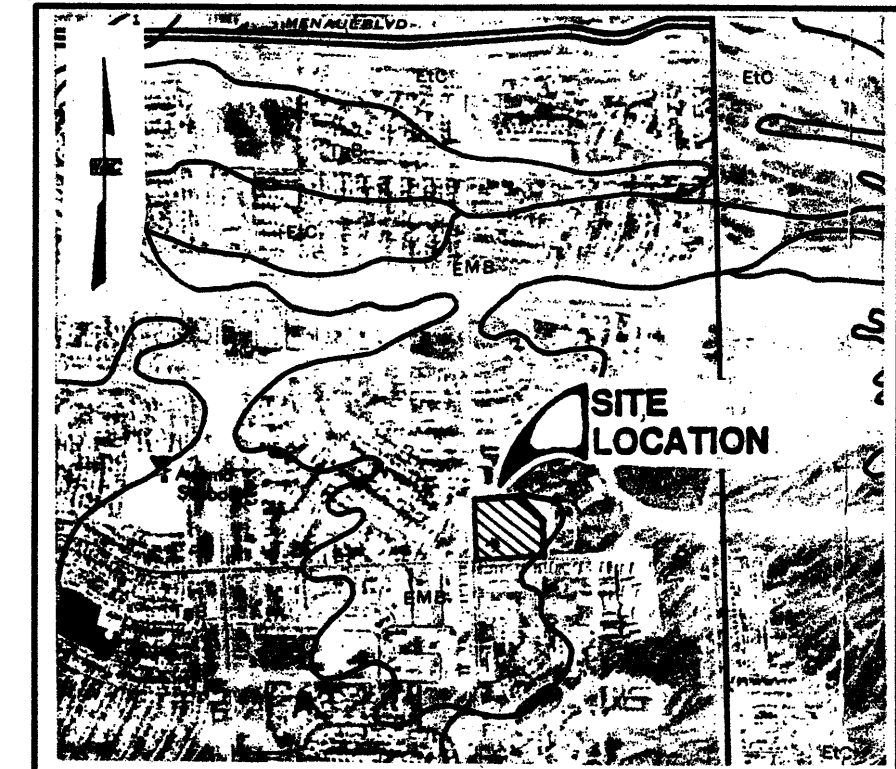
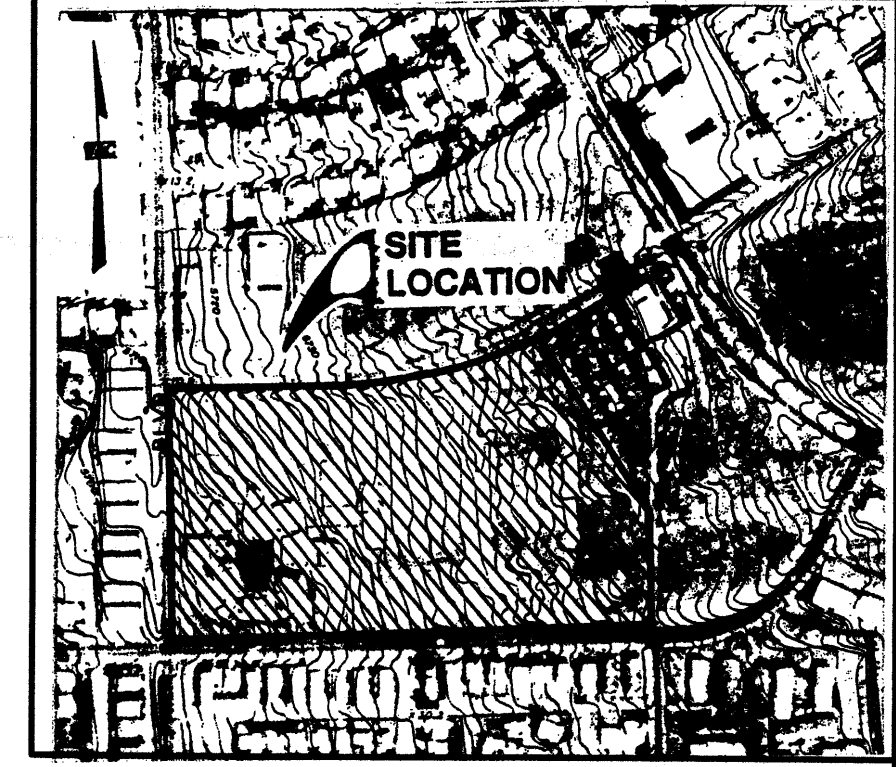


LOCATION MAP
ZONE ATLAS MAP NO. K-21

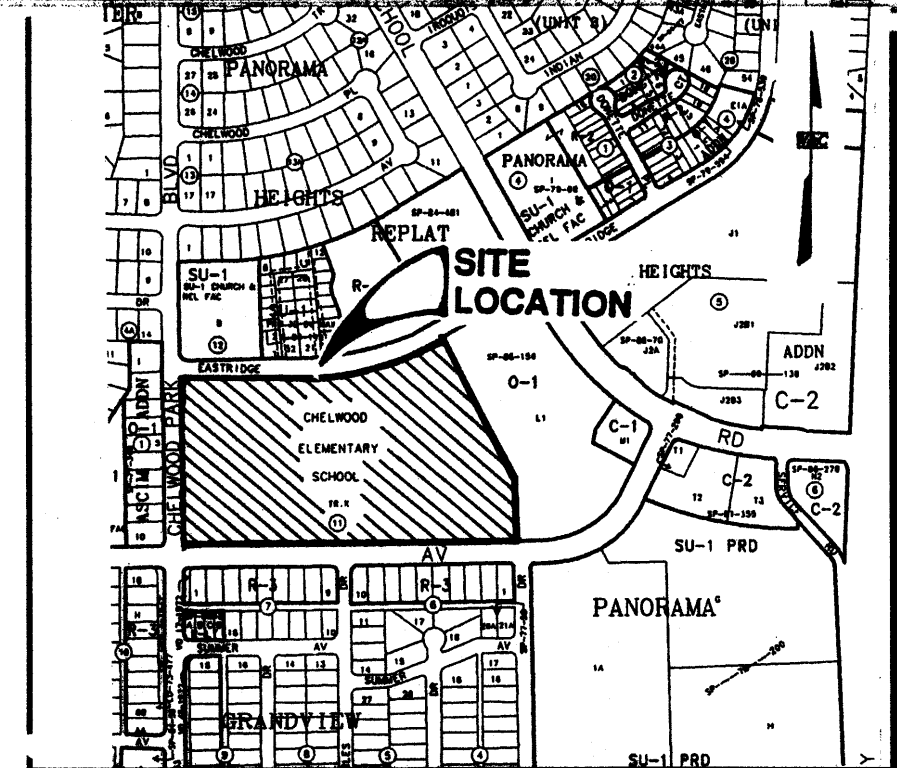
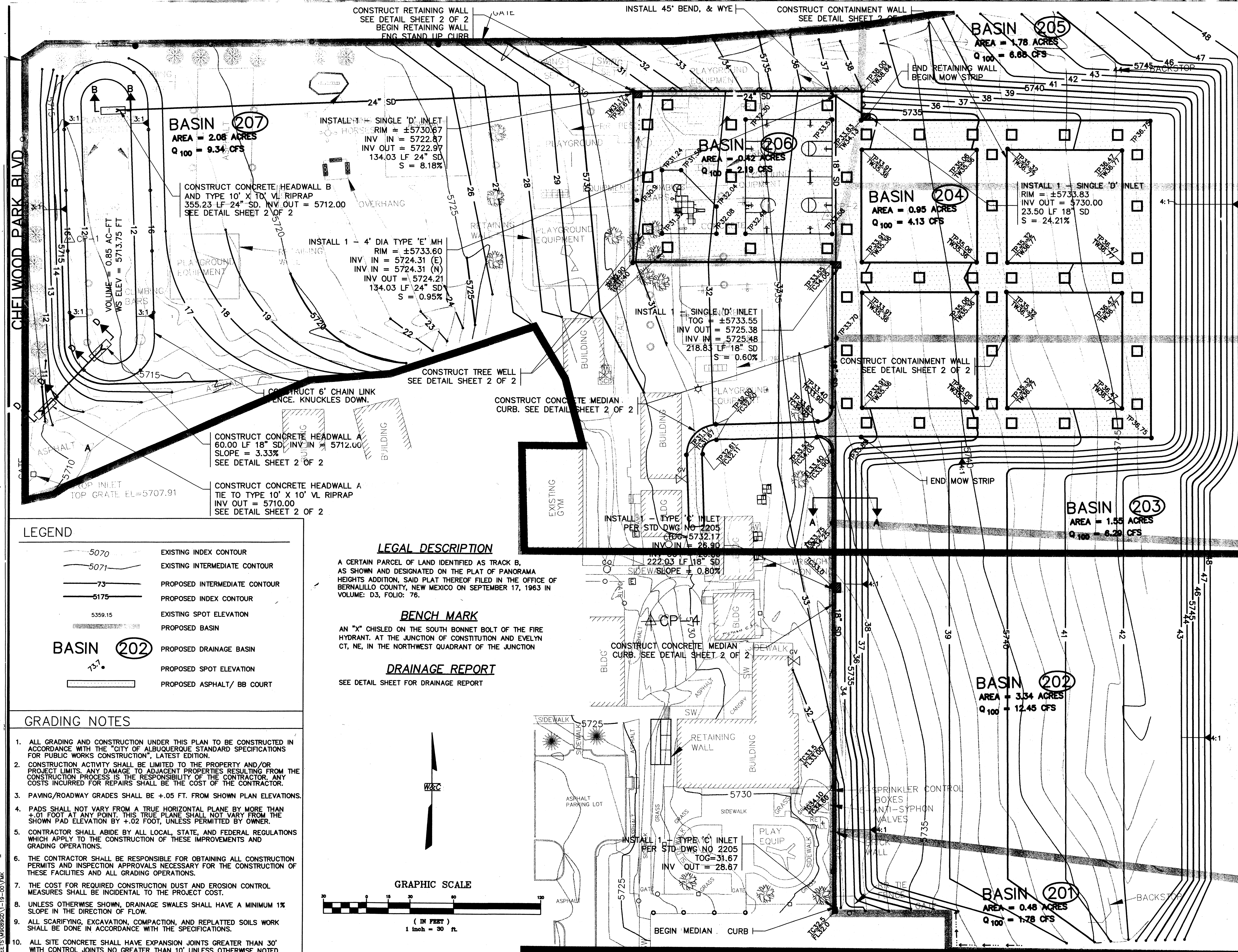


SOILS MAP
REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY
SHEET NO. 32

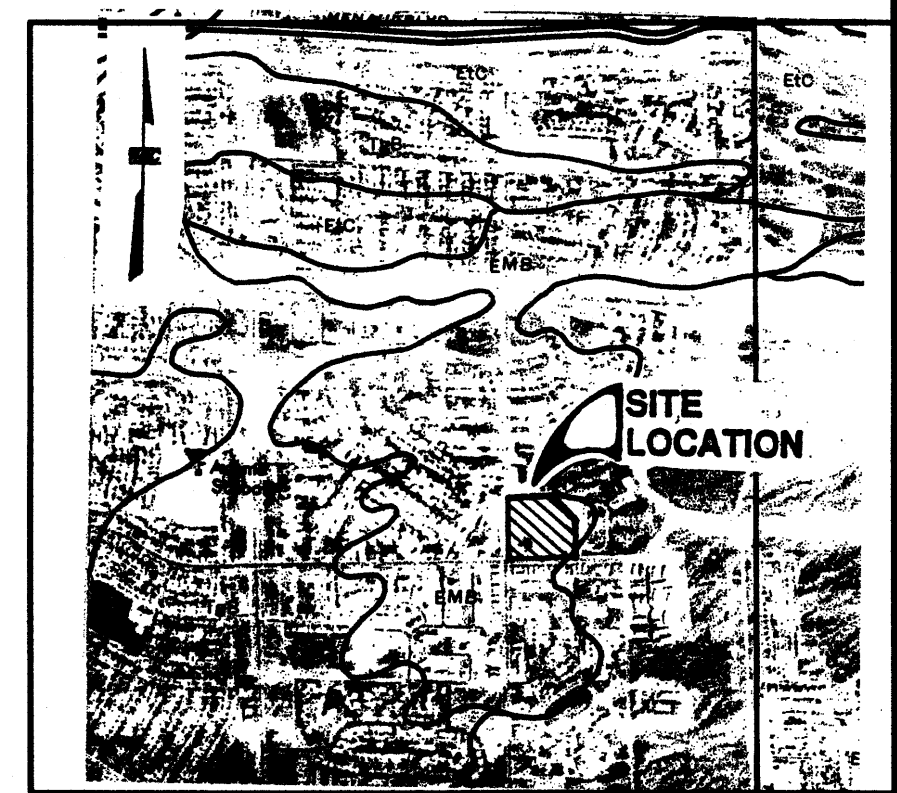


FLOOD INSURANCE MAP
REFERENCE: FLOOD INSURANCE STUDY
PANEL 31

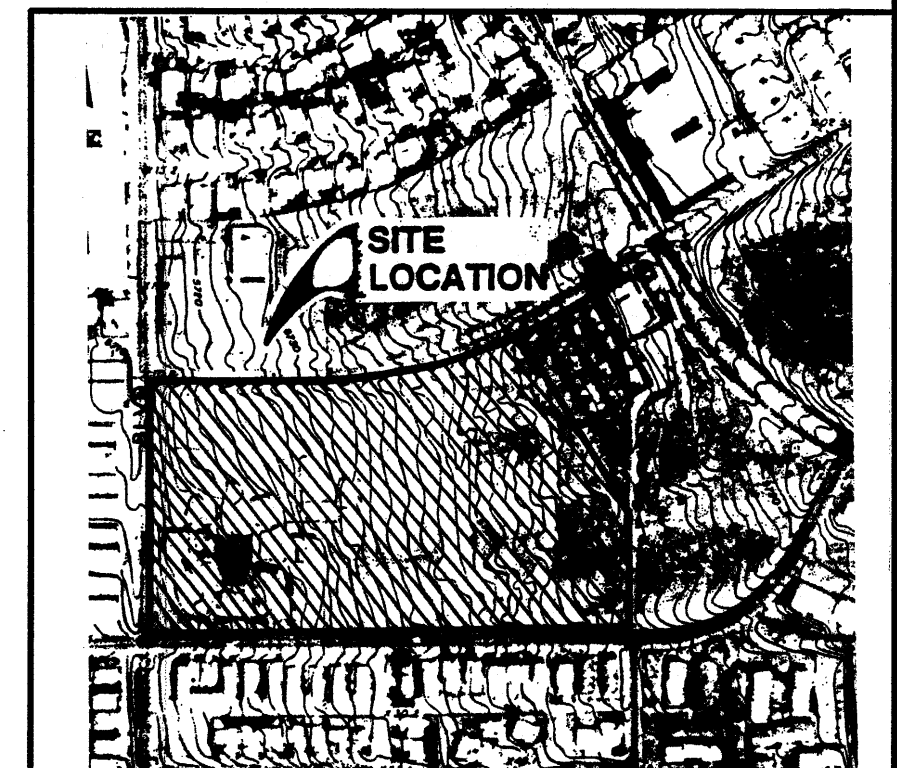
DESIGN FMK	DRAWN FMK	
CHELWOOD ELEMENTARY SCHOOL 12701 CONSTITUTION AVE. NE PLAYGROUND IMPROVEMENTS		
GRADING AND DRAINAGE PLAN ALTERNATIVE		
 WILSON & COMPANY 4900 LANG AVE NE ALBUQUERQUE, NEW MEXICO 87110 (505) 348-4000		DATE MAY 2000 FILE NO. 99090 SHEET NO. 1 OF 1



LOCATION MAP
ZONE ATLAS MAP NO. K-21



SOILS MAP
REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY SHEET NO. 32



FLOOD INSURANCE MAP
REFERENCE: FLOOD INSURANCE STUDY PANEL 31

LEGEND

	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	PROPOSED INDEX CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED BASIN
	PROPOSED DRAINAGE BASIN
	PROPOSED SPOT ELEVATION
	PROPOSED ASPHALT/ BB COURT

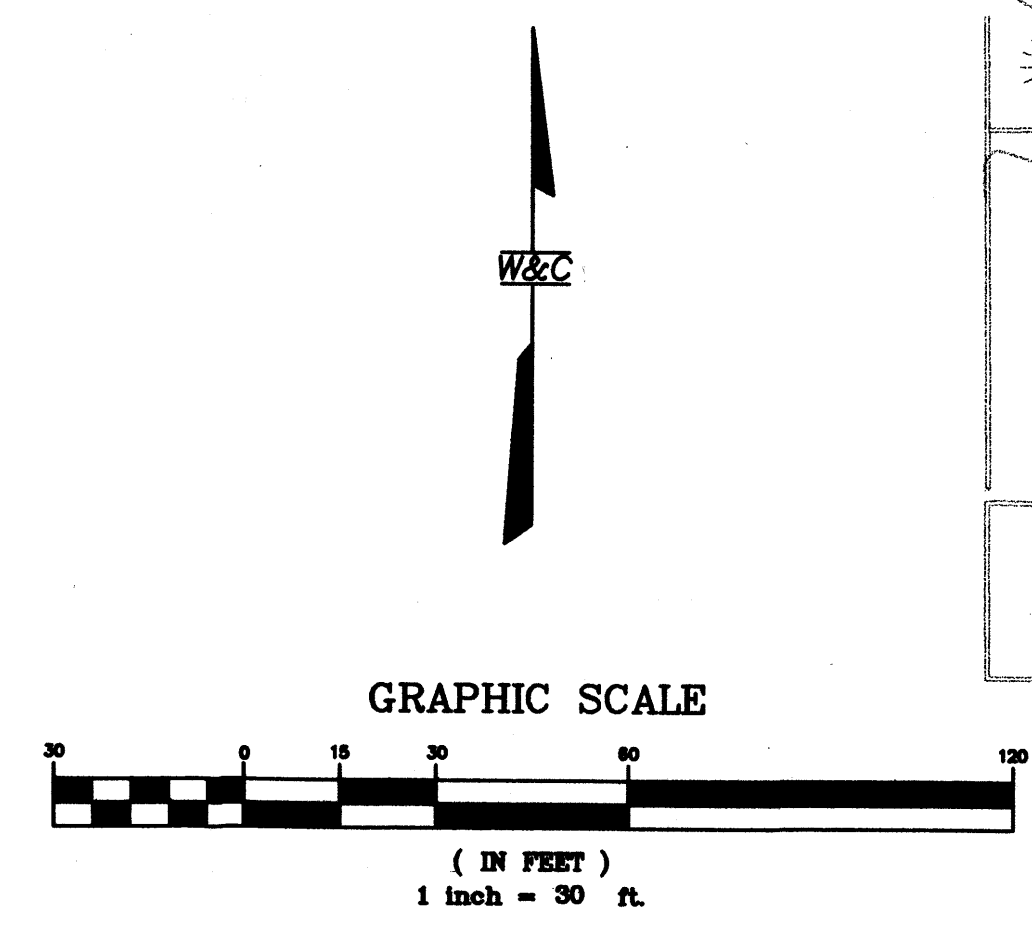
BASIN 202
AREA = 1.78 ACRES
Q₁₀₀ = 6.68 CFS

LEGAL DESCRIPTION
A CERTAIN PARCEL OF LAND IDENTIFIED AS TRACK B, AS SHOWN AND DESIGNATED ON THE PLAT OF PANORAMA HEIGHTS ADDITION, SAID PLAT THEREOF FILED IN THE OFFICE OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 17, 1963 IN VOLUME: D3, FOLIO: 76.

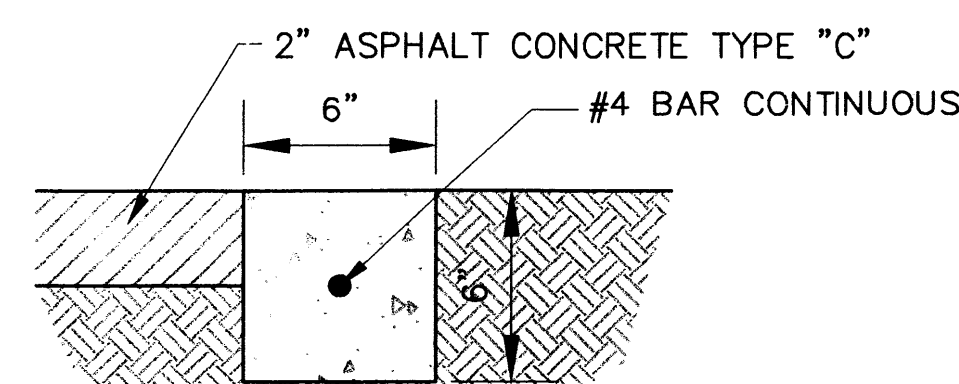
BENCH MARK
AN "X" CHISLED ON THE SOUTH BONNET BOLT OF THE FIRE HYDRANT. AT THE JUNCTION OF CONSTITUTION AND EVELYN CT, NE, IN THE NORTHWEST QUADRANT OF THE JUNCTION

DRAINAGE REPORT
SEE DETAIL SHEET FOR DRAINAGE REPORT

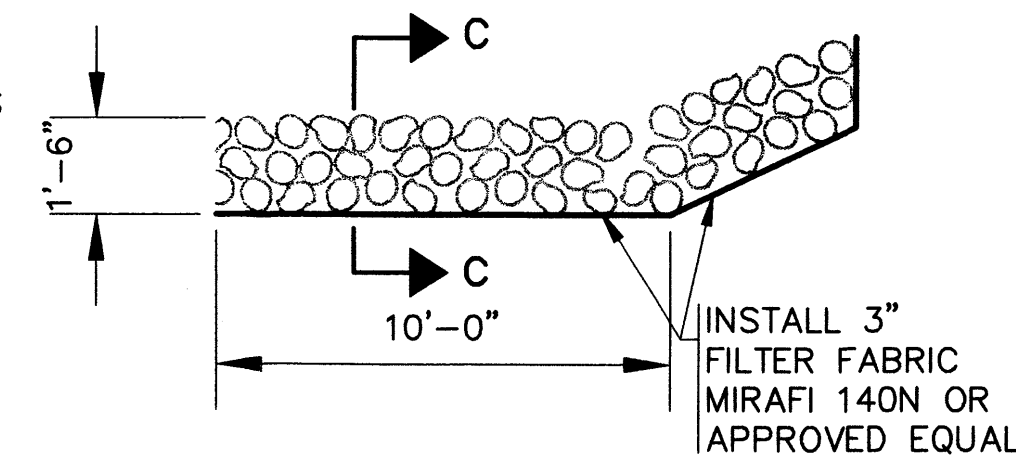
- GRADING NOTES**
- ALL GRADING AND CONSTRUCTION UNDER THIS PLAN TO BE CONSTRUCTED IN ACCORDANCE WITH THE "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", LATEST EDITION.
 - CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
 - PAVING/ROADWAY GRADES SHALL BE +.05 FT. FROM SHOWN PLAN ELEVATIONS.
 - PADS SHALL NOT VARY FROM A TRUE HORIZONTAL PLANE BY MORE THAN +.01 FOOT AT ANY POINT. THIS TRUE PLANE SHALL NOT VARY FROM THE SHOWN PAD ELEVATION BY +.02 FOOT, UNLESS PERMITTED BY OWNER.
 - CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS AND GRADING OPERATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS AND INSPECTION APPROVALS NECESSARY FOR THE CONSTRUCTION OF THESE FACILITIES AND ALL GRADING OPERATIONS.
 - THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
 - UNLESS OTHERWISE SHOWN, DRAINAGE SWALES SHALL HAVE A MINIMUM 1% SLOPE IN THE DIRECTION OF FLOW.
 - ALL SCARIFYING, EXCAVATION, COMPACTION, AND REPLATTED SOILS WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.
 - ALL SITE CONCRETE SHALL HAVE EXPANSION JOINTS GREATER THAN 30' WITH CONTROL JOINTS NO GREATER THAN 10' UNLESS OTHERWISE NOTED IN THIS PLAN SET. CURB & GUTTER AND SIDEWALKS SHALL HAVE JOINTS PER COA STD SPECIFICATIONS.



