	
- 10% = 29.78 (BUS STOP)	
REQUIRED: 30	PROVIDED: 30
COMPACT: 30x33=10	
10 ALLOWED / 9 PROVIDED	
ADA SPACES:	
2-REQUIRED, 2 PROVIDED	
MOTORCYCLE SPACES:	
2-REQUIRED, 2 PROVIDED	



**A H.C. PARKING SIGN (POLE MOUNT)**



**B SIGN DETAILS**



**C AUTOMOBILE SIZES**

**SHOPPING CENTER**  
1220 Eubank Boulevard N.E.  
Albuquerque, New Mexico 87112

DEL PAUL JACK ARCHITECT  
ALBUQUERQUE, NEW MEXICO  
#858  
28-2016  
505 235 2670

