

CITY OF ALBUQUERQUE



April 6, 2016

Del Paul Jack
Del Paul Jack Architect
3005 Arno St., NE
Albuquerque, NM 87107

Re: Shopping Center
1220 Eubank NE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 4-4-16 (J21-D045)

Dear Mr. Jack,

Based upon the information provided in your submittal received 4-5-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
3. Clarify the extents of the current phase.
4. Please detail the queuing length and show traffic flow directional arrows and signage for Drive-Thru.
5. Please identify all existing buildings, doors, structures, sidewalks, curbs, drive pads, wall and anything that influences the parking and circulation on the site.
6. Identify all existing access easements and rights of way width dimensions.
7. Identify the right of way width, medians, curb cuts, and street widths on Eubank Blvd. and the private alley to the east of the proposed project.
8. Please list the width and length for all existing and proposed parking spaces.
9. The handicap accessible spaces must be a minimum of 8.5 ft. in width.
10. The handicap accessible spaces must include an 8 ft. wide van access aisle; all other aisles should be 5 ft. in width.
11. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs.
12. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide,

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placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)

13. Show all drive aisle widths and radii.
14. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details from Eubank Blvd.
15. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details. Please clearly show this detail for each building.
16. Truncated domes will be required at all public drive pad entrances/exits. Please show this detail.
17. Design delivery vehicle route needs to be shown.
18. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
19. One-way vehicular paths require pavement directional signage and a posted **"Do Not Enter"** sign at the point of egress. Please show detail and location of posted signs.
20. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
21. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3*). Please provide a Clear Sight Triangle detail for major streets for the entrances/exits off of Eubank Blvd. See attached definitions from Development Process Manual.
22. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
23. Please include a copy of your shared access agreement with the adjacent property owner.
24. See Chapter 23, Section 6 of the City of Albuquerque *Development Process Manual*, for appropriate drive pad widths. The drive pad entrance/exit at the south east corner to the public alley must be a minimum of 25 ft. wide.
25. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
26. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.

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27. Please include two copies of the traffic circulation layout at the next submittal. Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

A handwritten signature in purple ink, appearing to read 'Racquel', is positioned below the word 'Sincerely,'.

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: SHOPPING CENTER @ 1220 CUBANK N.E. Building Permit #: _____ City Drainage #: 1210045

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 13A, IN BLOCK 10A, DALE J. BELLAMAH'S PRINCESS JEANNE PARK

City Address: 1220 CUBANK N.E.

Architect: DEL PAUL JACK Contact: DEL PAUL JACK

Engineering Firm: ARCHITECT

Address: ALBUQUERQUE, NEW MEXICO

Phone#: 505-235-2670 Fax#: _____ E-mail: _____

Owner: FELIX BABADI Contact: FELIX BABADI

Address: 11201 SAN ANTONIO N.E., ALBUQUERQUE, NEW MEXICO 87122

Phone#: 505-440-6443 Fax#: _____ E-mail: _____

Architect: DEL PAUL JACK Contact: DEL PAUL JACK

Address: ALBUQUERQUE, NEW MEXICO

Phone#: _____ Fax#: _____ E-mail: DELPAULJACK@YAHOO.COM

Surveyor: HARRIS SURVEYING Contact: TONY HARRIS

Address: ALBUQUERQUE, NEW MEXICO

Phone#: 505-889-8056 Fax#: _____ E-mail: _____

Contractor: ? Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes ☒ No ☐ Copy Provided ☐