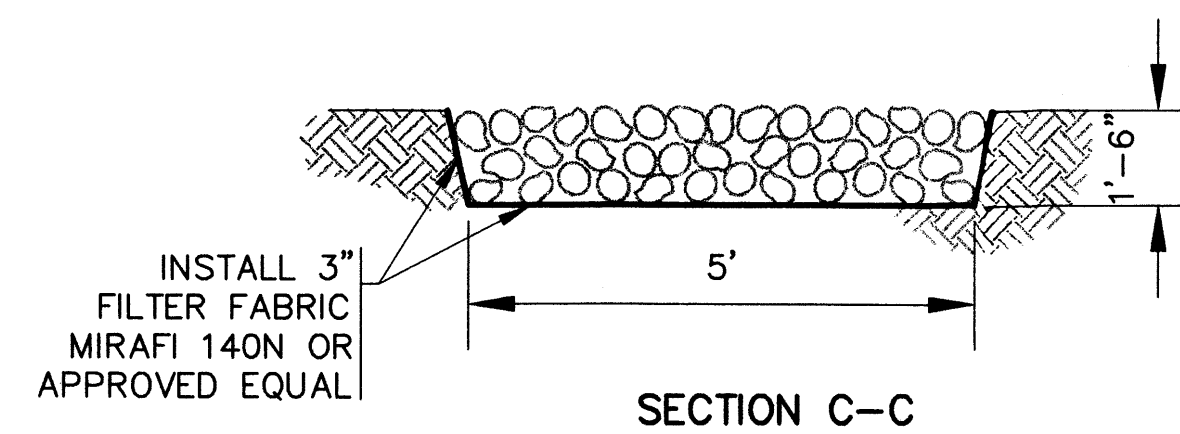
DESIGN FMK	DRAWN FMK	
CHELWOOD ELEMENTARY SCHOOL 12701 CONSTITUTION AVE. NE PLAYGROUND IMPROVEMENTS		
GRADING AND DRAINAGE PLAN BASE BID		
WILSON & COMPANY 4900 LANG AVE NE ALBUQUERQUE, NEW MEXICO 87110 (505) 348-4000		DATE MARCH 2000
		FILE NO. 99090
		SHEET NO. 1 OF 2



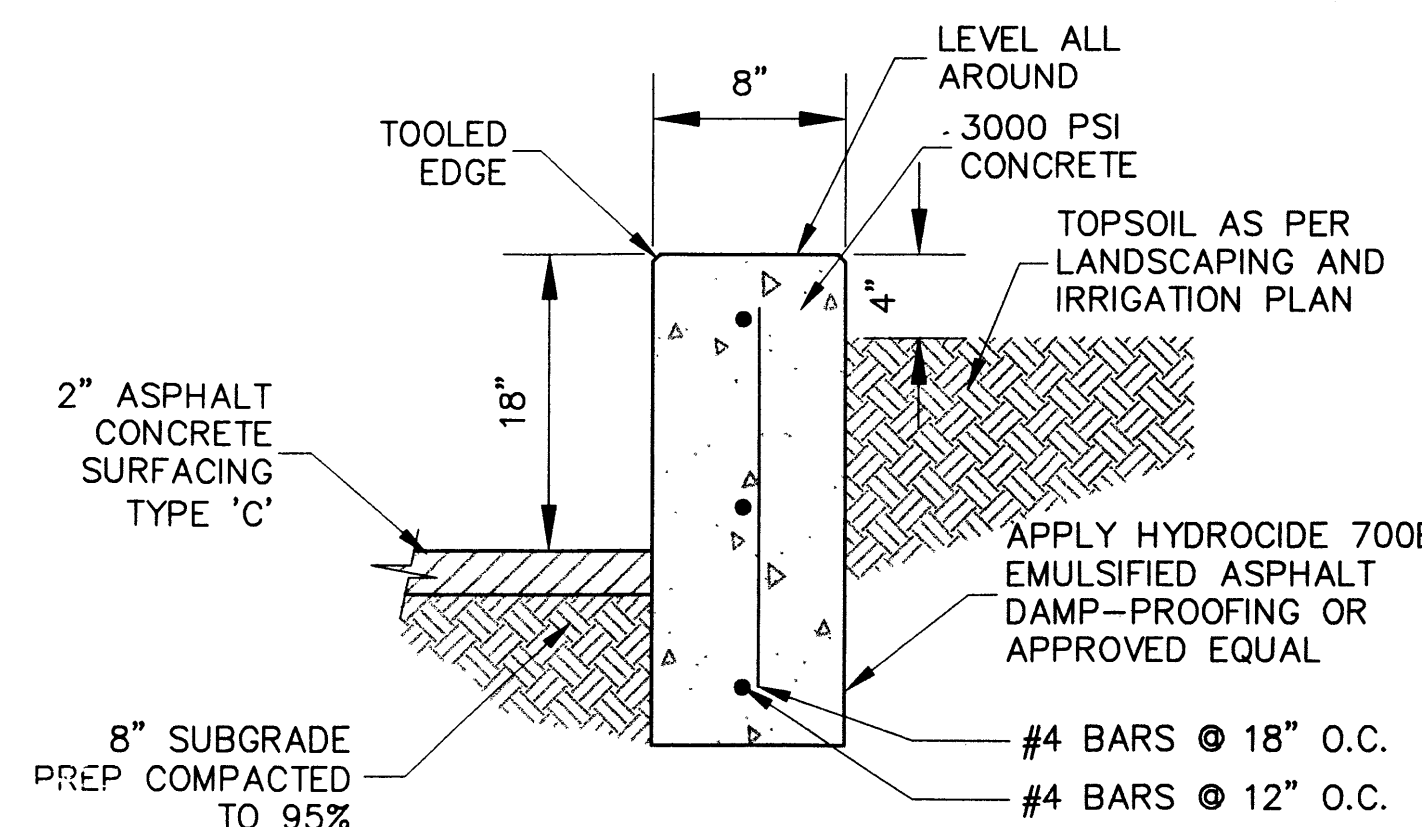
MOW STRIP
SCALE: 1"=2'



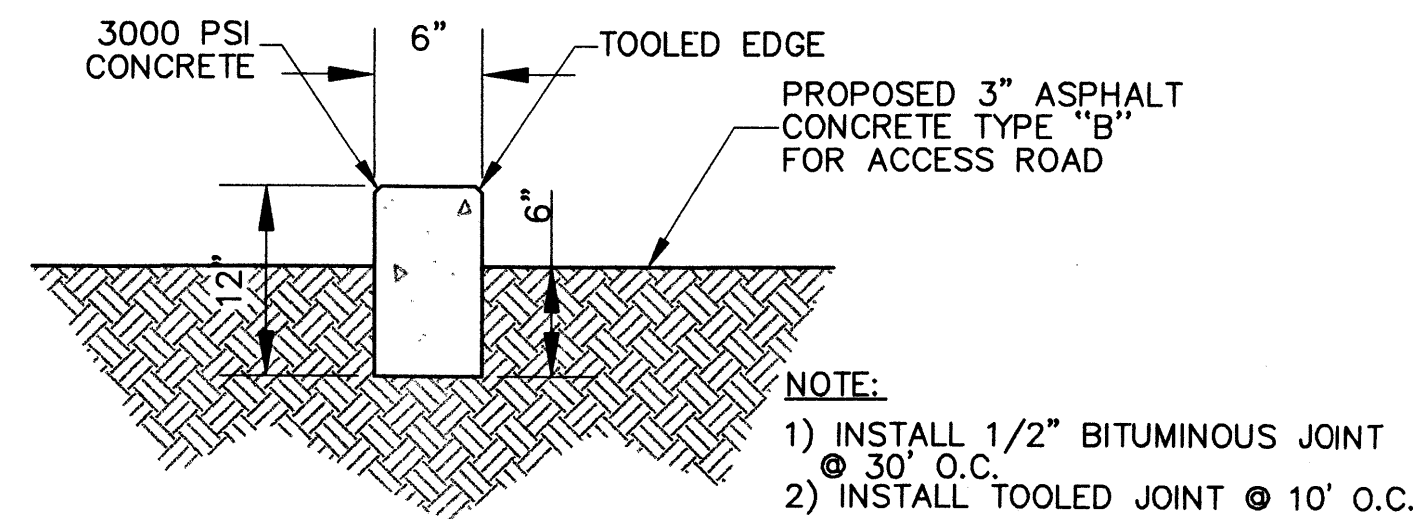
RIP RAP DETAIL
NTS



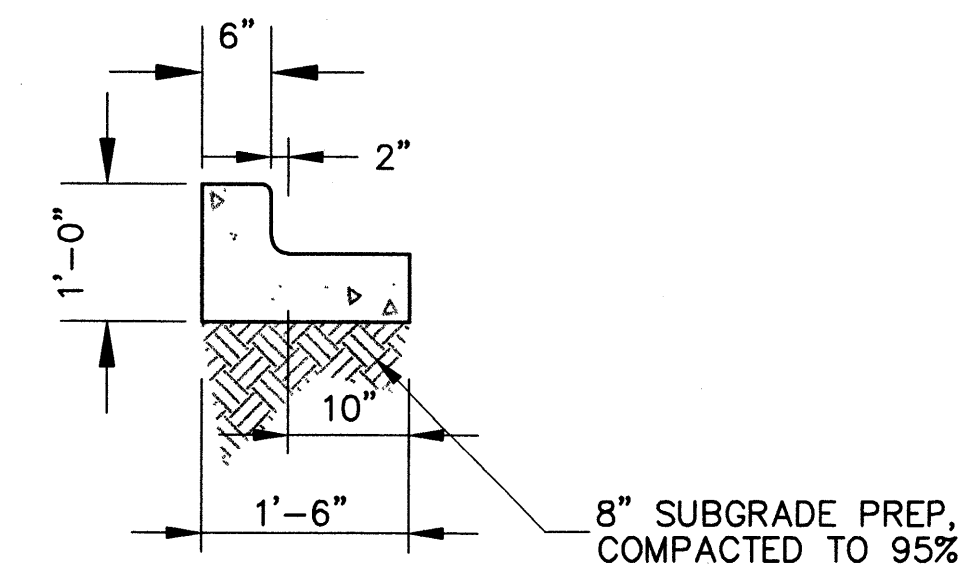
SECTION C-C



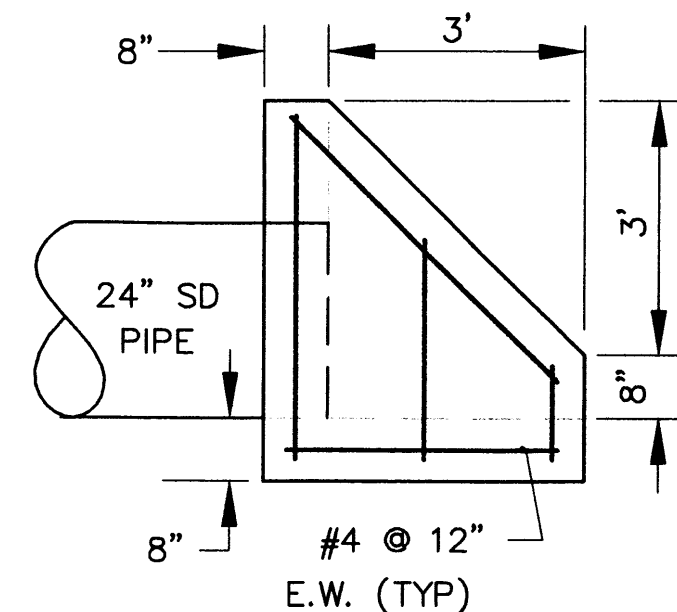
TREE WELL DETAIL
SCALE: NTS
NOTE:
INSTALL TOOLED JOINT
AT CENTER OF EACH WALL



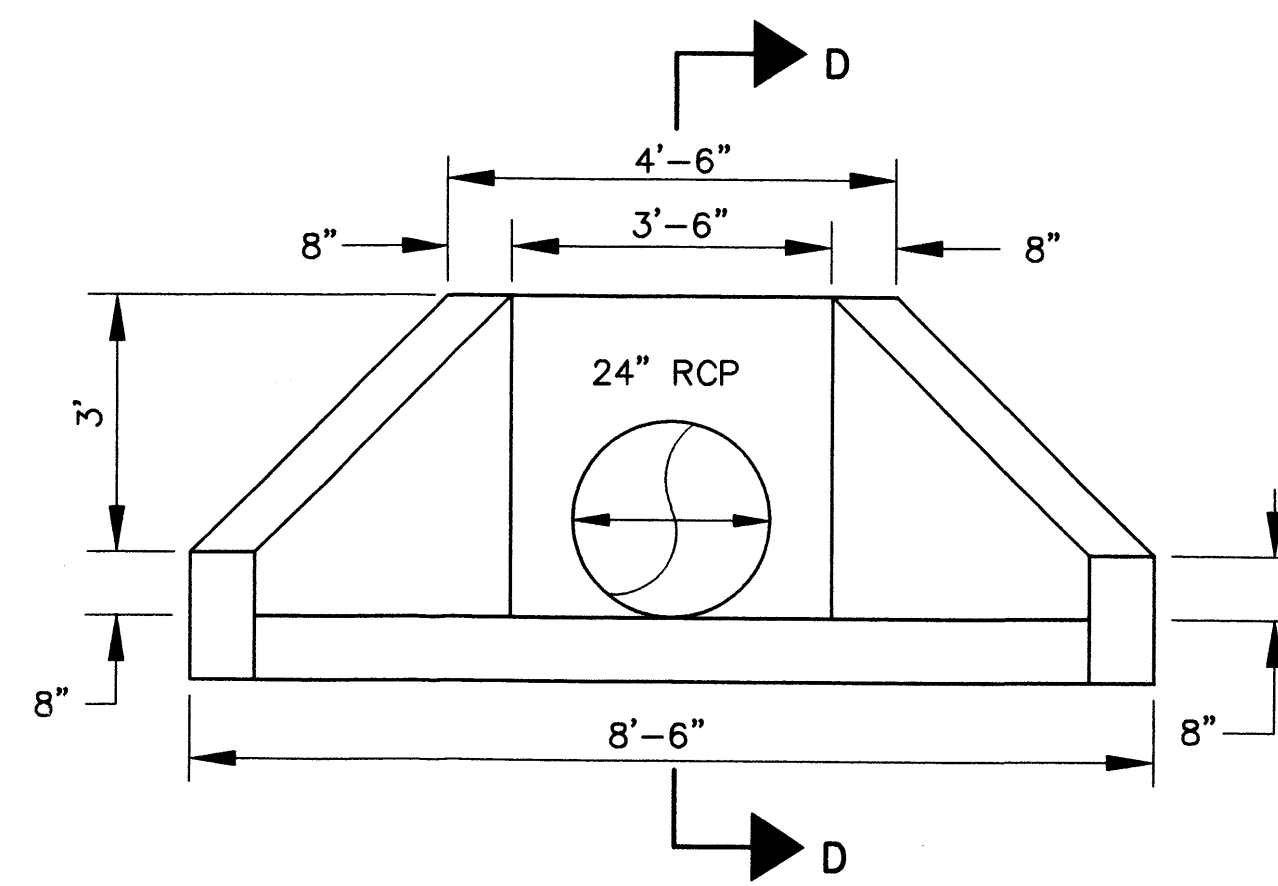
STAND-UP CURB AND
SCALE 1"=1'



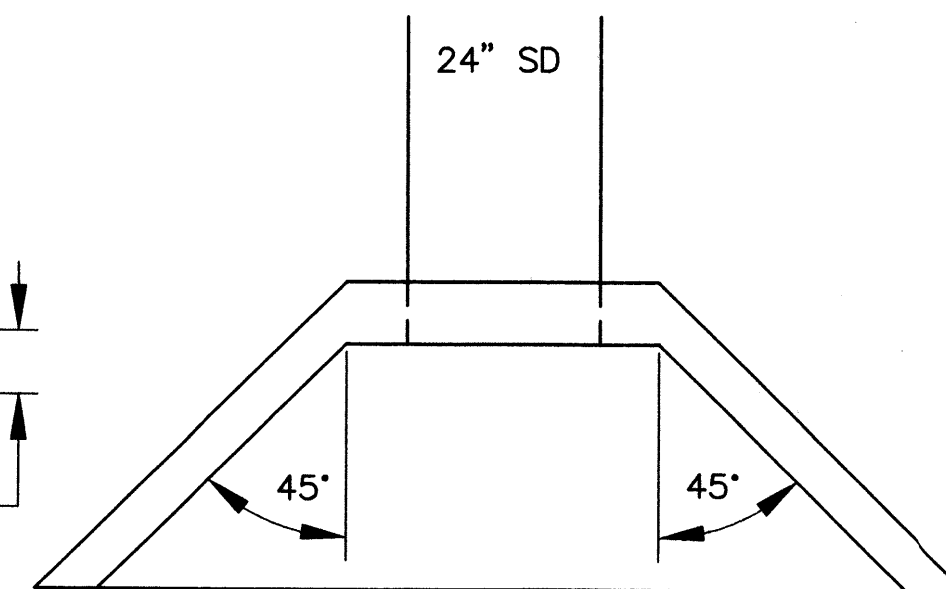
SECTION A-A
MEDIAN CURB AND GUTTER
NTS



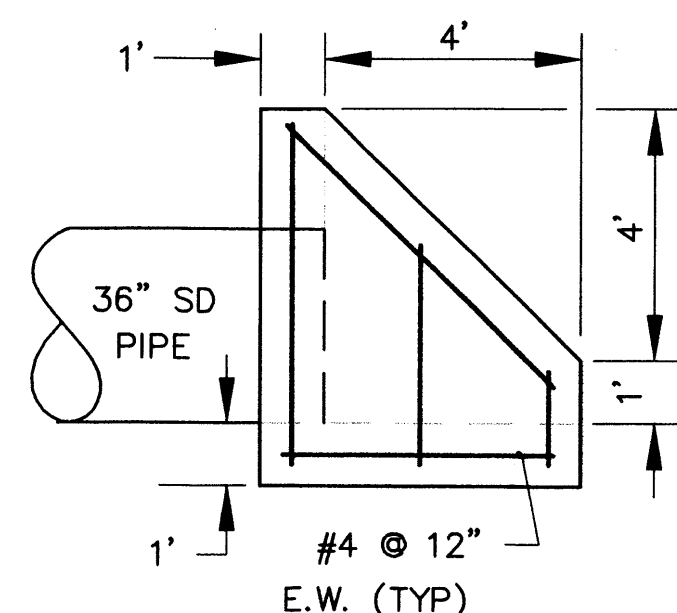
SECTION D-D



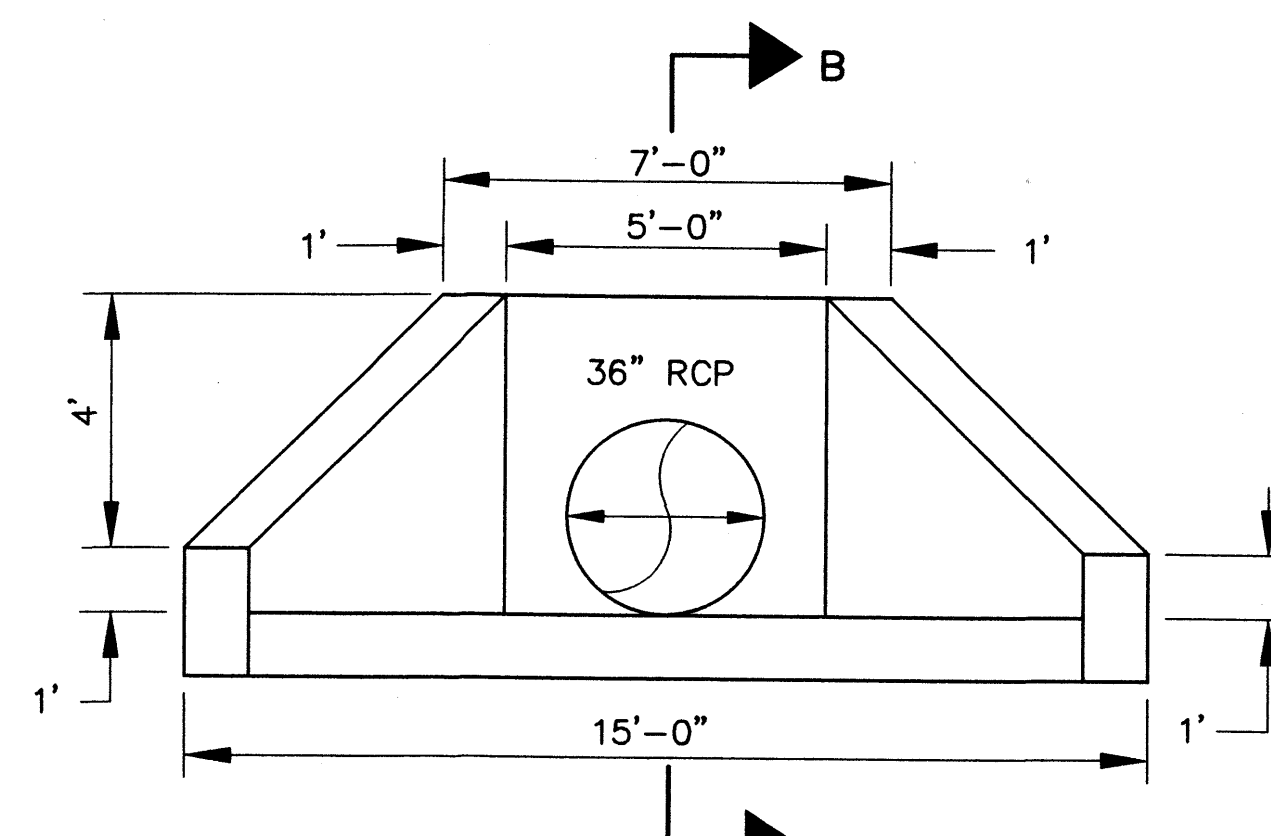
HEADWALL 'A' DETAIL
SCALE: NTS



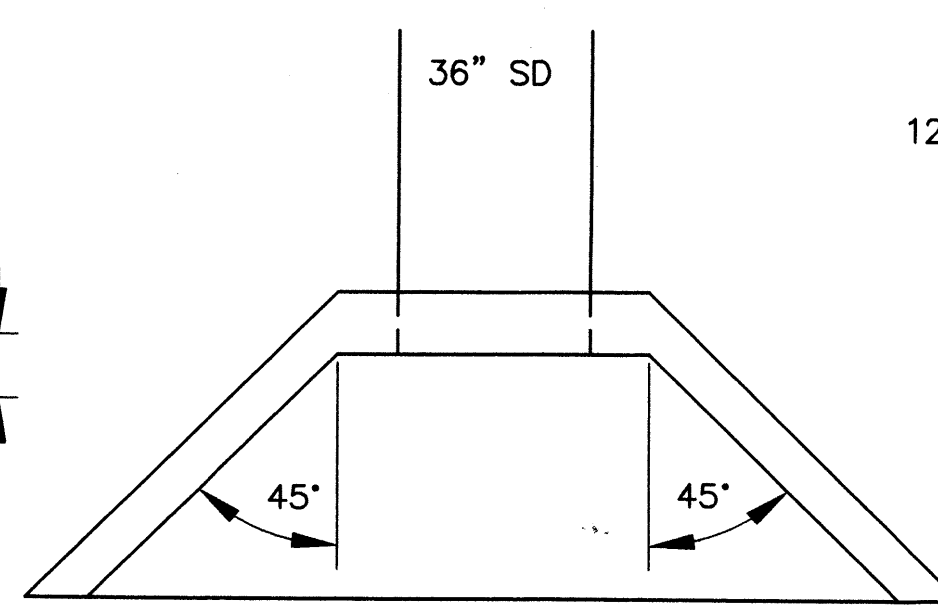
PLAN VIEW



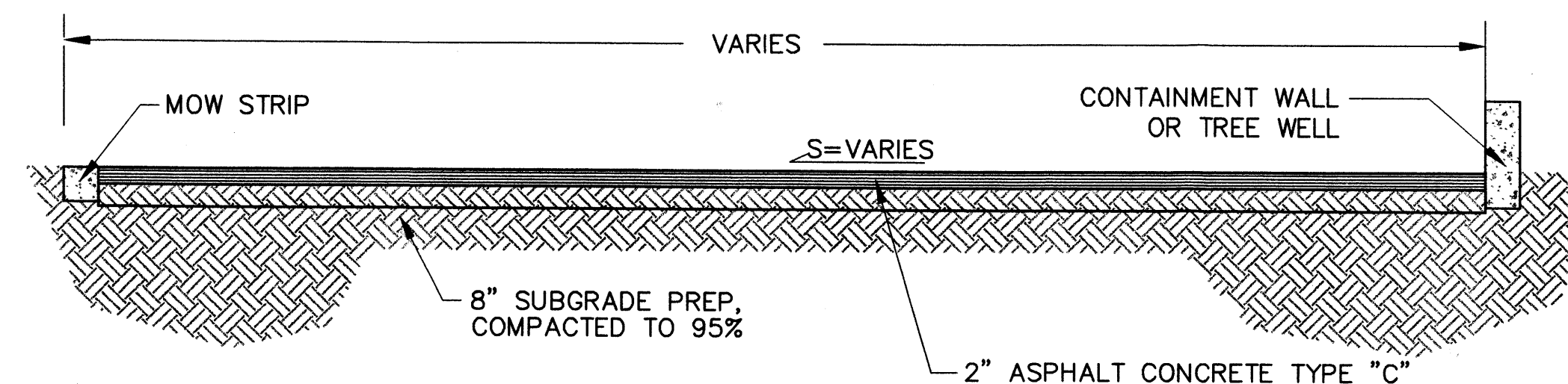
SECTION B-B



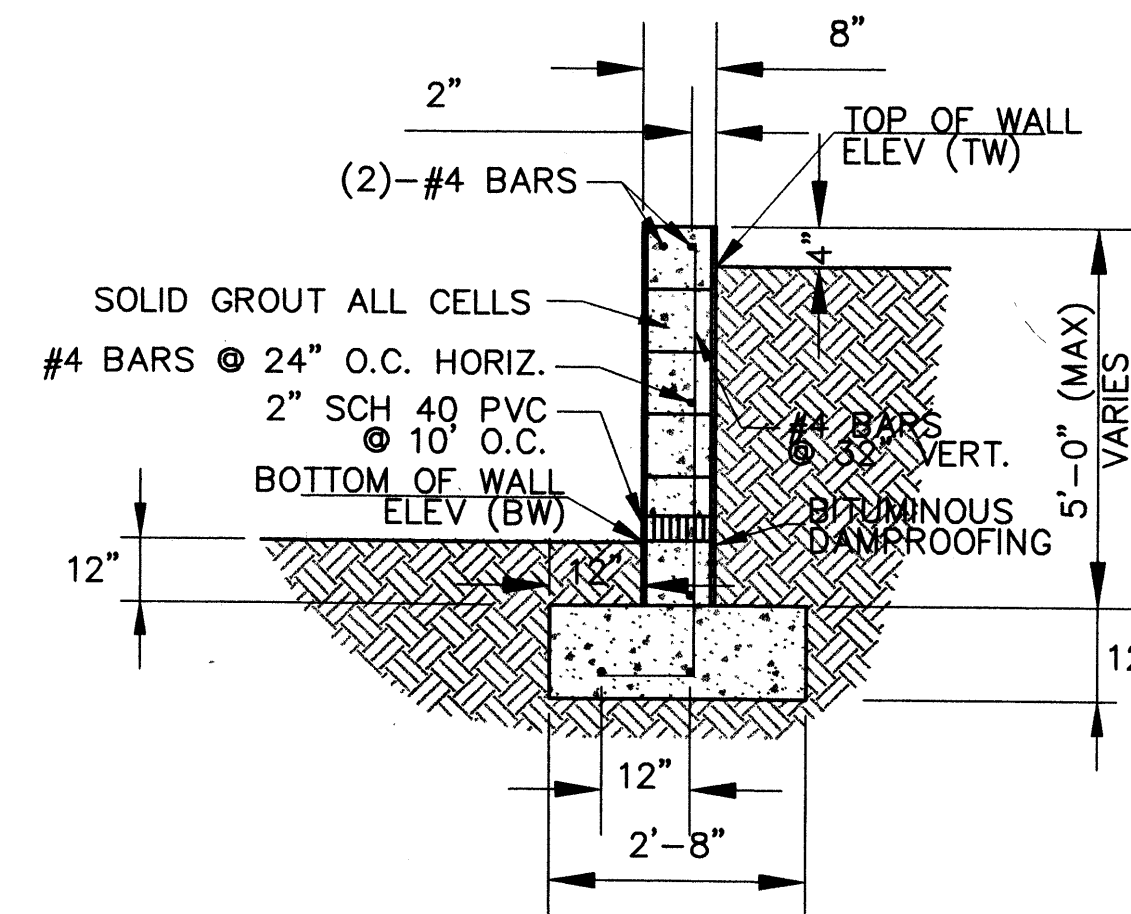
HEADWALL 'B' DETAIL
SCALE: NTS



PLAN VIEW

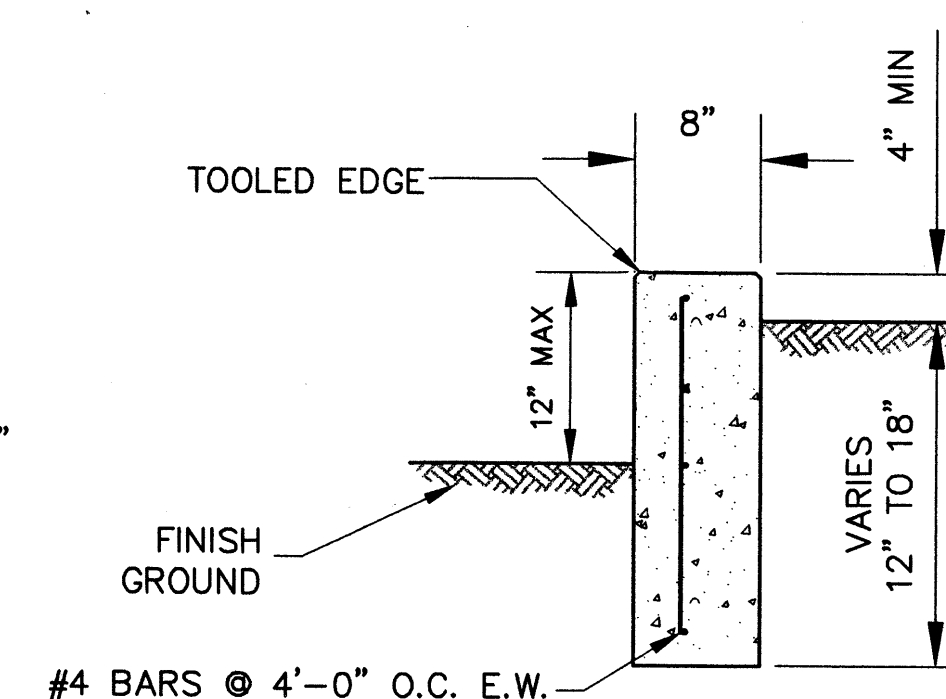


TYPICAL PAVEMENT SECTION
NTS



RETAINING WALL SECTION
SCALE 1"=2'

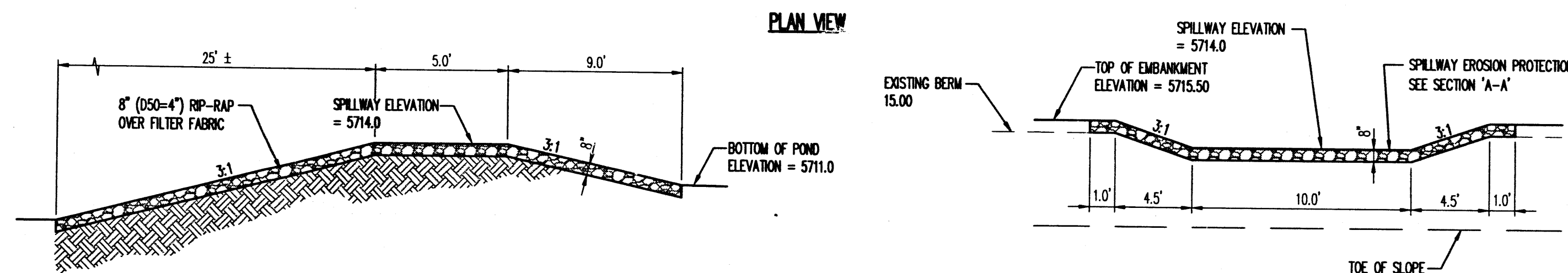
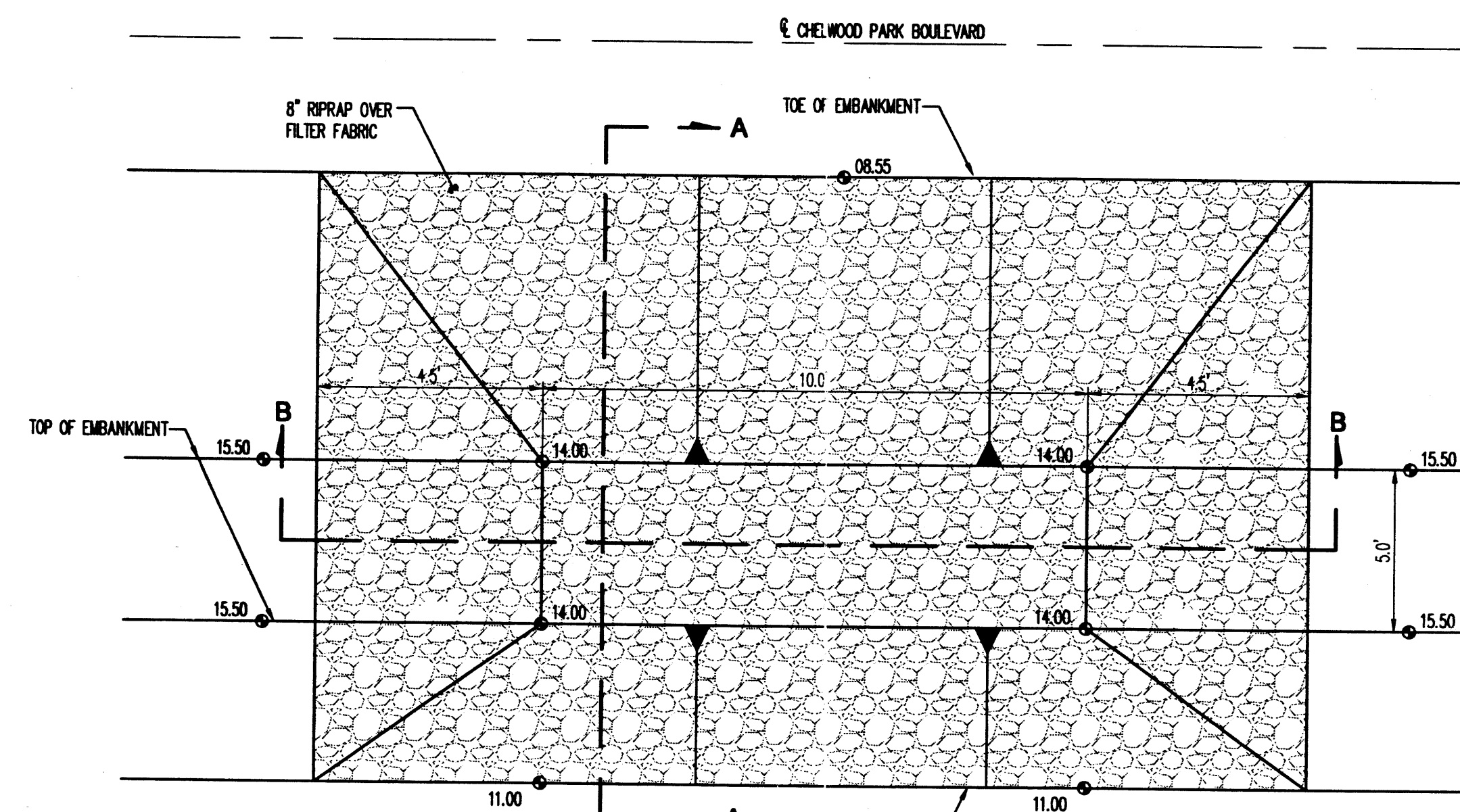
NOTE:
COMPRESSIVE STRENGTH OF BLOCK = 1800 PSI
1/2" EXPANSION JOINTS = 30 FT
1/4" CHAMFER CONSTRUCTION JOINTS = 10 FT



SECTION B-B
CONTAINMENT WALL
SCALE: 1"=1'

NOTE:
INSTALL 1/2" BITUMINOUS JOINT @ 30' O.C.
INSTALL TOOL JOINT @ 10' O.C.

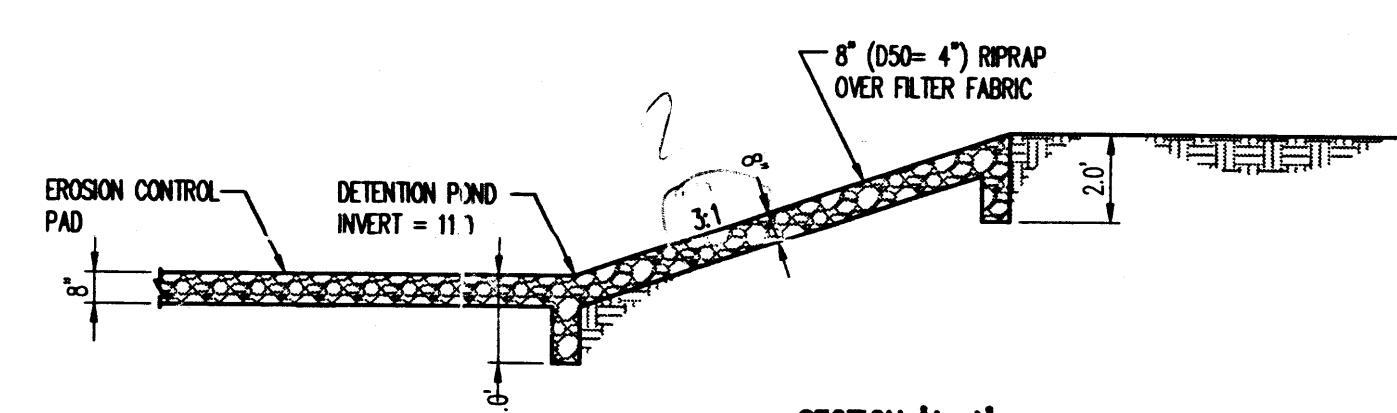
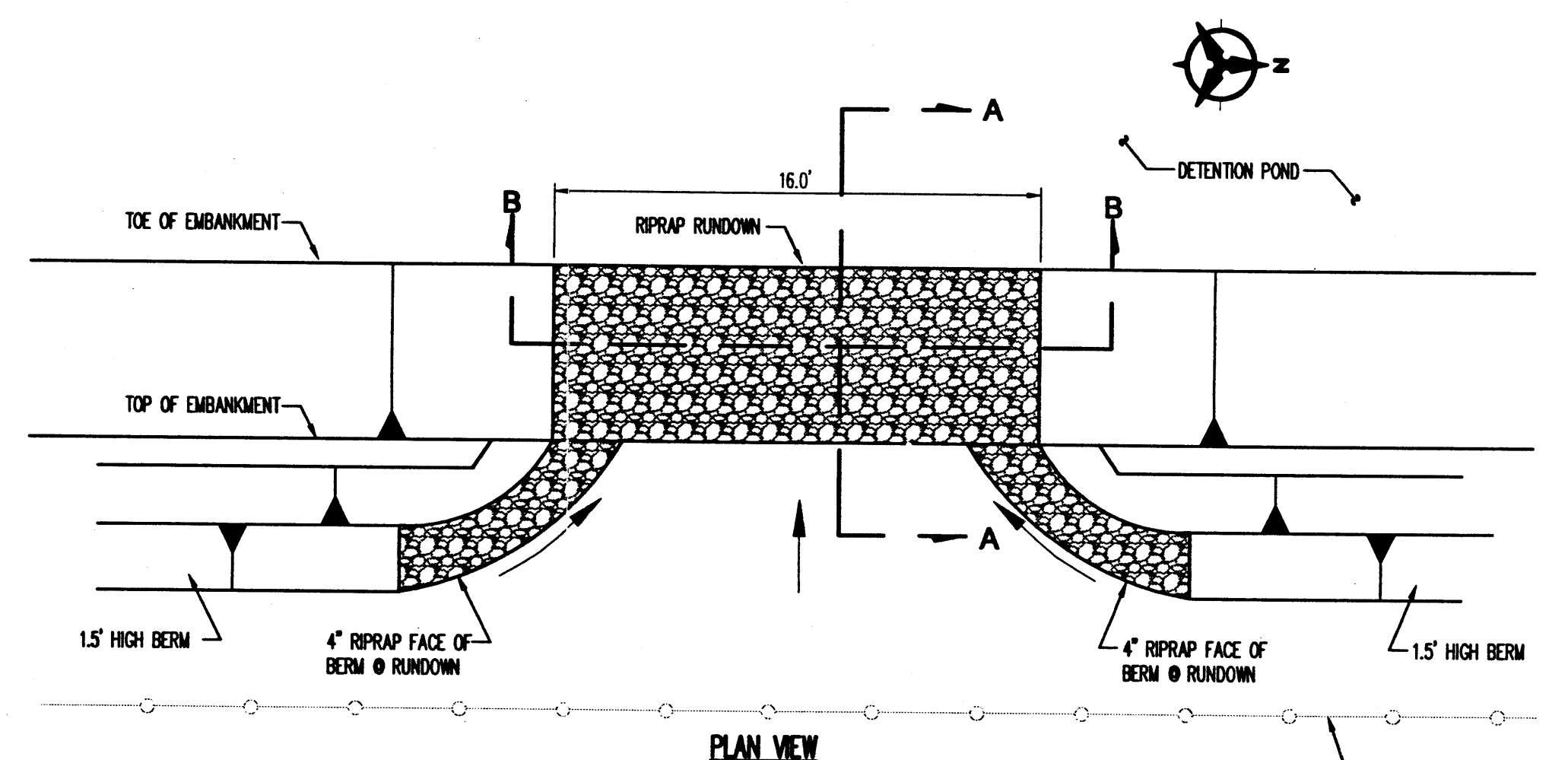
DESIGN FMK	DRAWN FMK	
CHELWOOD ELEMENTARY SCHOOL 12701 CONSTITUTION AVE. NE PLAYGROUND IMPROVEMENTS		
GRADING AND DRAINAGE DETAILS		
WILSON & COMPANY 4900 LANG AVE NE ALBUQUERQUE, NEW MEXICO 87110 (505) 348-4000		DATE MAY 2000
		FILE NO. 99090
		SHEET NO. 2 OF 2



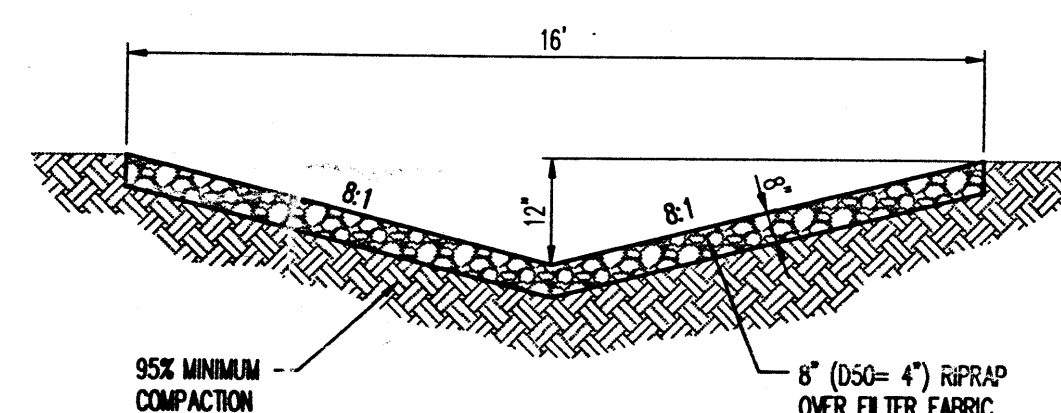
SECTION 'A-A'
N.T.S.

SPILLWAY
N.T.S.

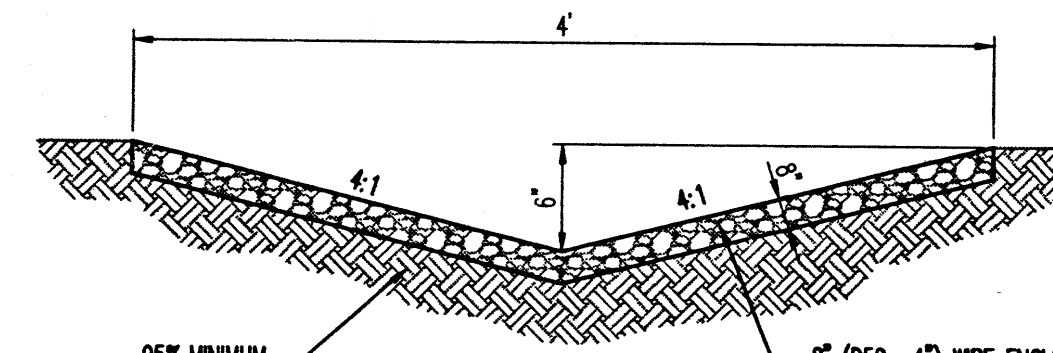
SECTION 'B-B'
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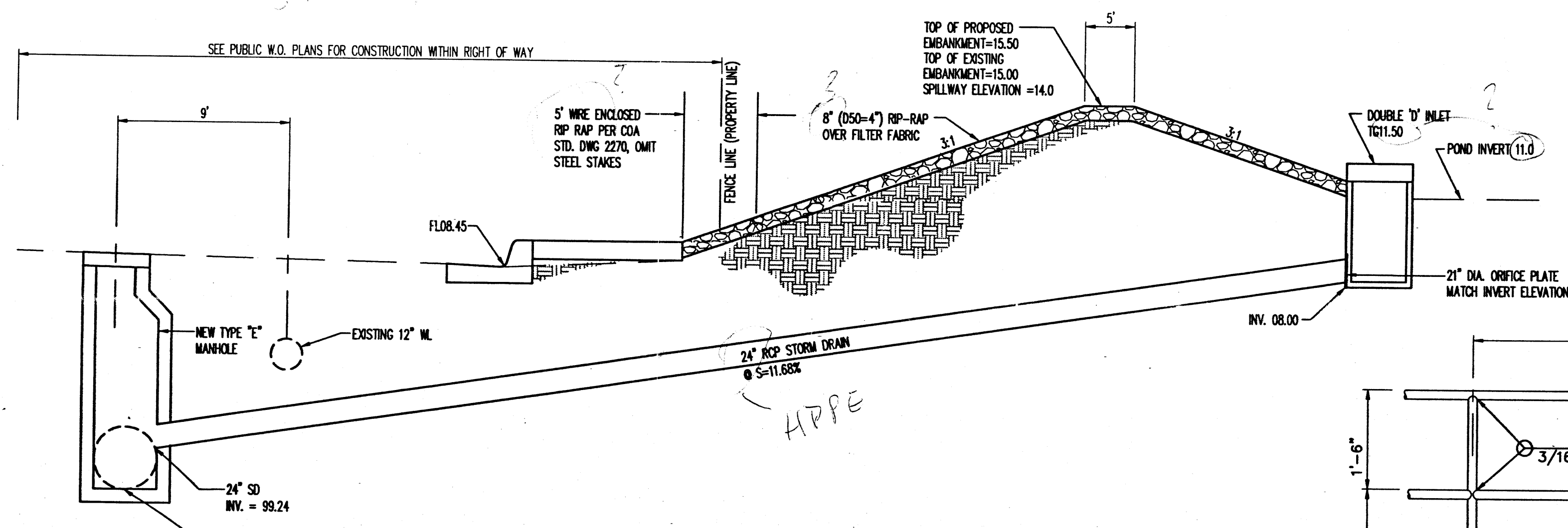
SECTION 'A-A'
DETENTION POND RUNDOWN
N.T.S.



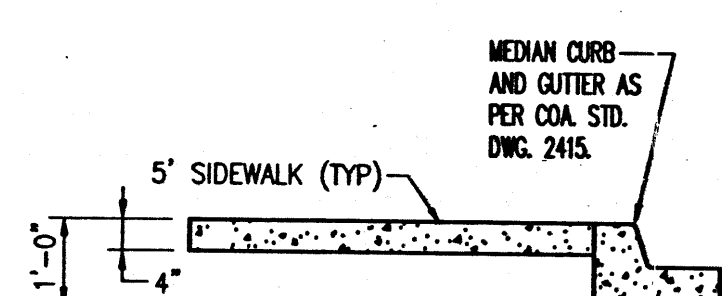
SECTION B-B
DETENTION POND RUNDOWN
N.T.S.



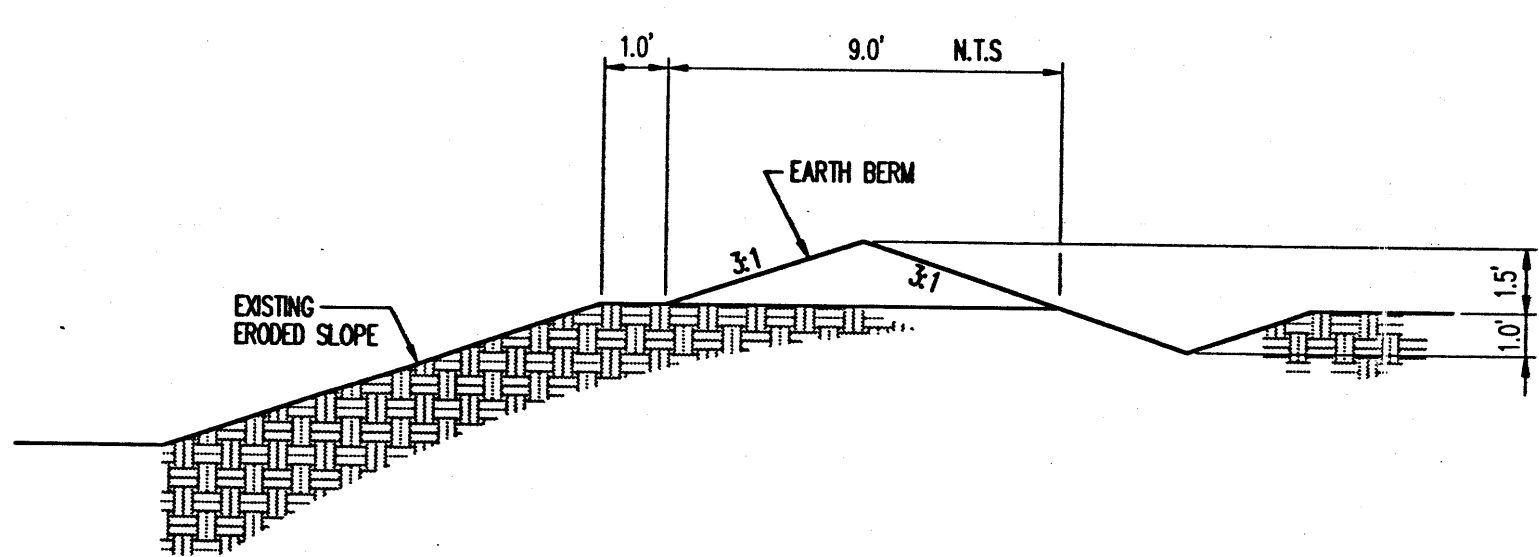
RIP-RAP RUNDOWN DETAIL
N.T.S.



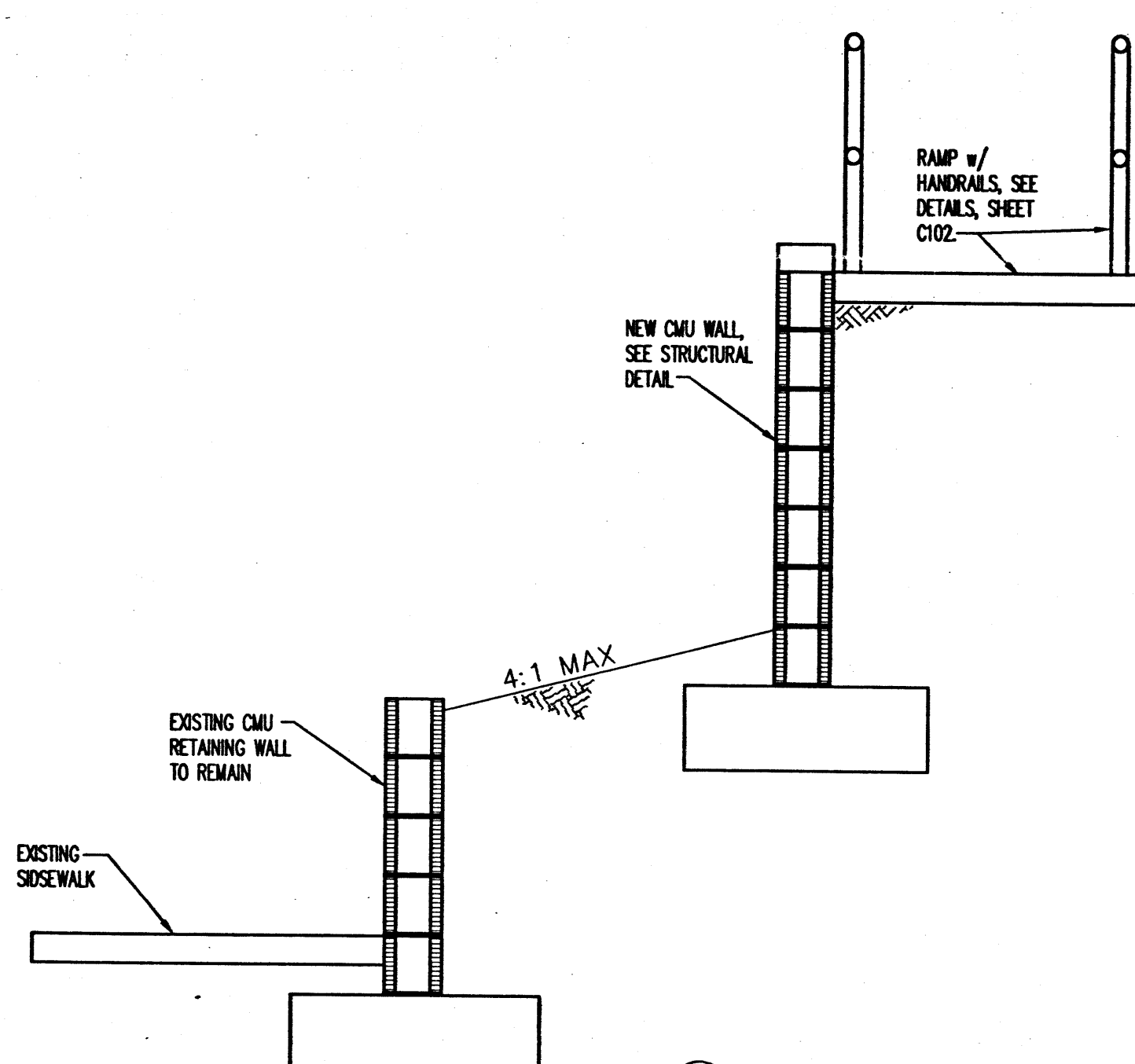
OUTLET CROSS SECTION
N.T.S.



SIDEWALK AND CURB & GUTTER
N.T.S.



EROSION CONTROL BERM
AT DETENTION POND & PLAYGROUND CUT SLOPE
N.T.S.