DATE SUBMITTED: 04-04-16

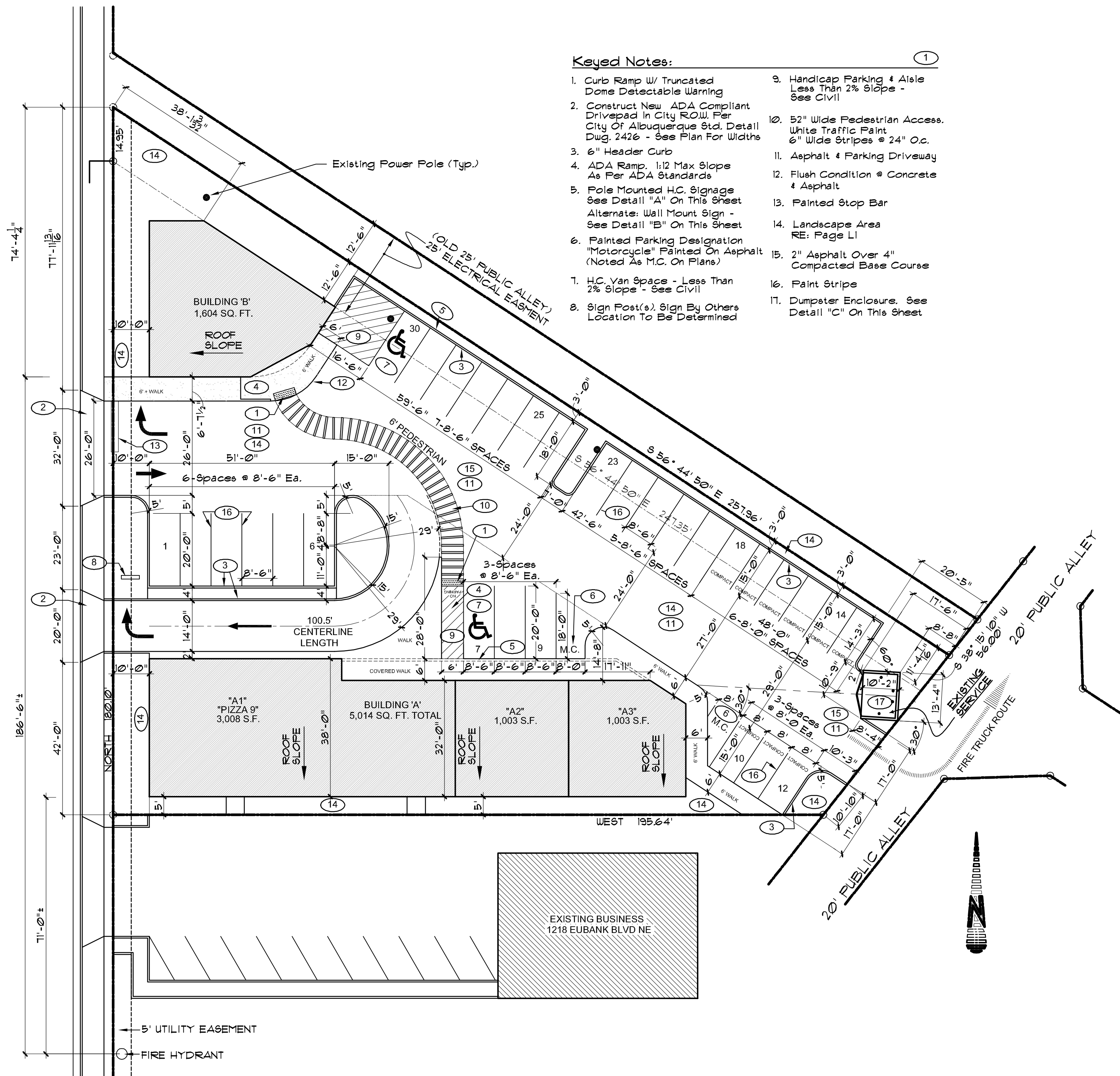
By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



1220 EUBANK BLVD. NE



TRAFFIC CIRCULATION LAYOUT

See Sheet C1 For Additional Information

1"=20'-0"

SHOPPING CENTER
Date: 2-29-2016
1220 Eubank Boulevard N.E.
Albuquerque, New Mexico 87112

DEL PAUL JACK ARCHITECT
ALBUQUERQUE, NEW MEXICO
#858
505 235 2670