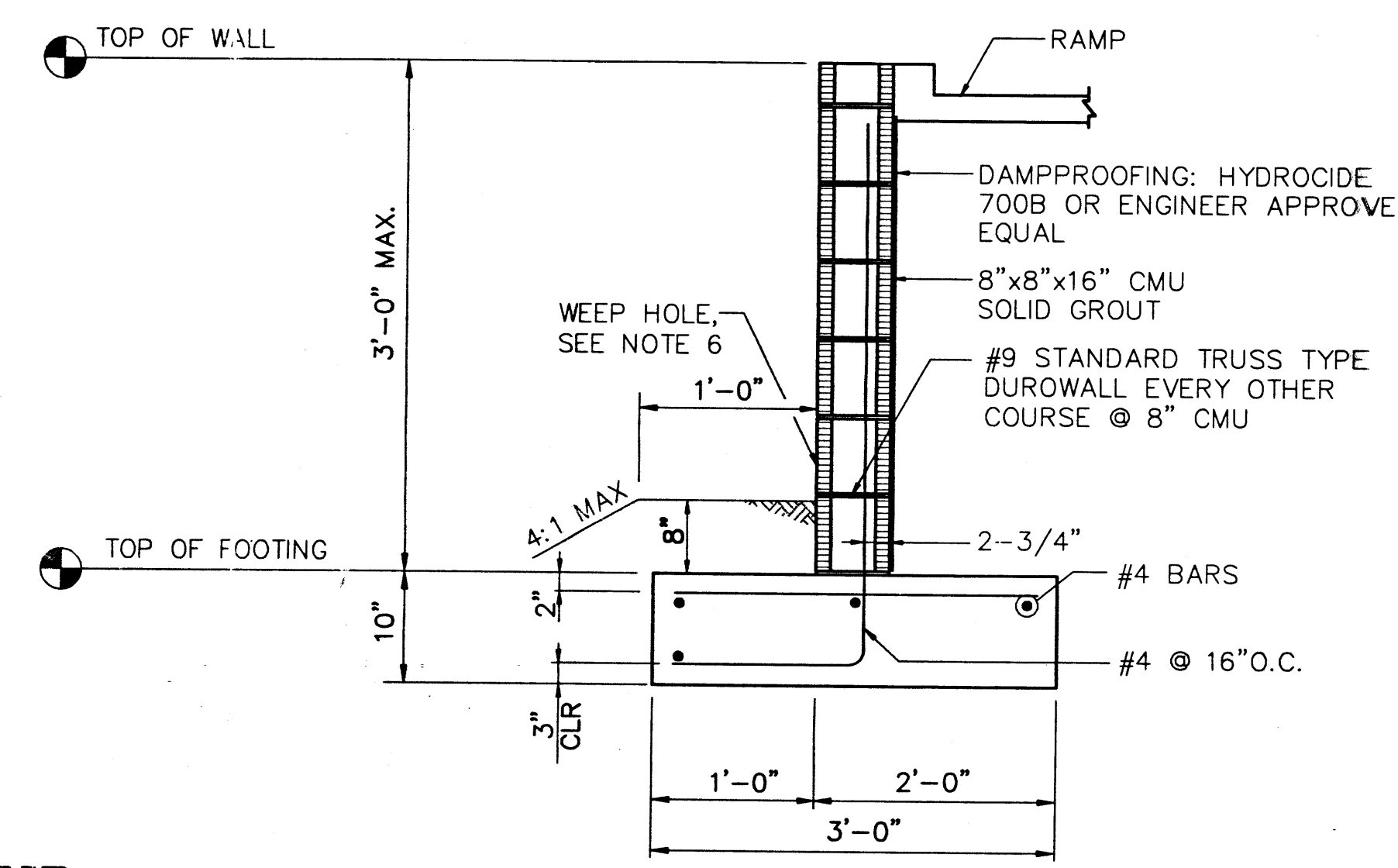


RAIL DETAIL
N.T.S.

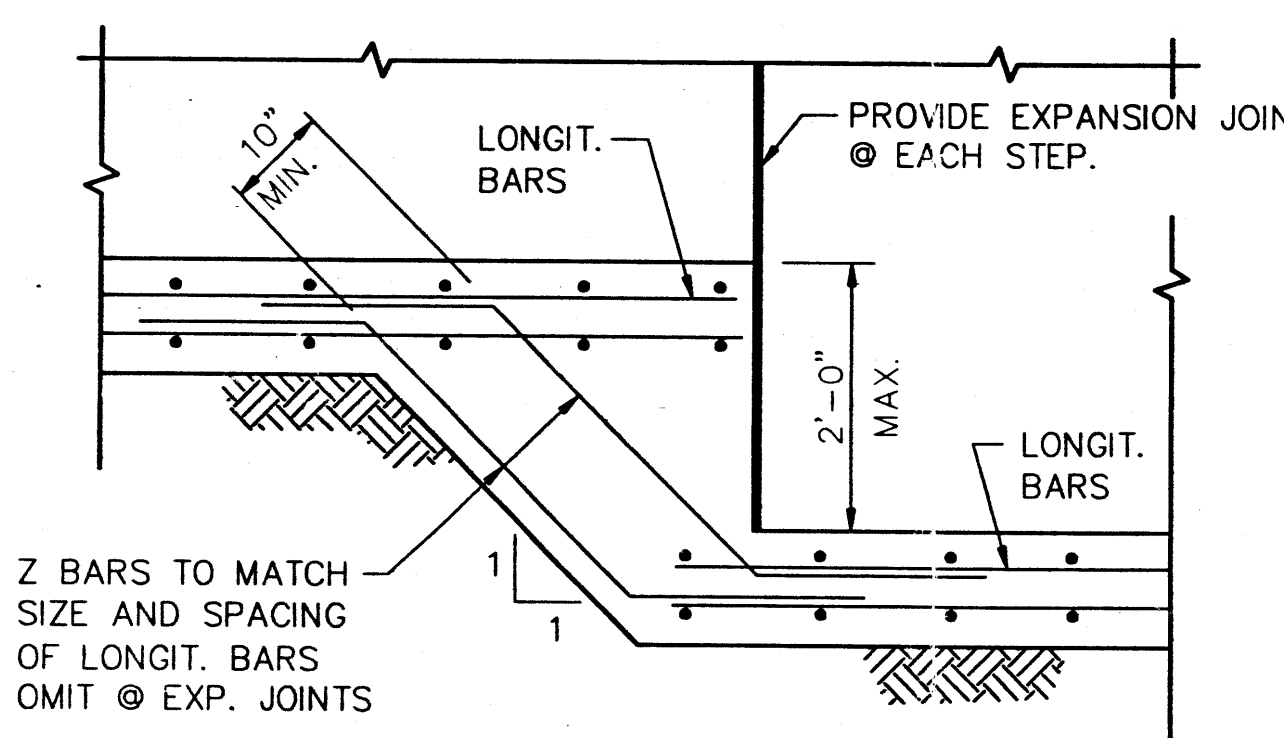
GRADING SECTION
N.T.S.

NOTES FOR CMU RETAINING WALLS

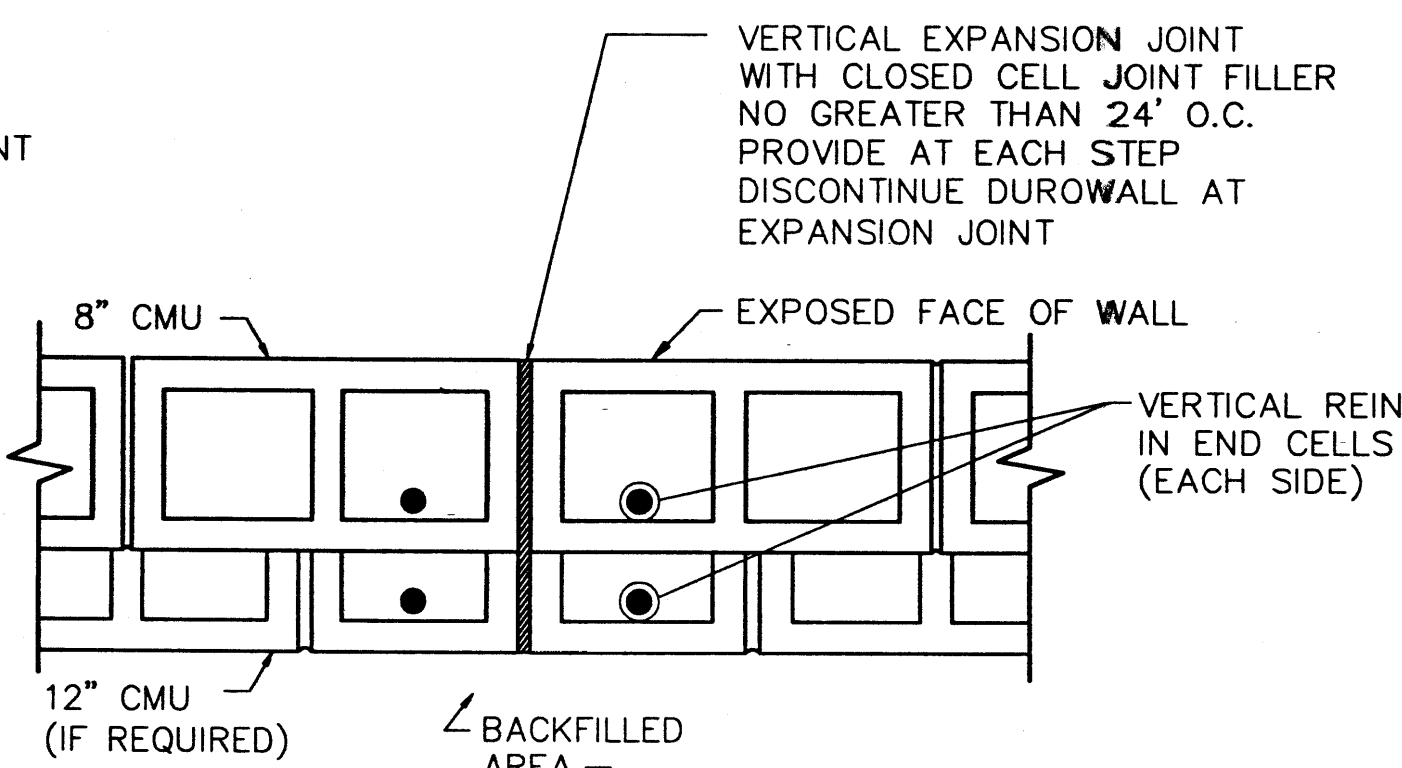
1. PRIOR TO PLACING WALL FOOTINGS, THE EXPOSED SOILS BELOW THE FOOTINGS SHALL BE SCURED TO A DEPTH OF EIGHT (8") INCHES, MOISTURE CONDITIONED TO A NEAR OPTIMUM (4-10% MOISTURE CONTENT), AND COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557. DURING BACKFILL OPERATIONS, THE CONTRACTOR SHALL BE LIMITED TO THE USE OF HAND OPERATED COMPACTOR EQUIPMENT WITHIN A ZONE OF FIVE FEET HORIZONTALLY FROM THE BACK OF THE WALL. BACKFILL SHALL BE PLACED IN LIFTS NO GREATER THAN EIGHT (8") INCHES, MOISTURE CONDITIONED TO A NEAR OPTIMUM (4-10% MOISTURE CONTENT) AND COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY ASTM-1557.
2. RETAINING WALL BACKFILL OPERATIONS SHALL NOT BEGIN UNTIL 7 DAYS AFTER PLACING OF FINAL GROUT LEVEL. CARE SHOULD BE TAKEN TO AVOID EXERTING IMPACT FORCES ON THE WALL AS COULD BE CAUSED BY A LARGE MASS OF MOVING EARTH. SLOPES UP AWAY FROM WALLS SHOULD NOT EXCEED 2X.
3. VERTICAL CONTROL JOINTS IN THE WALL AND FOOTING SHALL BE PLACED AS SHOWN ON THE STEP FOOTING AND EXPANSION JOINT DETAILS.
4. MINIMUM LAP SPACES ON REINFORCING BARS IN MASONRY WALLS SHALL BE 40 BAR DIAMETERS (2'-0" MINIMUM). REINFORCEMENT OF A SIZE AND SPACING OTHER THAN THAT GIVEN MAY BE USED PROVIDING SUCH OTHER REINFORCEMENT FURNISHES AN AREA OF STEEL AREA AT LEAST EQUAL TO THAT GIVEN. LAP ALL JOINT REINFORCEMENT 8" MINIMUM.
5. CONSTRUCTION OF RETAINING WALLS SHALL CONFORM TO REQUIREMENTS OF THE 1997 UNIFORM BUILDING CODE, CHAPTER 21, MASONRY.
6. OMISSION OF A HEAD JOINT ON FIRST COURSE AT 48" O.C. SHALL BE USED FOR WEEP HOLES.
7. DESIGN DATA:
BLOCK WEIGHT = 85 LBS
SOIL WEIGHT = 120 LBS
ESP (ACTIVE) = 32 LBS
SOIL BEARING CAPACITY = 1500 PSF
(1/3 INCREASE FOR HORIZ. SEISMIC)
COEFFICIENT OF FRICTION = 0.4
ESP (PASSIVE) = 40 LBS
CONCRETE f_c (28 DAYS) = 3000 PSI
GROUT STRENGTH = 7000 PSI
CMU GRADE: M = 1500 PSI (GRADED SOLID)
REINFORCEMENT = #4 ASTM A-615C
8. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONCRETE FOOTING POUR FOR INSPECTION OF CONSTRUCTION UNDER FOOTING, FOOTING DEPTH AND WIDTH AND WALL STEEL AND SPACING. FINAL INSPECTION OF FOOTING AND WALL SHALL BE REQUIRED.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR CODE ADMINISTRATION APPROVAL AND FEES ASSOCIATED WITH IT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO SEE THAT ALL REBAR IS PROPERLY ALIGNED AND TIED IN PLACE BEFORE PLACING CONCRETE. ALL STEEL SHALL BE ACCURATELY LOCATED AND SECURED IN PLACE SO THAT IT REMAINS IN POSITION DURING THE PLACEMENT OF THE CONCRETE. ANY REBAR IMPROPERLY INSTALLED SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.
11. THE FIRST COURSE OF CMU BLOCK SHALL NOT BE PLACED UNTIL 7 DAYS AFTER THE FOOTING IS CAST.
12. ALL CMU BLOCK TO BE SPILT-FACED. THE CONTRACTOR SHALL COORDINATE COLOR WITH THE ARCHITECT.
13. AT NO TIME MAY THE CONTRACTOR CUT OR IN ANY WAY WEAKEN THE DOWELWALL TRUSS. THE PLACEMENT OF THE CONCRETE, ANY REBAR IMPROPERLY INSTALLED OR OTHERWISE HELD IN PLACE IN CURVED PORTIONS OF THE WALL, THEN A BOND BEAM MUST BE PROVIDED AS SHOWN IN DETAIL SHEET.



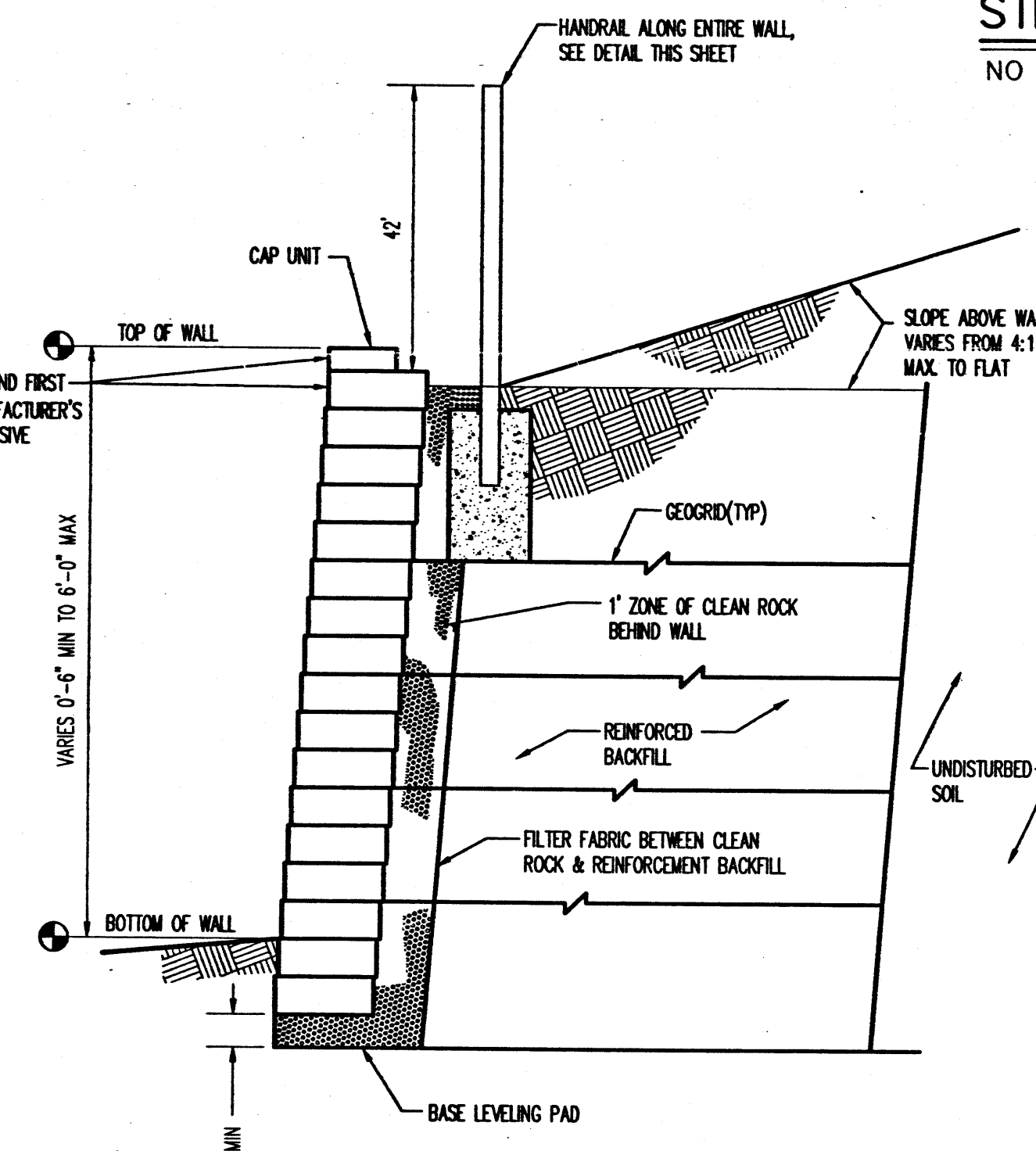
CMU RETAINING WALLS STRUCTURAL DETAIL
N.T.S.



STEP FOOTING DETAIL
NO SCALE



TYPICAL EXPANSION JOINT DETAIL
NO SCALE



TYPICAL SEGMENTAL RETAINING WALL SECTION
NOT TO SCALE

NOTE: CONTRACTOR TO PROVIDE ARCHITECT/ENGINEER, INC. WITH SHOP DRAWINGS (FOR APPROVAL) FOR EACH WALL PRIOR TO CONSTRUCTION AND PERMITTING.)

SEGMENTAL RETAINING WALL CONSTRUCTION NOTES:

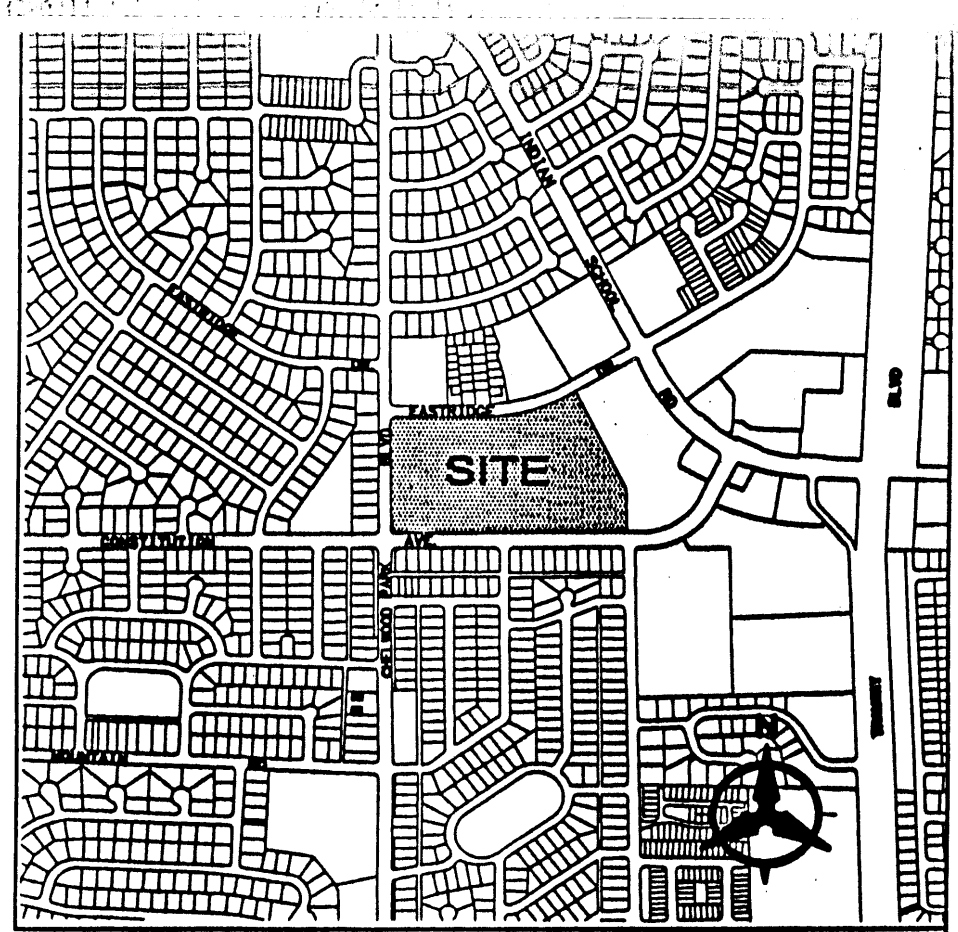
1. RETAINING WALL CONTRACTOR TO MEET CONTRACTOR'S QUALIFICATIONS LISTED BELOW (UNLESS OTHERWISE APPROVED BY OWNER)
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS PREPARED BY A PROFESSIONAL ENGINEER REGISTERED IN NEW MEXICO & QUALIFIED TO DESIGN SEGMENTAL RETAINING WALLS FOR REVIEW PRIOR TO SUBMITTING TO GOVERNING ENTITY.
3. RETAINING WALL SYSTEM REQUIREMENTS (PROVIDED BY MANUFACTURER OR CONTRACTOR).
4. SOIL AND COMPACTION TESTING SHALL BE PERFORMED DURING CONSTRUCTION (1/2 HEIGHT, AND FINAL).
5. APPROVED SHOP DRAWINGS MUST BE AVAILABLE ON-SITE AT ALL TIMES.
6. CONTRACTOR TO PROVIDE OWNER WITH COLOR SAMPLES FOR FINAL COLOR SELECTION.
7. ELEVATIONS SHOWN ARE TO TOP OF WALL AND BOTTOM OF WALL AT FINAL GRADE (DOES NOT INCLUDE FOOTING).
8. CONTRACTOR TO INCLUDE ANY OTHER EXCAVATION AND CONTROLLED BACKFILL ASSOCIATED WITH RETAINING WALL IN RETAINING WALL BID.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR CODE ADMINISTRATION APPROVAL AND FEES ASSOCIATED WITH IT.

Bohannon & Huston
Courtesy One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

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ARCHITECTS • PLANNERS • INTERIOR DESIGNERS
115 AMHERST DRIVE SE., ALBUQUERQUE, NEW MEXICO 87106
TELE. (505) 255-8668 FAX (505) 268-6665

CHLWOOD ELEMENTARY SCHOOL		Copyright © 2002 by SMPC Architects	
PHASE 1 - MISCELLANEOUS DETAILS		PROJECT # 020138	
REV. #	DATE	DWN BY: ED	
		CHK BY:	
		DATE: 06/12/02	
		C302	
		OF	



VICINITY MAP
ZONE ATLAS MAP J-22-2

① SANITARY SEWER KEYED NOTES

- CONNECT TO EXISTING SANITARY SEWER INV=5701.50
- INSTALL SANITARY SEWER CLEANOUT PER DETAIL, THIS SHEET.
- INSTALL 4" DIAMETER TYPE "B" SANITARY SEWER MANHOLE PER COA STD. DWG.
- INSTALL 5 LF OF 6" SANITARY SEWER AND PLUG.
- SEE FUTURE CLASSROOM PROJECT UTILITY PLAN FOR CONTINUATION.
- STUB TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.

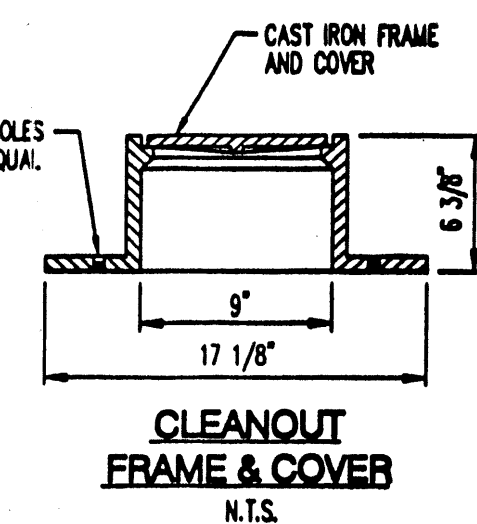
② WATER KEYED NOTES

- TO EXISTING 2" DOMESTIC WATER LINE.
- LEAVE STUBS FOR CLASSROOM BUILDING PROJECT-MARK LOCATION WITH 4"x4"x8" LUMBER.
- STUB 2" DOMESTIC W. TO WITHIN 5' OF FUTURE BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.

③ GAS KEYED NOTES

- GAS LINE CONTINUATION BY OTHERS.
- NEW GAS SERVICE AND METER SHALL BE INSTALLED BY PHIL. CONTRACTOR SHALL INCLUDE ALL COSTS IN BID. APS SHALL INFORM CONTRACTOR OF GAS LOAD, SIZE LINE AND METER FOR FUTURE EXPANSION. ADDITIONAL REGULATOR AT METER SHALL REDUCE GAS TO MEDIUM PRESSURE (3-PSI).
- MEDIUM PRESSURE GAS PIPE AFTER METER SHALL BE SCH 40 STEEL PIPE WELDED AT ALL JOINTS AND FITTINGS USE PIPE PRIMER AND WRAP WITH 10 MIL TAPE.
- SEE CLASSROOM PROJECT FOR GAS LINE CONTINUATION.

LEGEND	
1000	EXISTING INDEX CONTOURS
	EXISTING INTERMEDIATE CONTOURS
	EXISTING CURB
	EXISTING LIGHT POLE
	EXISTING POST INDICATOR VALVE
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING HYDRANT
	EXISTING STORM DRAIN MANHOLE
	EXISTING INLET
	EXISTING SANITARY SEWER MANHOLE
	EXISTING CLEANOUT
	EXISTING TRANSFORMER
	EXISTING PULL BOX
	EXISTING POST
	EXISTING STEAM MANHOLE
	EXISTING SPOT ELEVATION FL=FLOW LINE TC=TOP OF CURB TA=TOP OF ASPHALT
S=2.0%	PROPOSED DIRECTION OF FLOW
	PROPOSED CURB & GUTTER
	PROPOSED STORM DRAIN LINE
	PROPOSED STORM DRAIN INLET
	PROPOSED SPOT ELEVATION FL=FLOW LINE TC=TOP OF CURB

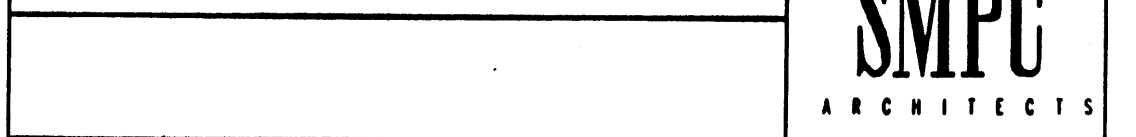


CLEANOUT
FRAME & COVER
N.T.S.

Boltman & Huston
Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

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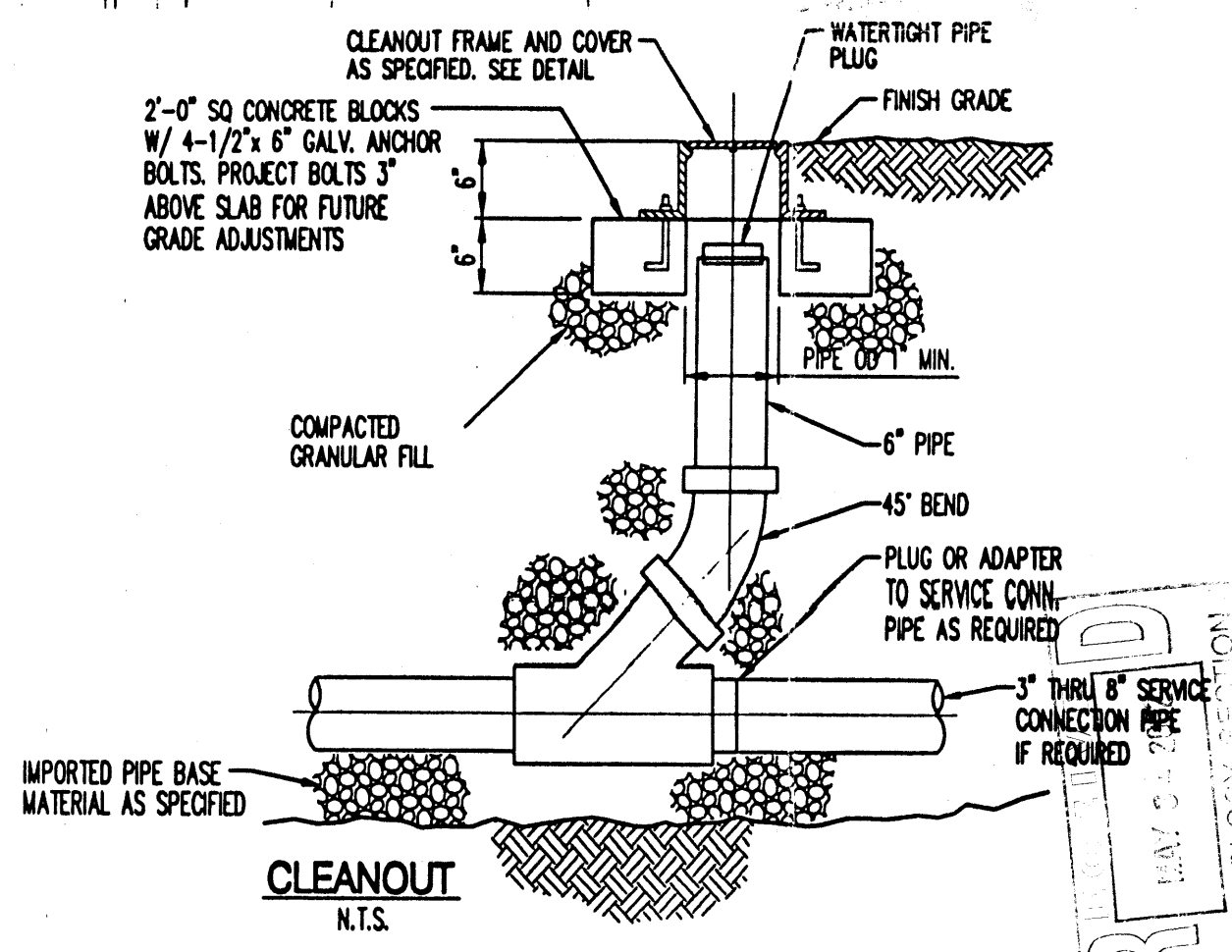


CHELWOOD ELEMENTARY PORTABLE PARK
PORTABLE PARK - GRADING, DRAINAGE & UTILITY PLAN

REV. #	DATE	PROJECT # 020188
		DWN BY:
		CHK BY:
		DATE: 02/08/02
		C101
		OF

GENERAL NOTES

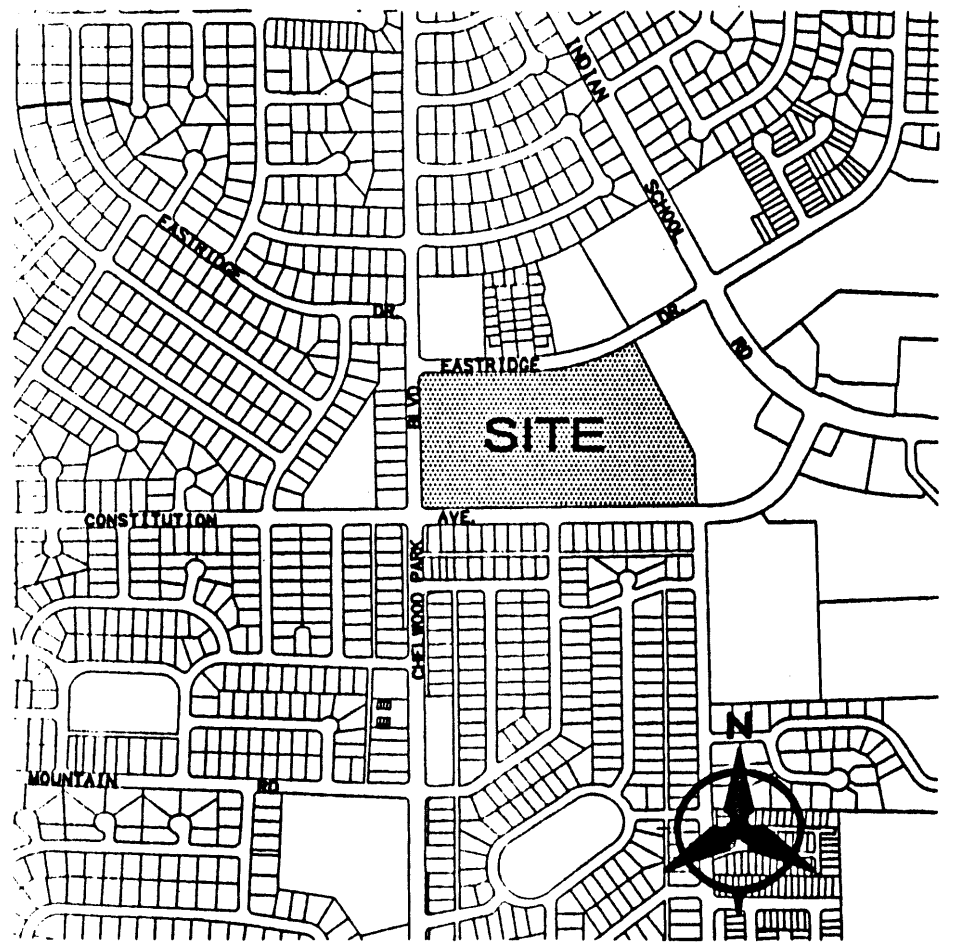
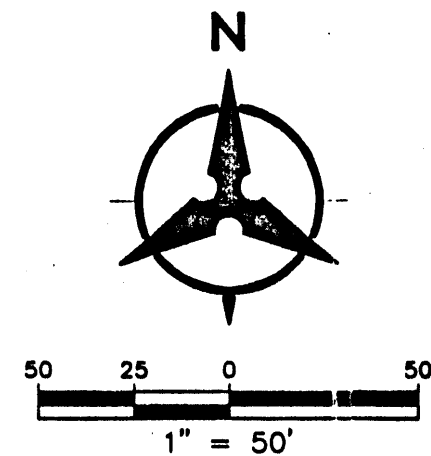
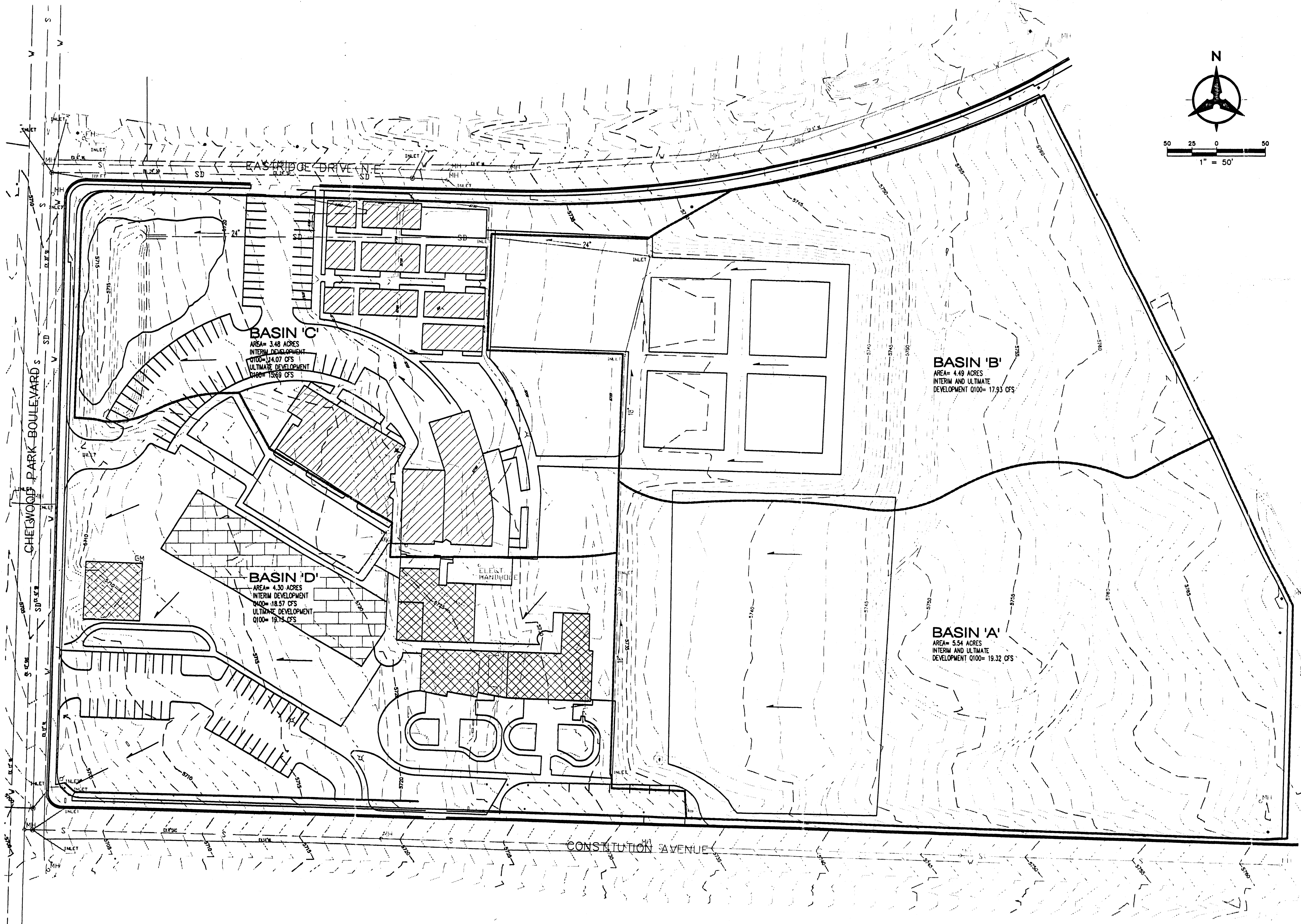
- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, AND APPLICABLE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LINES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, TRIPOD, DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL KEEP THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES REQUIREMENTS.



CLEANOUT
N.T.S.

C101 PORTABLE PARK - GRADING, DRAINAGE & UTILITY PLAN

1"=30'



VICINITY MAP
ZONE ATLAS MAP No. J-22-Z

LEGEND

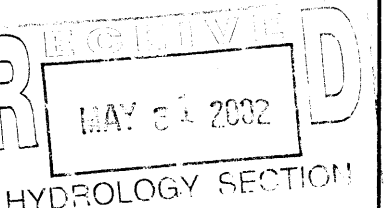
- DRAINAGE BASIN BOUNDARY
- 1000' EXISTING INDEX CONTOURS
- EXISTING INTERMEDIATE CONTOURS
- EXISTING CURB
- *O EXISTING LIGHT POLE
- W EXISTING POST INDICATOR VALVE
- WV EXISTING WATER VALVE
- WU EXISTING WATER METER
- WU EXISTING HYDRANT
- WU EXISTING STORM DRAIN MANHOLE
- WU EXISTING INLET
- WU EXISTING SANITARY SEWER MANHOLE
- WU EXISTING CLEWOUT
- WU EXISTING TRANSFORMER
- WU EXISTING PULL BOX
- WU EXISTING POST
- WU EXISTING STEAM MANHOLE
- WU EXISTING SPOT ELEVATION
FL-Flow Line
TC-Top of Curb
TA-Top of Asphalt
- S=2.0% PROPOSED DIRECTION OF FLOW
- PROPOSED CURB & GUTTER
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- WU PROPOSED SPOT ELEVATION
FL-Flow Line
TC-Top of Curb
- EXISTING BUILDING TO REMAIN
- INTERIM DEVELOPMENT BUILDING S (PHASE I)
- ULTIMATE DEVELOPMENT BUILDING

EXHIBIT 2

JOB TITLE
ALBUQUERQUE PUBLIC SCHOOL
CHELWOOD ELEMENTARY SCHOOL
12701 CONSTITUTION AVE. N.E.
ULTIMATE DEVELOPMENT DRAINAGE
BASIN MAP

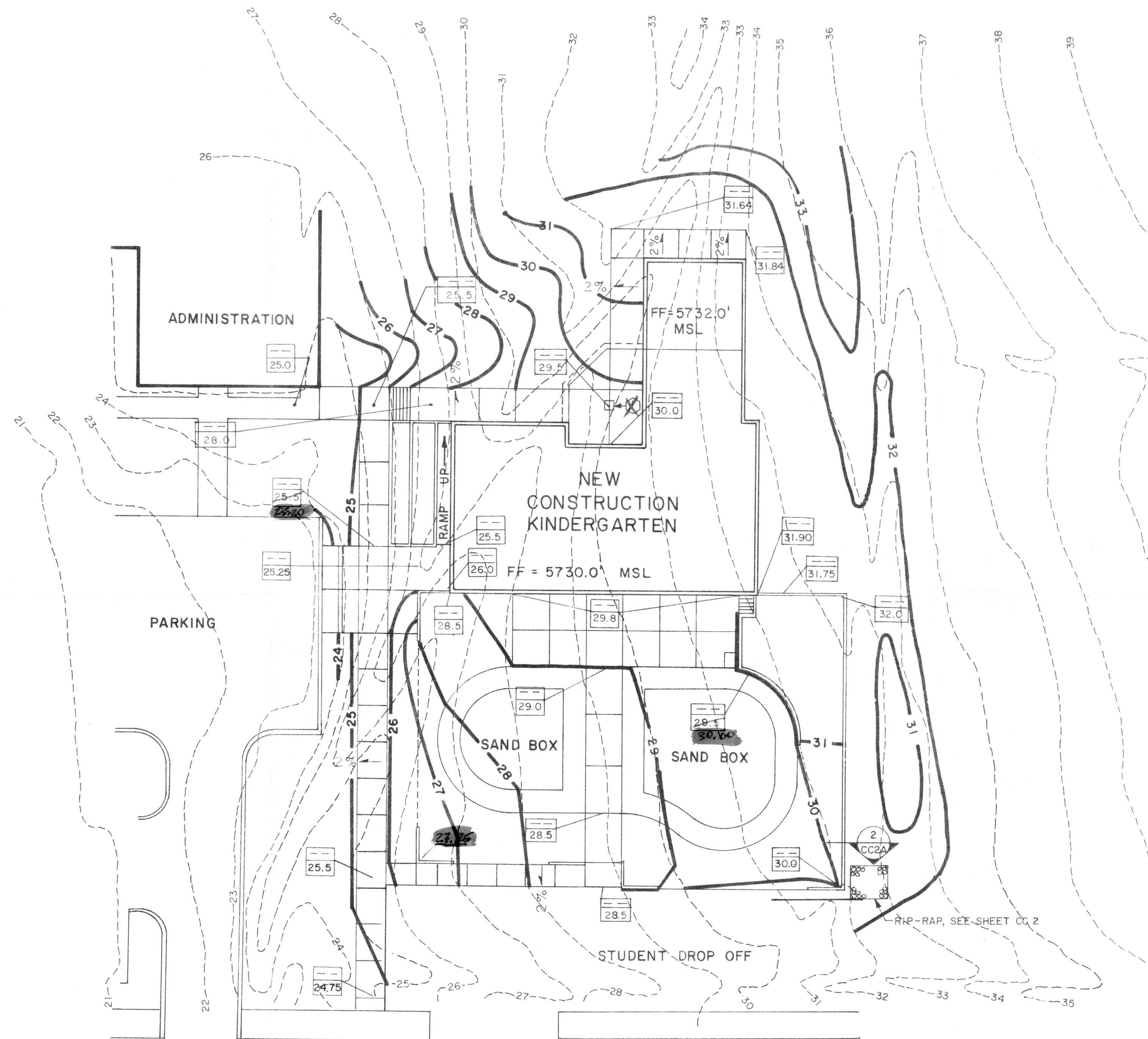
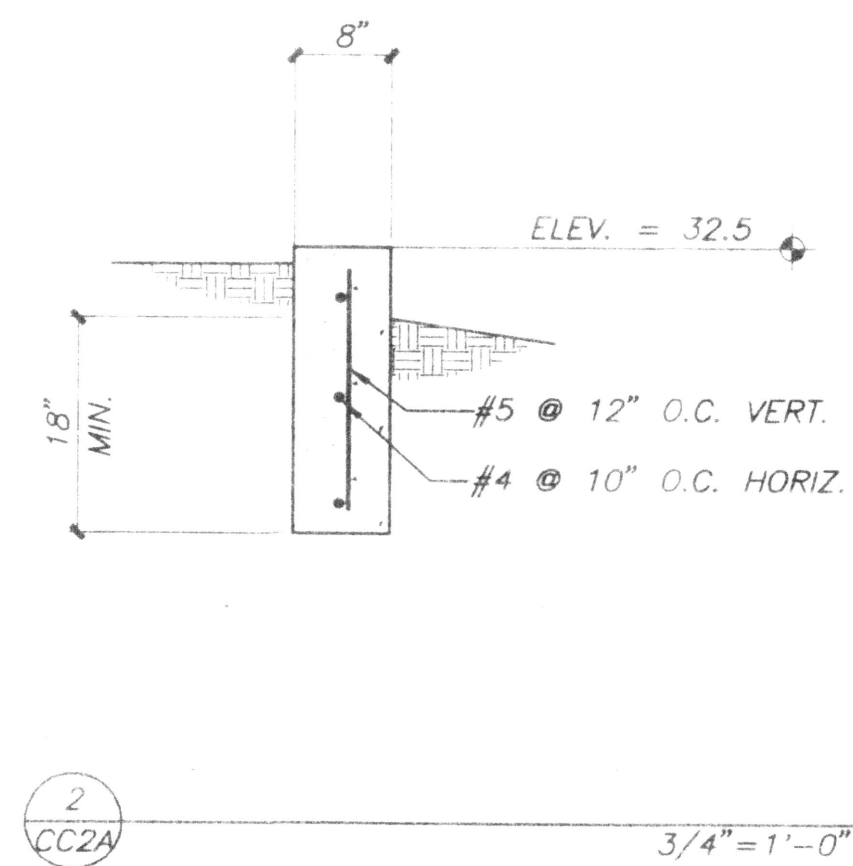
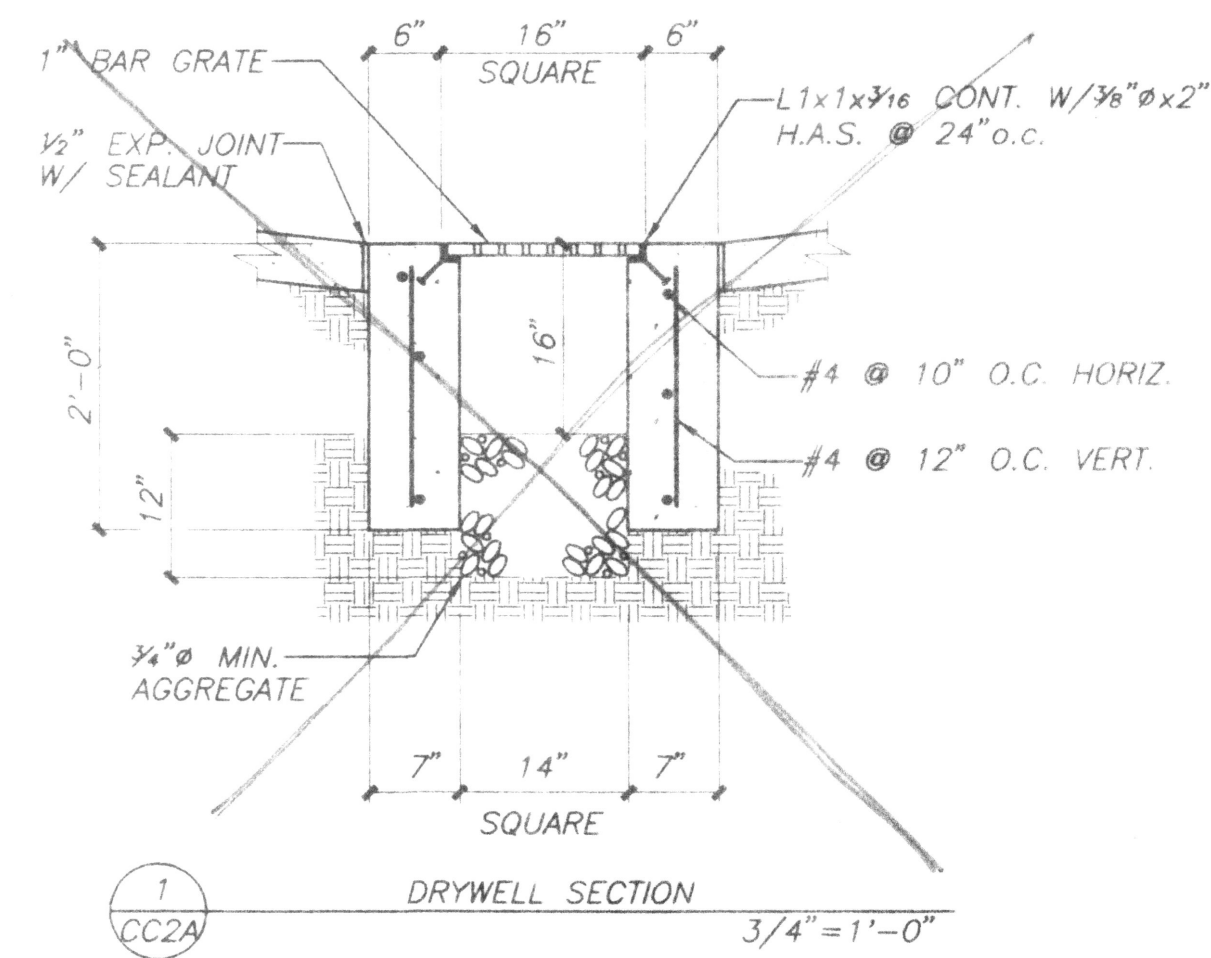
PROJECT MANAGER
020287

JOB No. DATE
020287 03/05/02



Bohannon & Huston
Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

REVISIONS				
No.	DATE	REMARKS	BY	



**CHELWOOD ELEMENTARY SCHOOL - NEW CONSTRUCTION KINDERGARTEN
AREA ENLARGEMENT (See Sheet CC2)**

1" = 20'

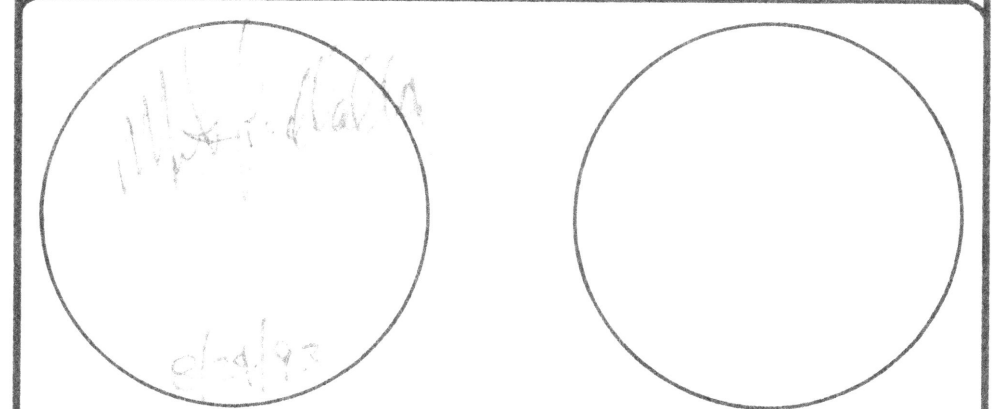


KEYED NOTES

1. CONSTRUCT DRYWELL PER #662A.

JUL 25 1994

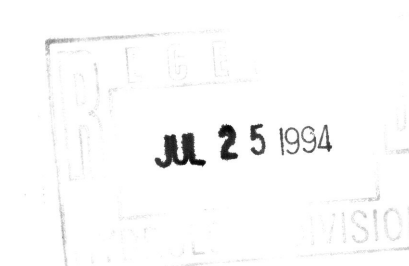
Van H. Gilbert Architect AIA
ARCHITECTURE PLANNING
319 CENTRAL NW SUITE 201 ALBUQUERQUE, NM 87102 505-247-9955



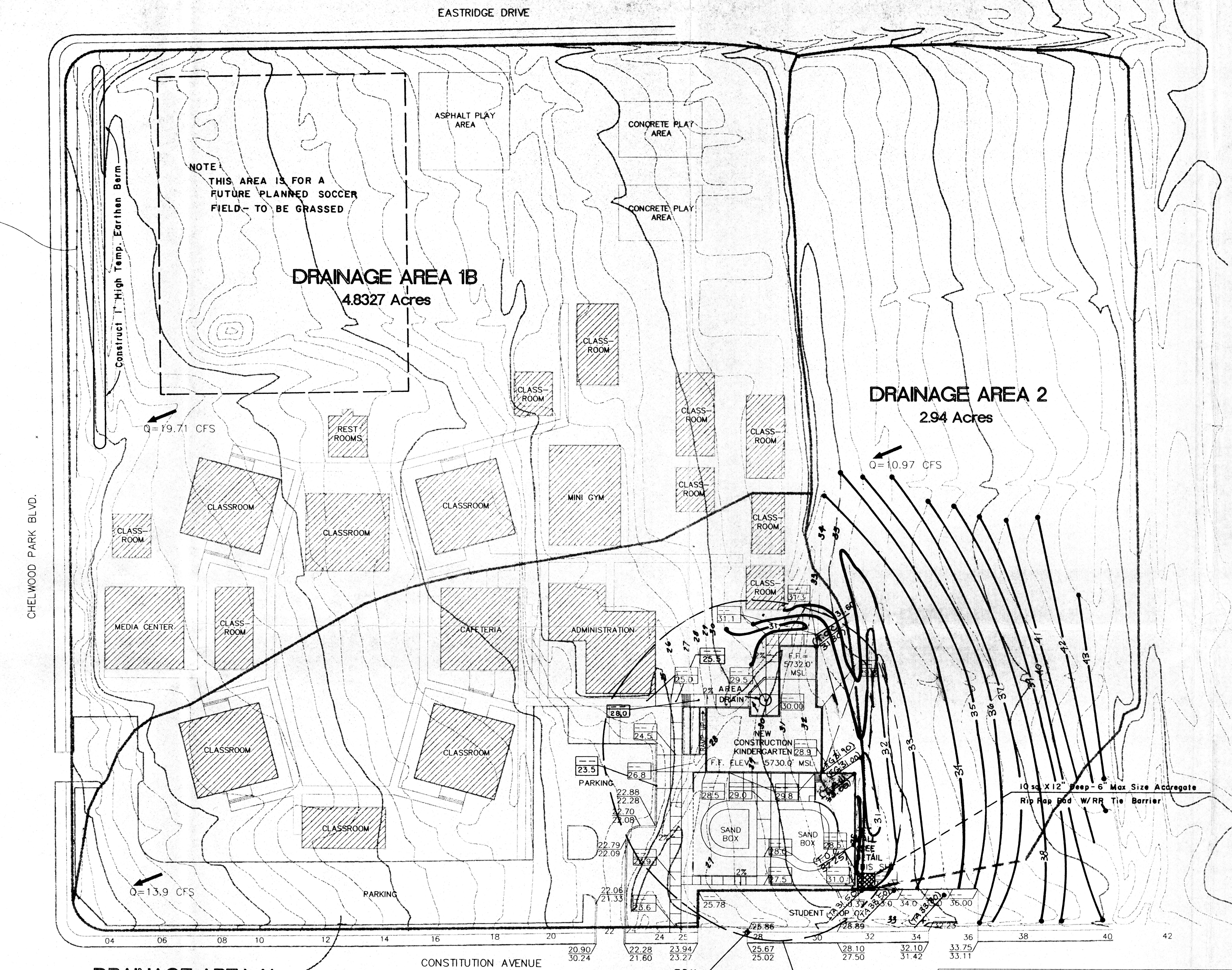
**ALBUQUERQUE PUBLIC SCHOOLS
CHELWOOD ELEMENTARY SCHOOL
ADDITION**
ALBUQUERQUE NEW MEXICO

DATE: 5/5 - 1993 FILE: N/A © Copyright 1993

**GRADING/DRAINAGE PLAN
AND DETAILS** SHEET CC 2A



I HEREBY CERTIFY THIS DRAINAGE
PLAN IS IN SUBSTANTIAL COMPLIANCE
WITH THE APPROVED DRAINAGE PLAN.
SIGNED: *[Signature]*
DATE: 7/22/94



DRAINAGE AREA 1A
29343 Acres

DRAINAGE AREA 1B
4.8327 Acres

DRAINAGE AREA 2
2.94 Acres

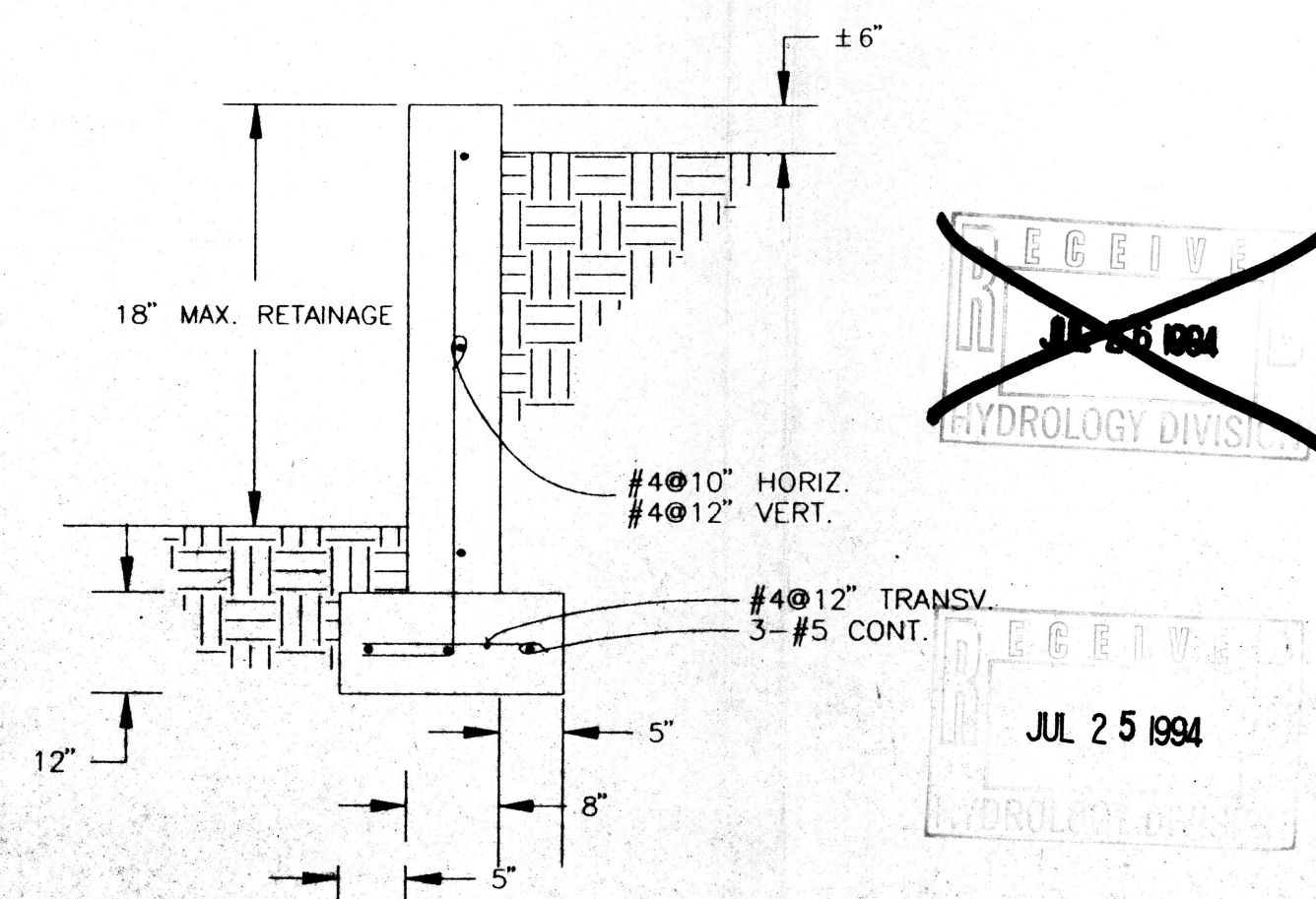
CHELWOOD ELEMENTARY SCHOOL - GRADING/DRAINAGE PLAN
1"=40'-0"

NOTE:
THE AS-BUILT FINISH FLOOR ELEVATION IS IN COMPLIANCE WITH THE ORIGINAL DESIGN ELEVATION.

I HEREBY CERTIFY THIS DRAINAGE PLAN IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED DRAINAGE PLAN.

SIGNED: *[Signature]*
DATE: 7/25/94

RETAINING WALL SECTION



KEYED NOTES

1. This site is not located in a 100 year flood plain.
2. Soils shall be compacted to 95% of maximum density as determined by ASTM D-1557 (Modified Proctor).
3. Add 5700 to all labeled contour elevations and spot elevations.
4. No offsite flows enter this site.

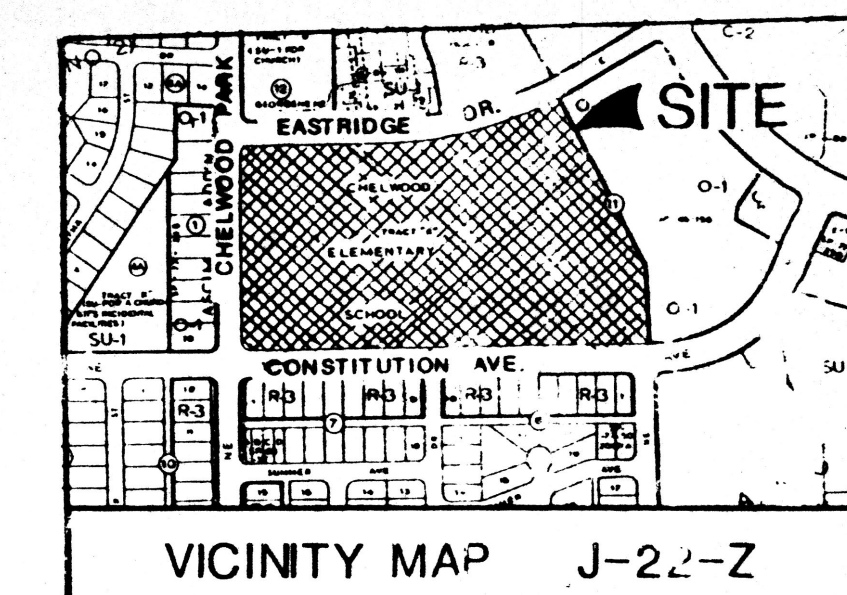
BENCHMARK:

THE STATION MARK IS A STANDARD A.C.S. BRASS TABLET STAMPED "11-322, 1979". SET FLUSH WITH THE SIDEWALK, LOCATED IN THE SIDEWALK IN THE SOUTHWEST CORNER OF THE INTERSECTION OF CONSTITUTION AVENUE NE AND LA CHARLES NE.

LEGEND

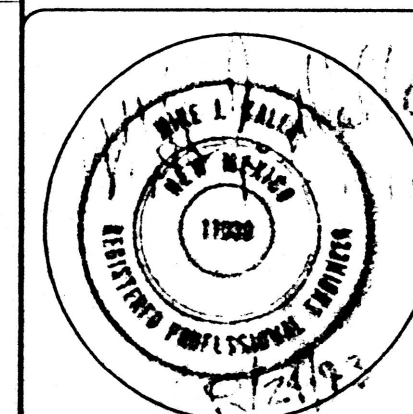
- EXISTING CONTOUR
- NEW CONTOUR
- EXISTING SIDEWALK
- NEW SIDEWALK
- DRAINAGE BASIN BNDY
- EXIST. SPOT ELEV.
- NEW SPOT ELEV.
- AS-BUILT INFORMATION

LEGAL DESCRIPTION: TRACT "K", PANORAMA HEIGHTS ADD'N, ALBUQUERQUE, BERNALILLO COUNTY



Van H. Gilbert Architect AIA

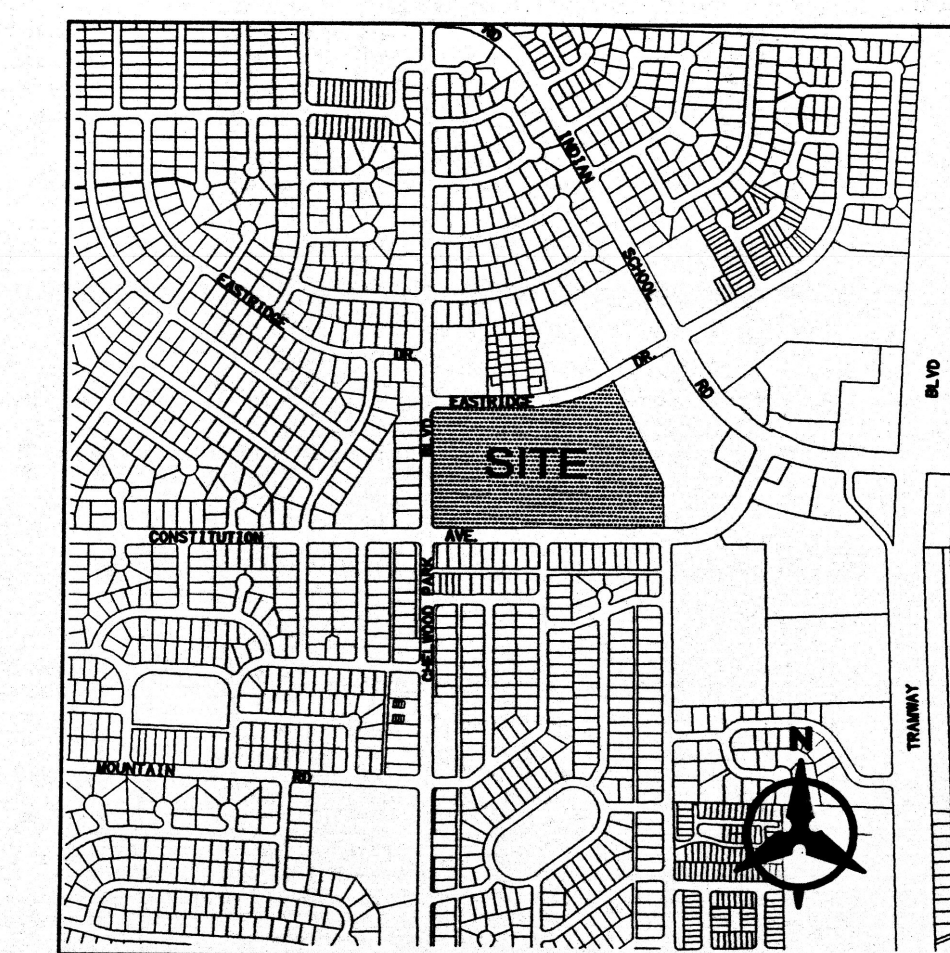
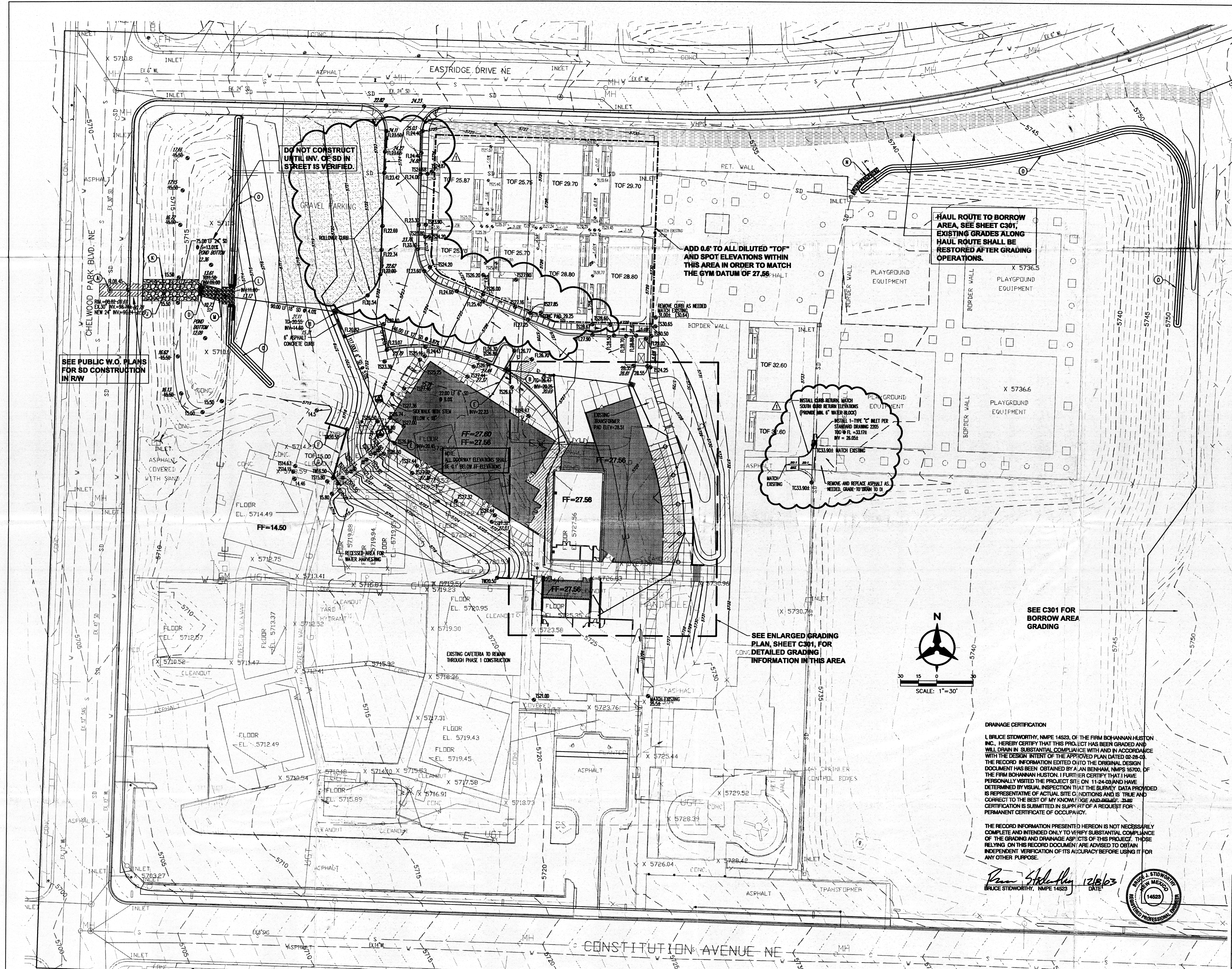
ARCHITECTURE PLANNING
319 CENTRAL NW SUITE 201 ALBUQUERQUE, NM 87102 505-247-9955



ALBUQUERQUE PUBLIC SCHOOLS
CHELWOOD ELEMENTARY SCHOOL
ADDITION
ALBUQUERQUE NEW MEXICO

DATE: 5/5/1993 FILE: C-SITE.DWG Copyright 1993

GRADING / DRAINAGE PLAN AND DETAILS SHEET **CC 2** 4 OF 4



- LEGEND**
- EXISTING INDEX CONTOURS
 - EXISTING INTERMEDIATE CONTOURS
 - TOF 25.75
 - EXISTING TOP OF FLOODING
 - EXISTING LIGHT POLE
 - EXISTING WATER VALVE
 - EXISTING WATER METER
 - EXISTING HYDRANT
 - EXISTING STORM DRAIN MANHOLE
 - EXISTING INLET
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING CLEANOUT
 - EXISTING SPOT ELEVATION
 - FL-LOW LINE
 - TO-TOF OF CURB
 - TO-TOF OF SIDEWALK
 - PROPOSED DIRECTION OF FLOW
 - PROPOSED CURB & GUTTER
 - PROPOSED STORM DRAIN LINE
 - PROPOSED STORM DRAIN INLET
 - PROPOSED SPOT ELEVATION
 - FL-LOW LINE
 - TO-TOF OF CURB
 - TO-TOF OF SIDEWALK

- GENERAL NOTES**
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 13. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES REQUIREMENTS.

DRAINAGE CERTIFICATION

I, BRUCE STODWORTH, NMPE 14523, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 02-28-03. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY A JAN BENHAM, NMPS 16700, OF THE FIRM BOHANNAN HUSTON. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11-24-03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Bruce Stodworthy 12/6/03
BRUCE STODWORTH, NMPE 14523 DATE

BRUCE STODWORTH
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
14523

GRADING KEYED NOTES

1. INSTALL 4" DIA. TYPE "E" MANHOLE PER COA STD. DWG #2202. SEE PUBLIC W.O. PLANS.
2. INSTALL TYPE "D" INLET PER COA STD. DWG #2206.
3. INSTALL CLEANOUT PER DETAIL, SHEET C102.
4. INSTALL DOUBLE "D" INLET PER COA STD. DWG #2206. DO NOT CONSTRUCT UNTIL INVERT OF SD IN STREET IS VERIFIED.
5. SUB TO WITHIN 5' OF BUILDING. SEE MECHANICAL PLANS FOR CONTINUATION OF ROOF DRAIN LATERALS.
6. SEGMENTAL RETAINING WALL, RAIL REQUIRED FOR HEIGHTS GREATER THAN 18". SEE RAIL & WALL DETAILS, THIS SHEET.
7. INSTALL 12" SIDEWALK CULVERT AS PER COA STD. DWG #2236.
8. INSTALL AREA DRAIN PER DETAIL, SHEET 203.
9. 24" RCP STORM DRAIN, SEE OUTLET SECTION, SHEET C302.
10. EMERGENCY SPILLWAY PER DETAILS, SHEET C302.
11. DETENTION POND ROUNDOFF PER DETAILS, SHEET C302.
12. RCP-EROSION CONTROL PAD PER DETAIL, SHEET C302.
13. RCP-RAP ROUNDOFF, SEE GRADING AND DRAINAGE PLAN FOR DIMENSIONS AND SHEET C302 FOR DETAILS.
14. EROSION CONTROL BERM, PER DETAIL, SHEET C302.

Bohannon + Huston
7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109
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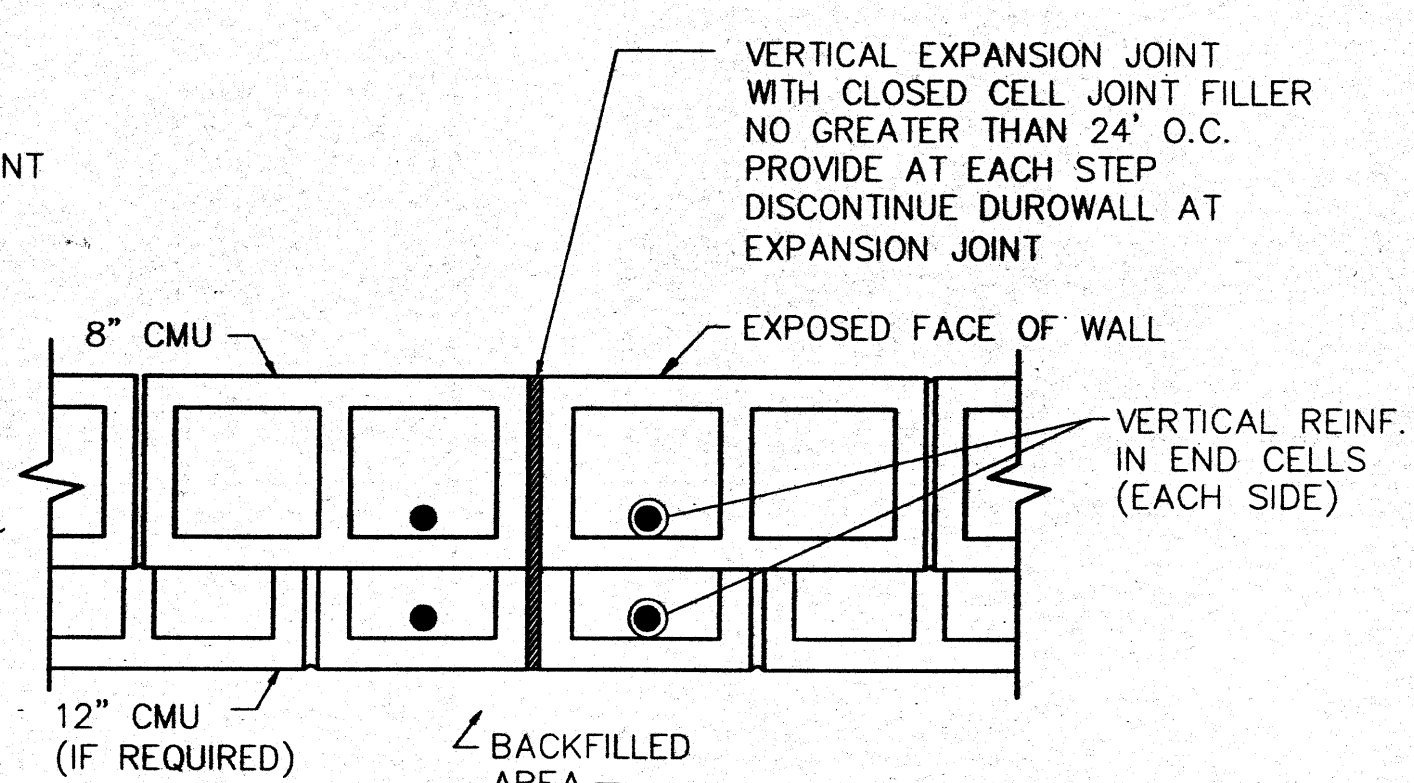
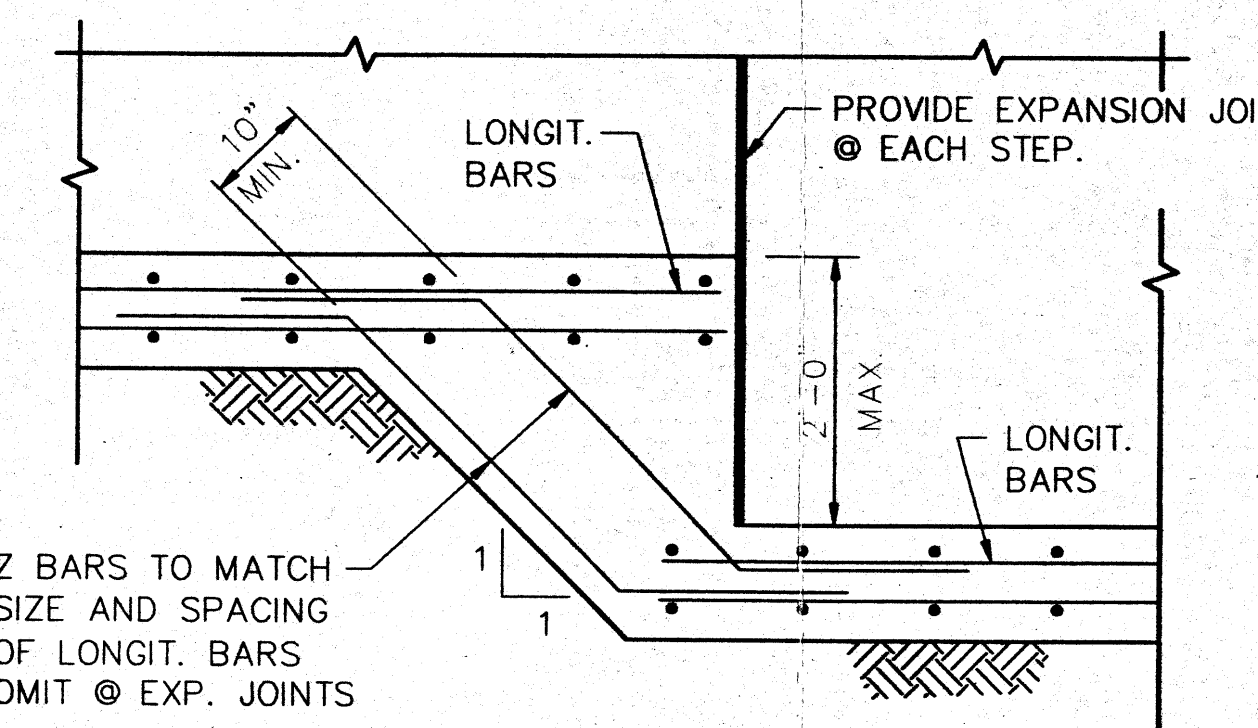
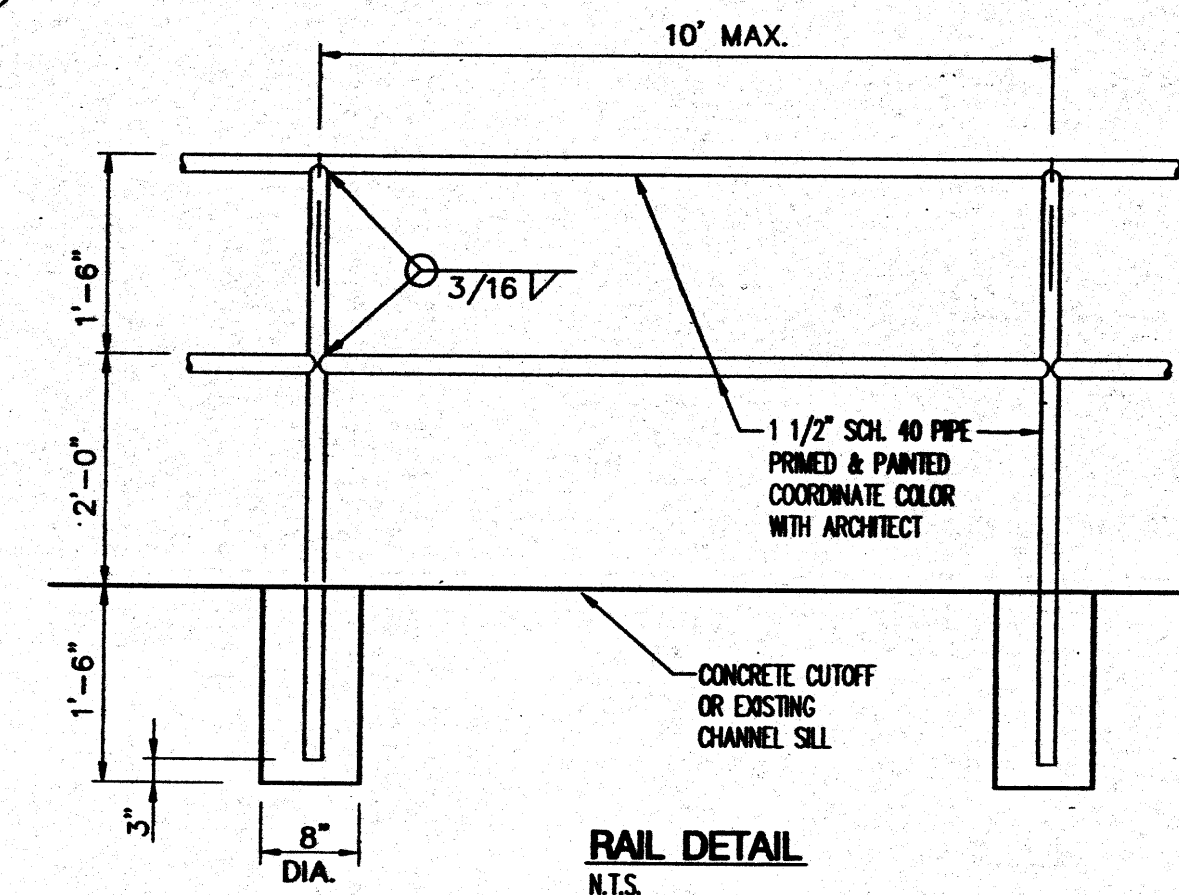
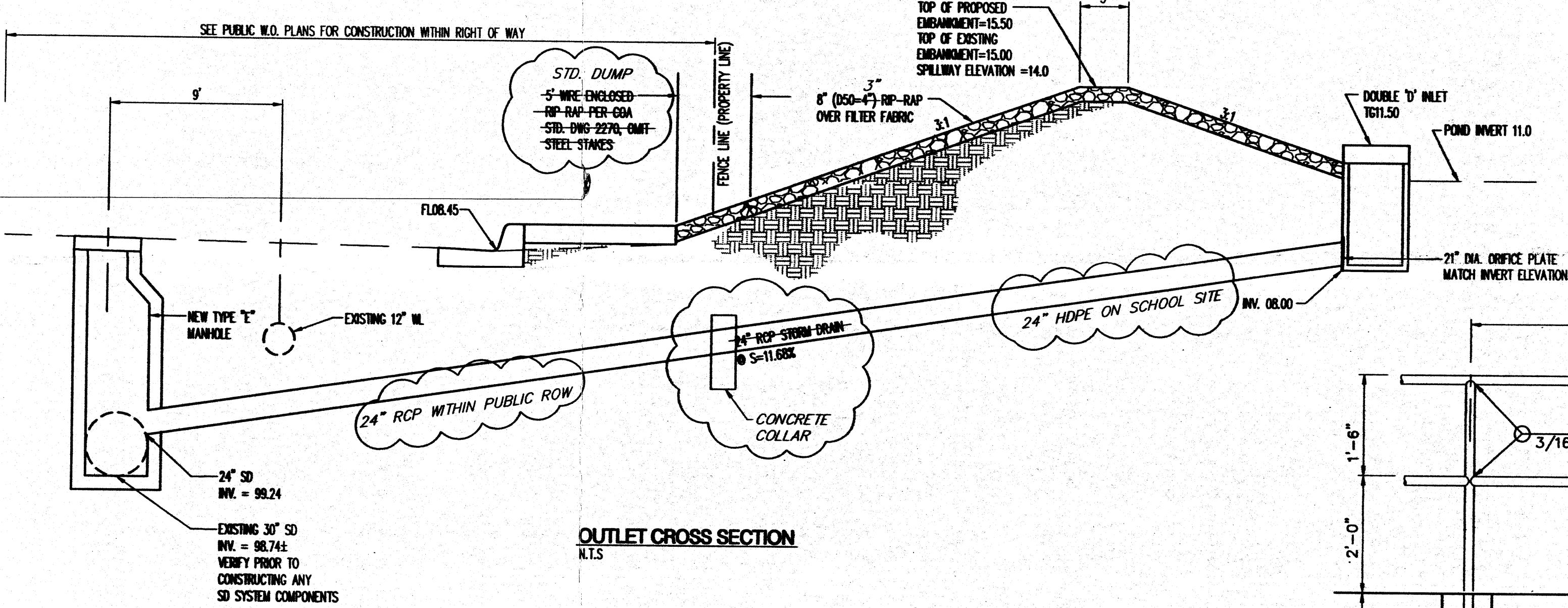
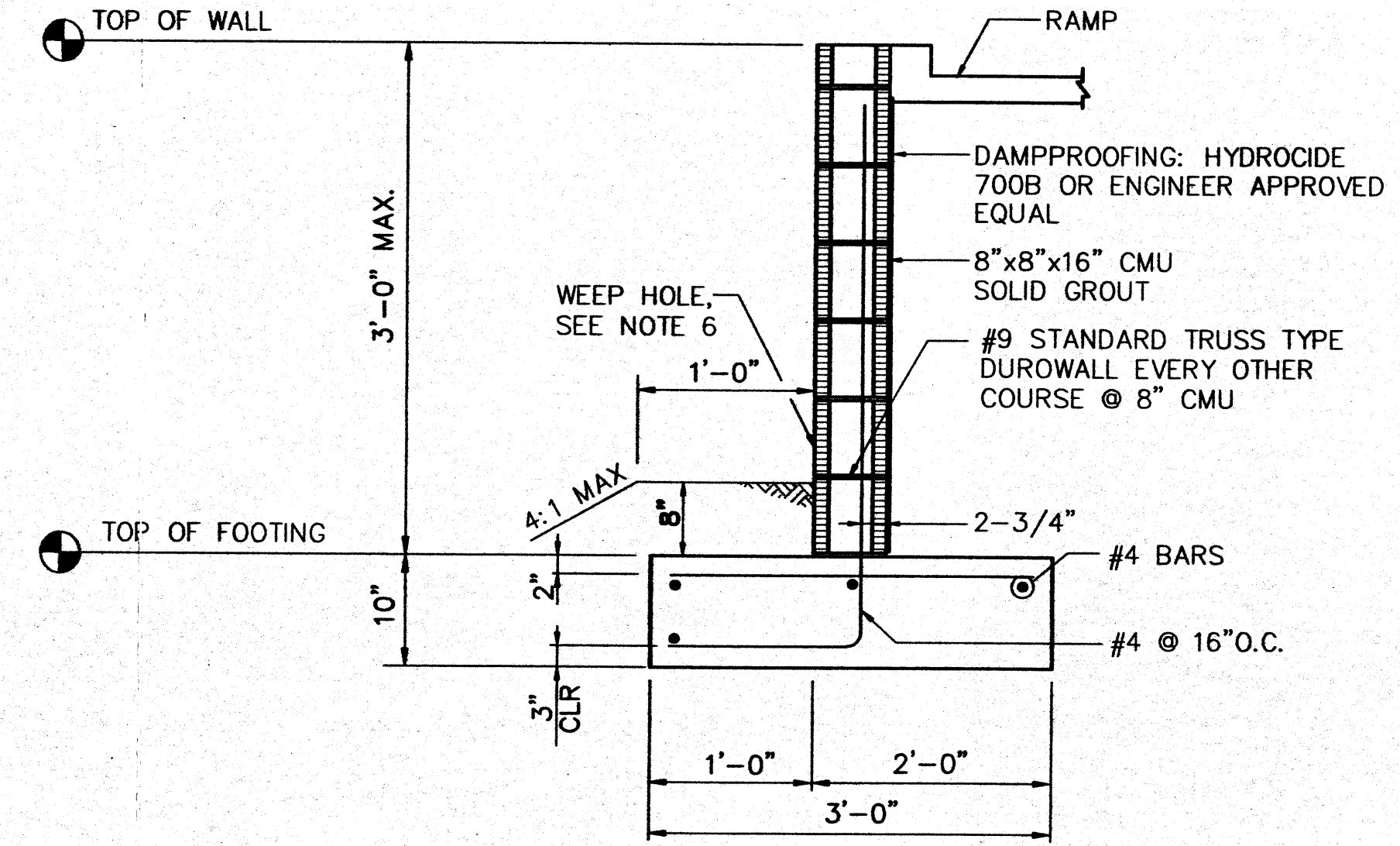
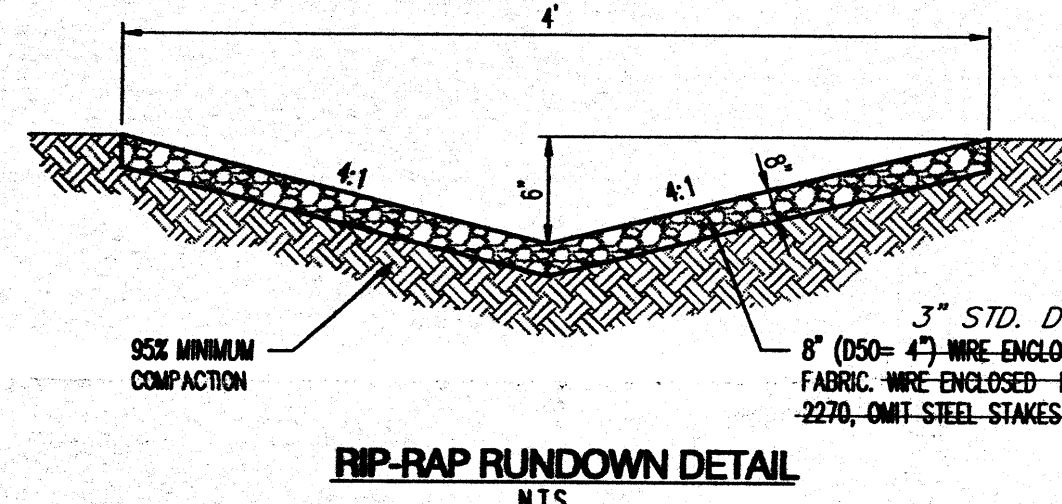
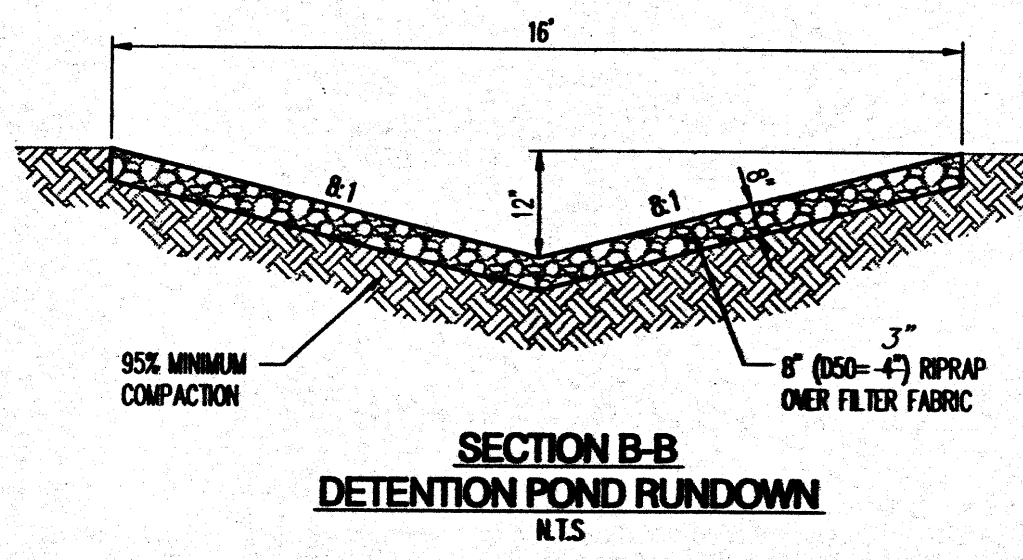
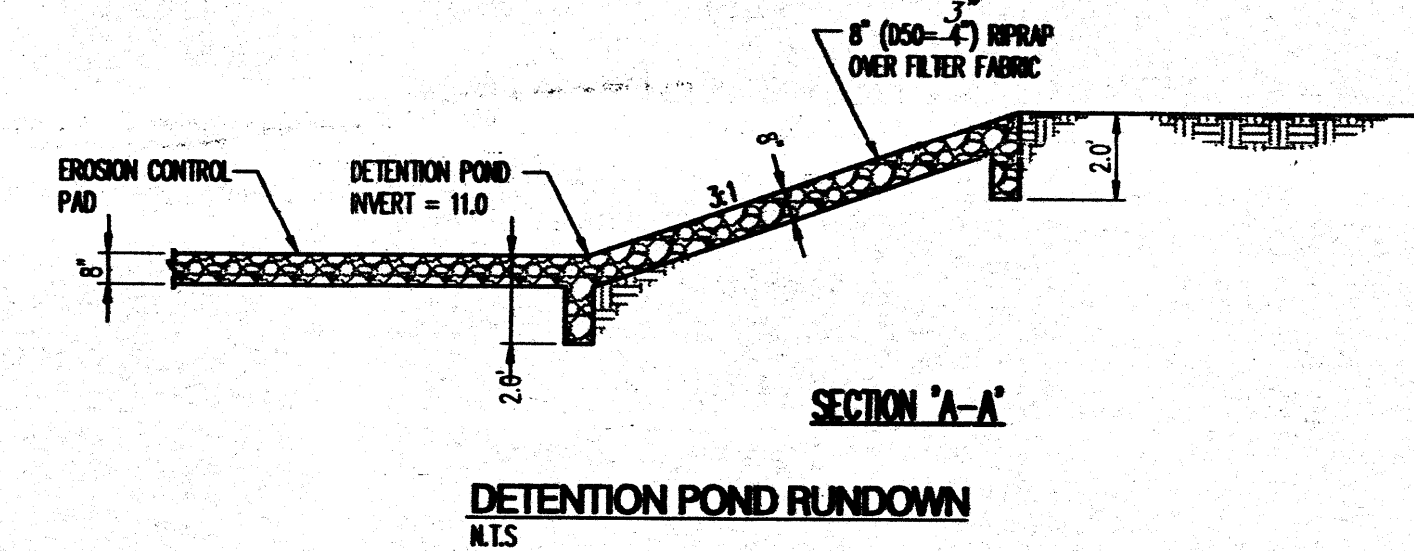
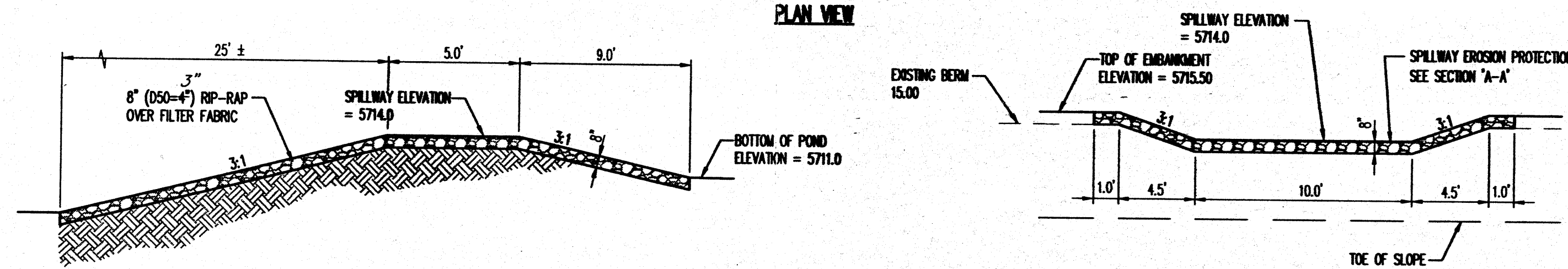
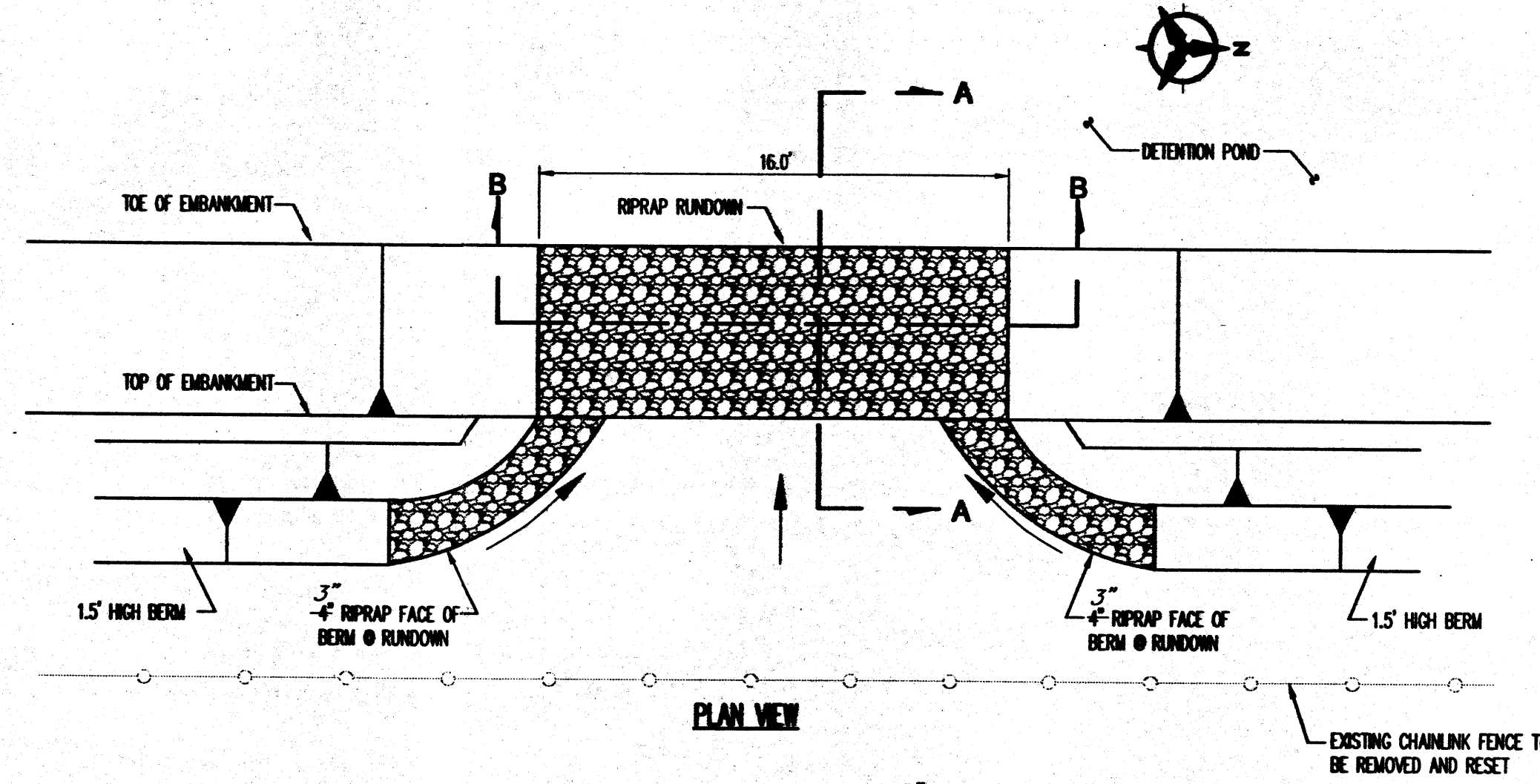
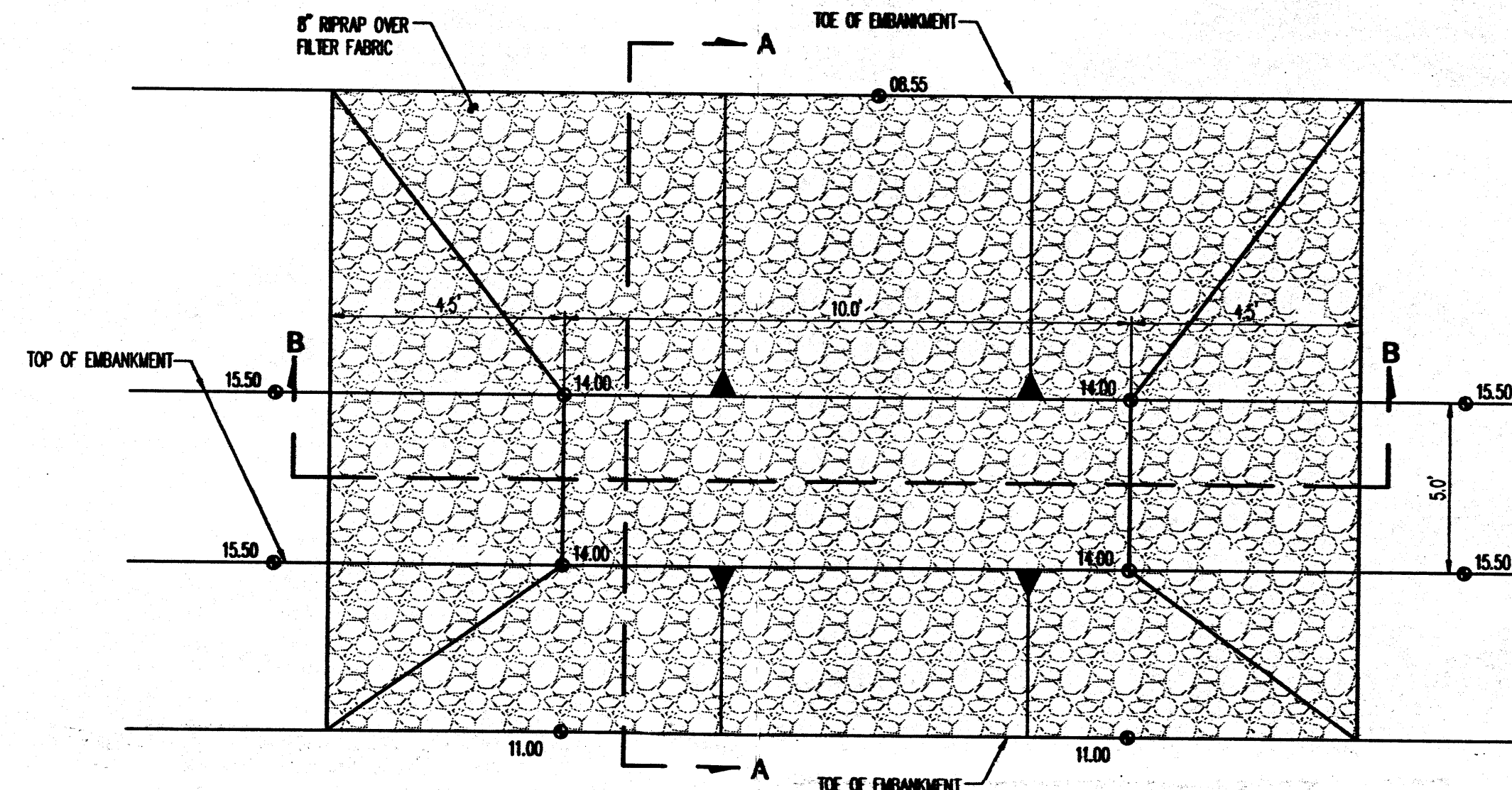
ARCHITECTS • PLANNERS • INTERIOR DESIGNERS
115 AMHERST DRIVE SE, ALBUQUERQUE, NEW MEXICO 87106
TEL. (505) 255-8868 FAX (505) 268-6665

SMPC
ARCHITECTS

CHELWOOD ELEMENTARY SCHOOL
PHASE 1 - GRADING AND DRAINAGE PLAN

REV #	DATE	PROJECT #
1	06-14-02	DWN BY:
		CHK BY:
		DATE: 04/02/02

C201
OF

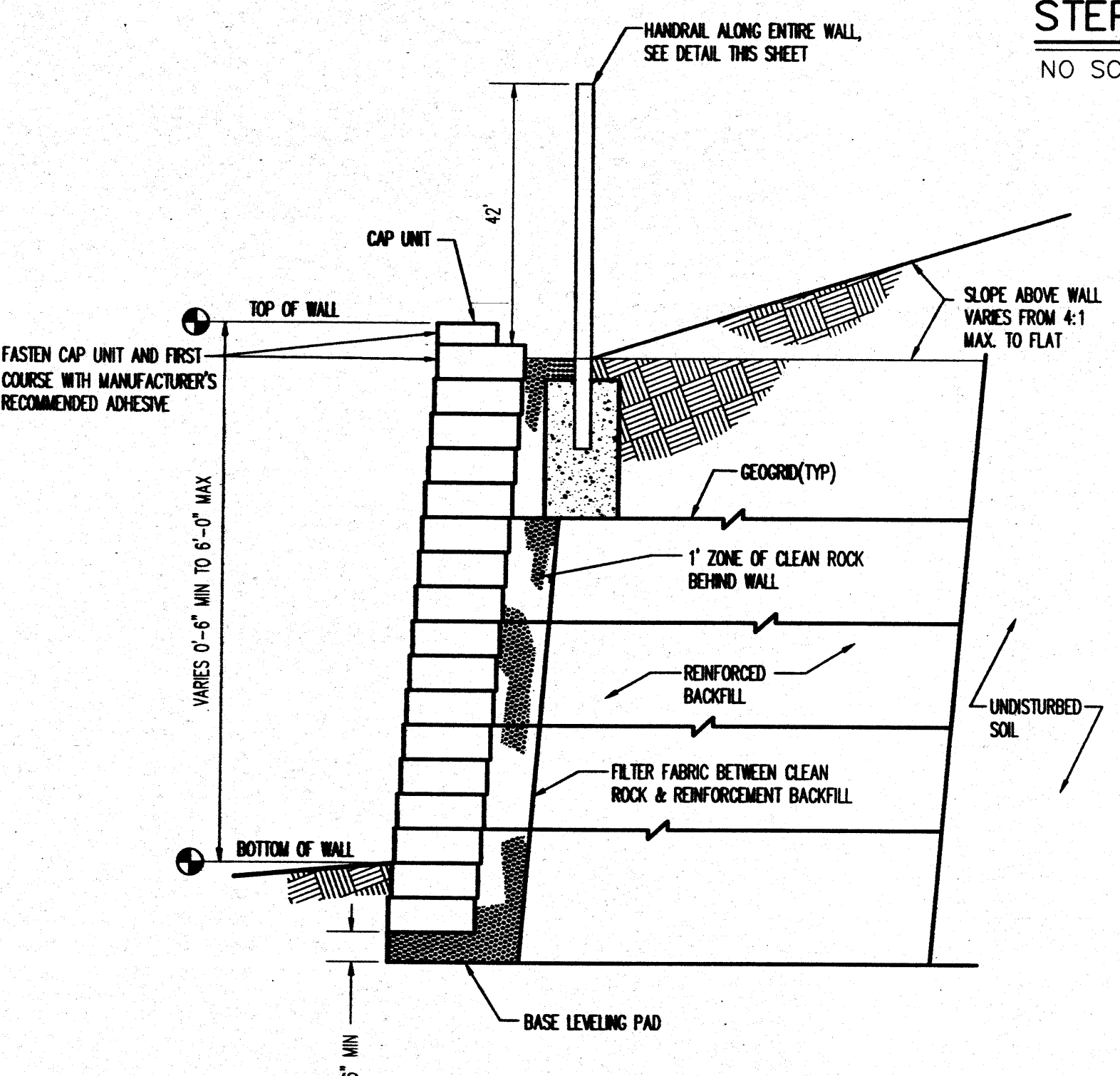
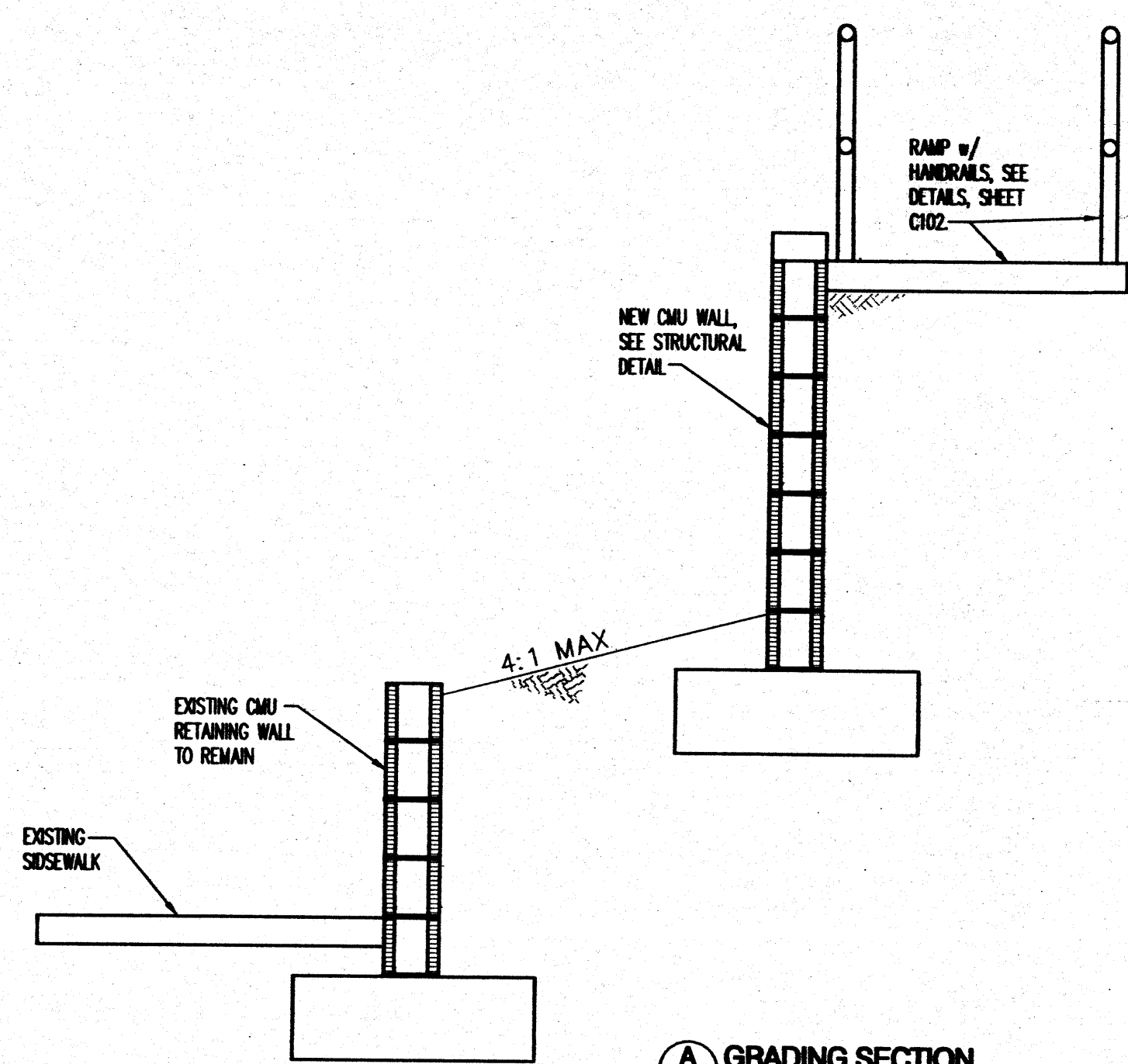
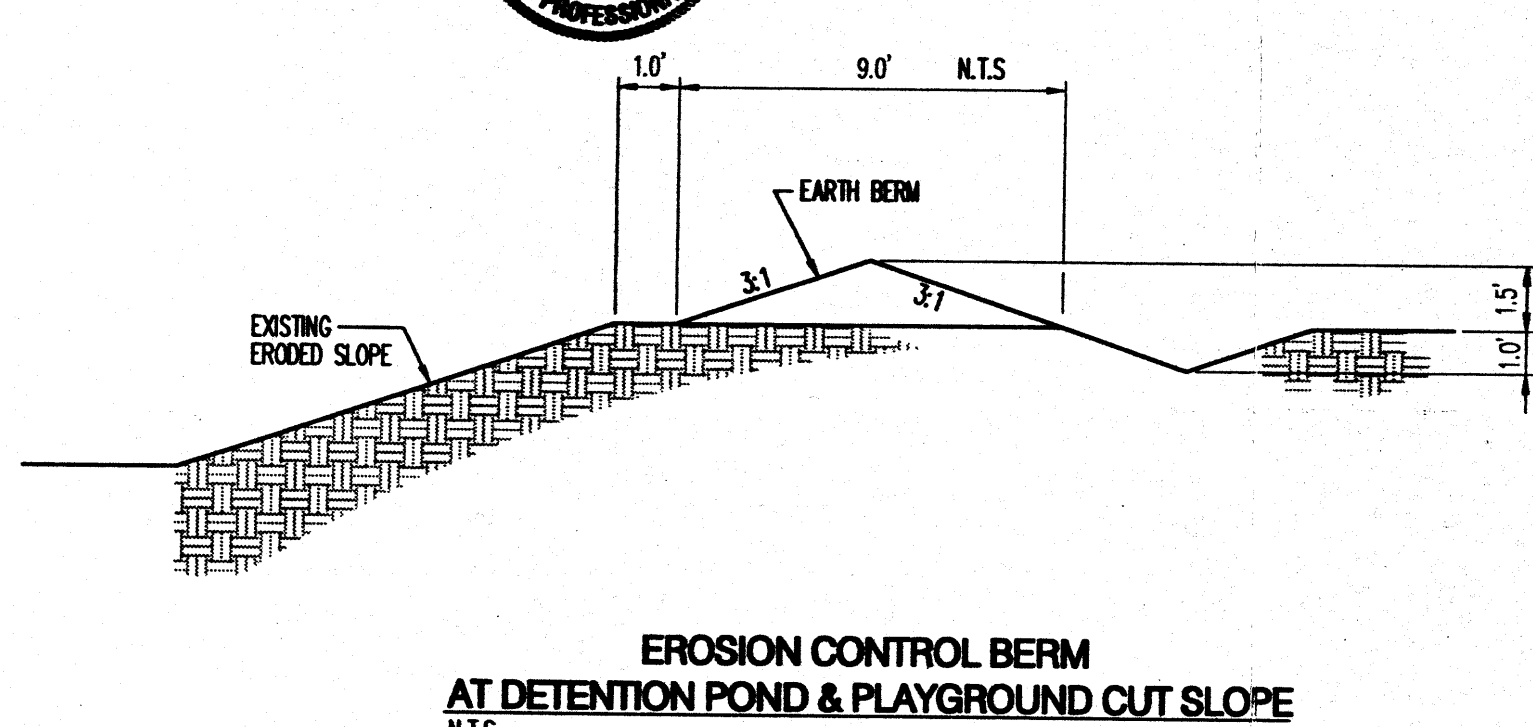
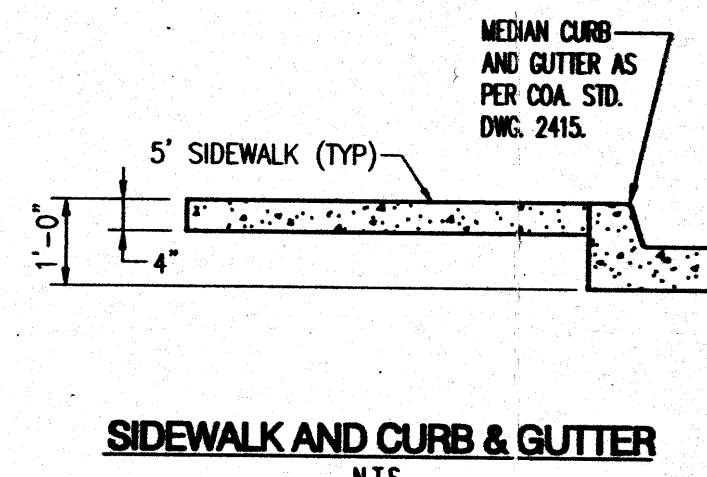


DRAINAGE CERTIFICATION

I, BRUCE STIDWORTHY, NMPE 14523, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 02-28-03. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ALAN BENHAM, NMPS 15700, OF THE FIRM BOHANNAN HUSTON. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11-24-03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

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Bruce Stidworthy 12/8/03
BRUCE STIDWORTHY, NMPE 14523 DATE



SEGMENTAL RETAINING WALL CONSTRUCTION NOTES:

1. RETAINING WALL CONTRACTOR TO MEET CONTRACTOR'S QUALIFICATIONS LISTED BELOW (UNLESS OTHERWISE APPROVED BY OWNER).
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS PREPARED BY A PROFESSIONAL ENGINEER REGISTERED IN NEW MEXICO & QUALIFIED TO DESIGN SEGMENTAL RETAINING WALLS FOR REVIEW PRIOR TO SUBMITTING TO GOVERNING ENTITY.
3. RETAINING WALL SYSTEM REQUIREMENTS (PROVIDED BY MANUFACTURER OR CONTRACTOR).
4. SOIL AND COMPACTION TESTING SHALL BE PERFORMED DURING CONSTRUCTION (BASE, 1/2 HEIGHT, AND FINAL).
5. APPROVED SHOP DRAWINGS MUST BE AVAILABLE ON-SITE AT ALL TIMES.
6. CONTRACTOR TO PROVIDE OWNER WITH COLOR SAMPLES FOR FINAL COLOR SELECTION.
7. ELEVATIONS SHOWN ARE TO TOP OF WALL AND BOTTOM OF WALL AT FINAL GRADE (DOES NOT INCLUDE FOOTER).
8. CONTRACTOR TO INCLUDE ANY OVER EXCAVATION AND CONTROLLED BACKFILL ASSOCIATED WITH RETAINING WALL IN RETAINING WALL BID.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR CODE ADMINISTRATION APPROVAL AND FEES ASSOCIATED WITH IT.

Bohannon - Huston
 7500 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87109
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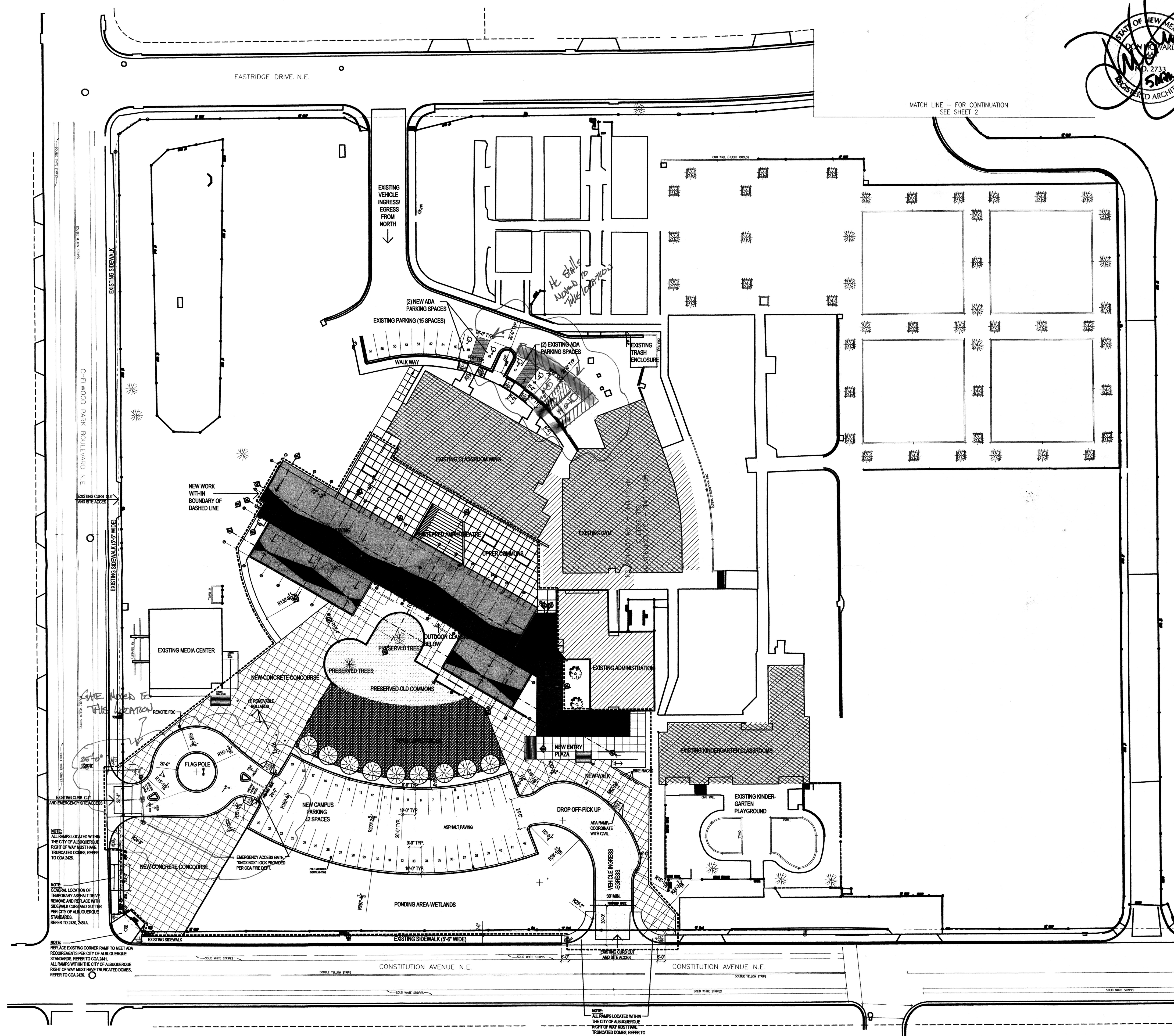
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 TELE. (505) 255-8668 FAX (505) 268-6665

CHELWOOD ELEMENTARY SCHOOL

PHASE 1 - MISCELLANEOUS DETAILS			
REV. #	DATE	PROJECT #	020138
		DWN BY:	ED
		CHK BY:	
		DATE:	06/12/02
		C302	
		OF	

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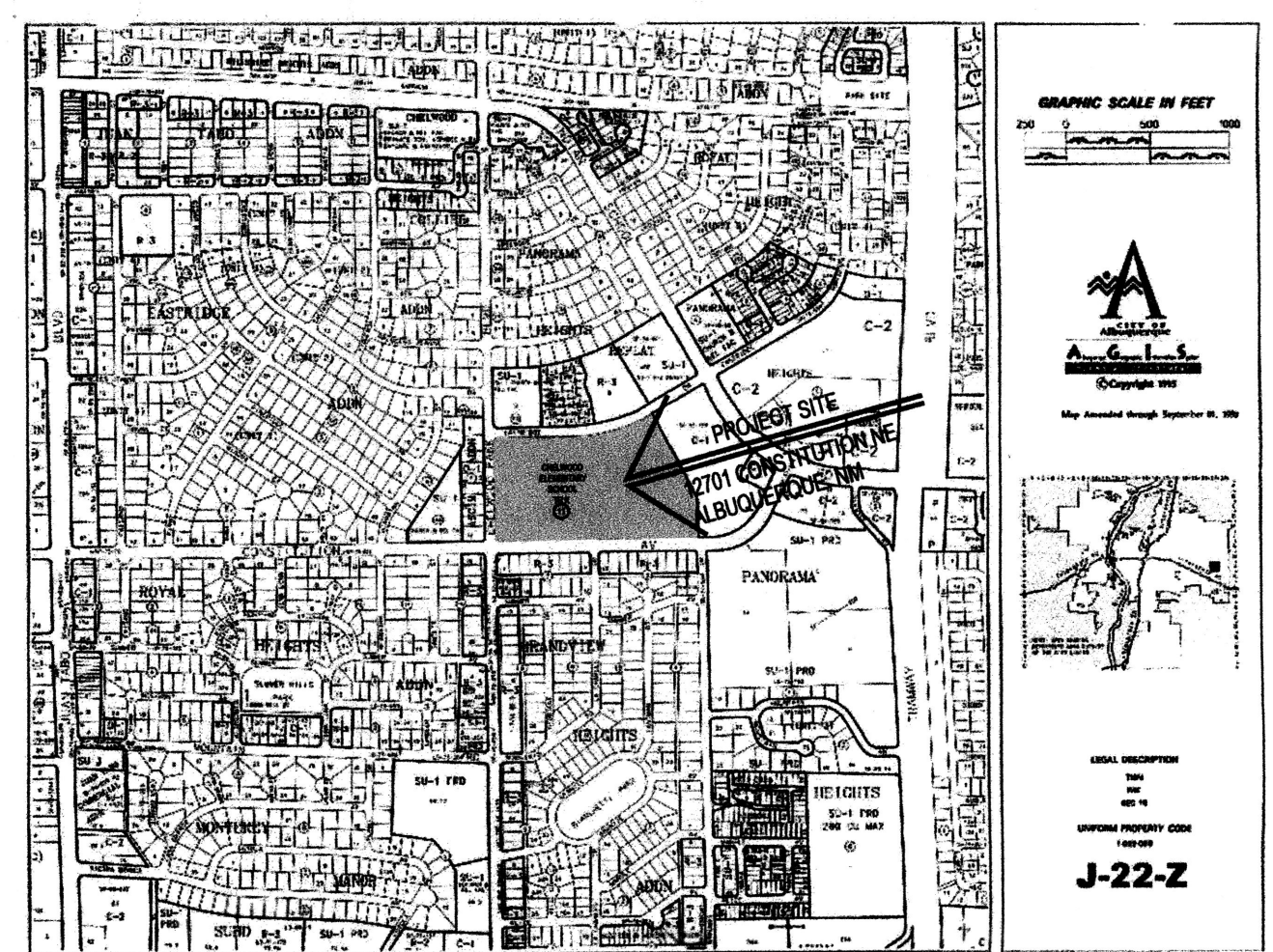


TOL CERTIFICATION

I, Don Howard May, NM No. 2733, of the firm Rohde May Keller McNamara Architecture, hereby certify that this project has been constructed in substantial compliance with and in accordance with the design intent of the approved plan dated 09/01/2008. The record information edited onto the original design document has been obtained by Don Howard May, NM No. 2733, of the firm Rohde May Keller McNamara Architecture. I further certify that I have personally visited the project site on 01/30/2009 and have determined by visual inspection that the provided data is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

Exceptions: NOTE EXCEPTIONS.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the Traffic Circulation Layout aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

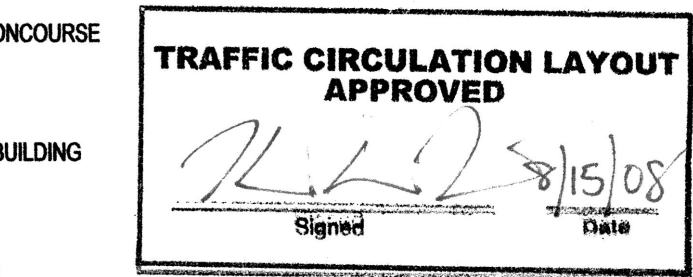


C6 VICINITY MAP
Scale: NTS

PARKING CALCULATION
PER ZONE CODE 14.16.3.1 (A) 28
ELEMENTARY AND MIDDLE SCHOOL
(1) SPACE FOR EACH EMPLOYEE
45 EMPLOYEES = 45 SPACES REQUIRED
57 TOTAL SPACES PROVIDED (INCLUDES 4 HANDICAP)

NOTE:
ALL RAMPS WITHIN THE CITY OF ALBUQUERQUE RIGHT OF WAY
MUST HAVE TRUNCATED DOMES, REFER TO COA 2426.

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



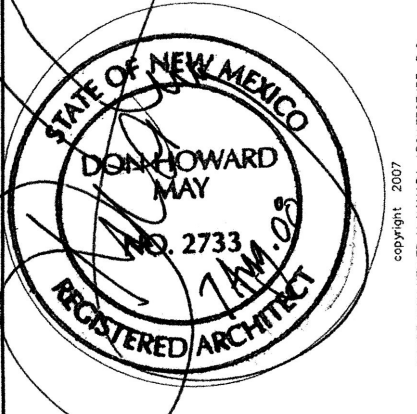
- NEW CONCRETE CONCOURSE
- NEW CLASSROOM BUILDING
- EXISTING BUILDING
- SITE BOUNDARY INDICATING LOCATION OF NEW WORK TO BE DONE

A6 LEGEND
Scale: NTS

A1 TRAFFIC CIRCULATION LAYOUT
Scale: 1" = 40'

1 2 3 4 5 6

ROHDE MAY KELLER MCNAMARA
ARCHITECTURE
PROFESSIONAL CORPORATION
400 Gold Avenue, SW Studio 1100 Santa Tower Albuquerque, New Mexico 87102 USA Tel: 505.243.5454



CONSULTANTS
CIVIL-LARRY READ AND ASSOCIATES
STRUCTURAL-JJK GROUP
MECHANICAL-FEI BROWN ENGINEERING
ELECTRICAL-HUGHES DESIGN INC.

CHELWOOD ES

CLASSROOM BUILDING
OWNER



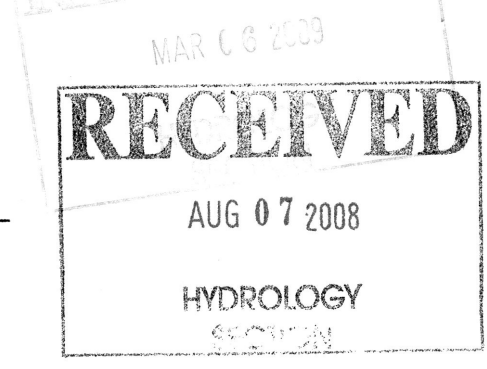
ALBUQUERQUE PUBLIC SCHOOLS
915 OAK STREET SE
ALBUQUERQUE, NM 87106

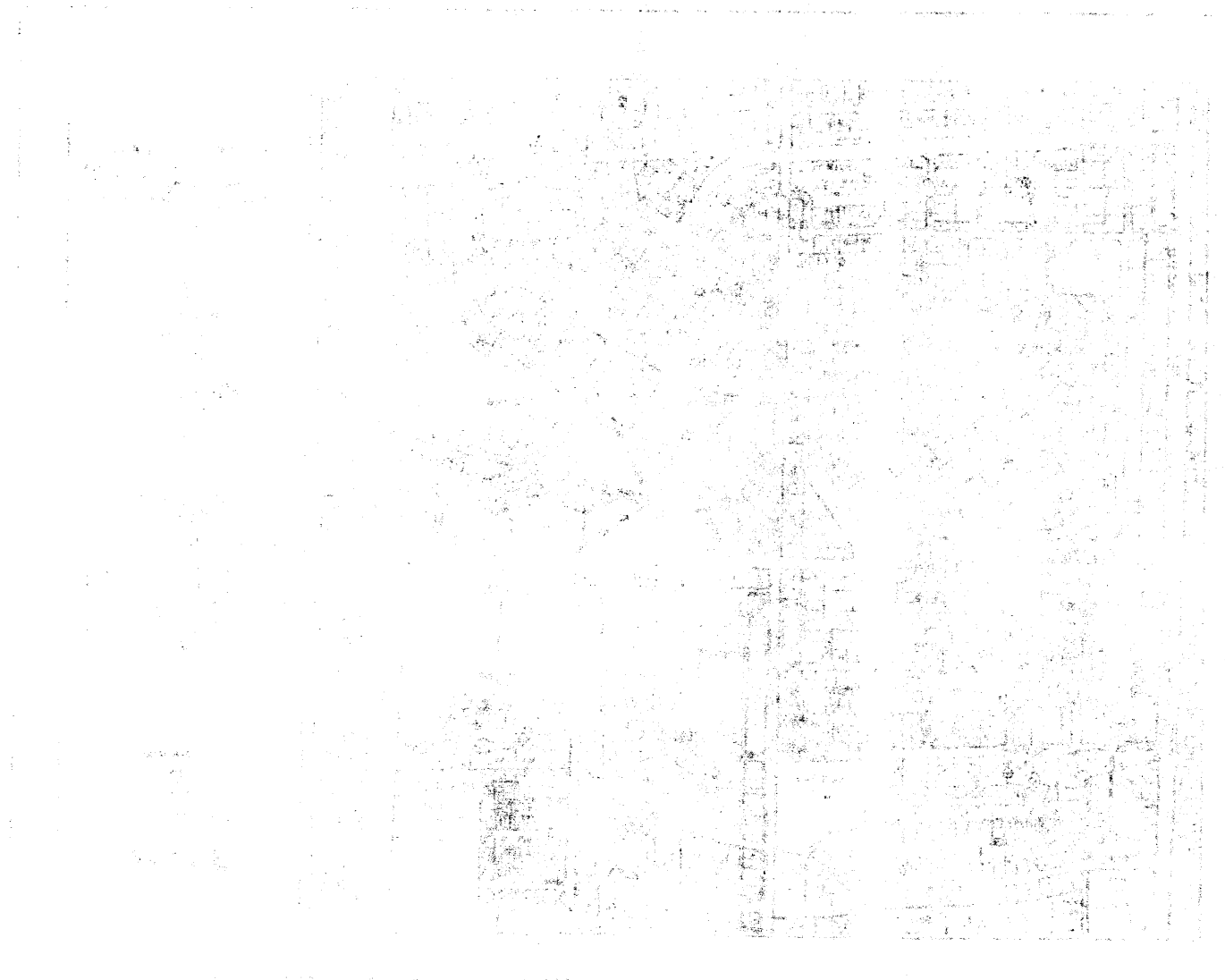
MARK	DATE	DESCRIPTION
	07/23/07	100% CD
	06/13/07	90% CD
	03/23/07	65% CD
	11/22/06	100% DD

B_AD PROJECT # 0608
DATE: 07/23/2007
DRAWN BY: DC,DE
CHECKED BY: DHM

CHELWOOD ELEM.
TRAFFIC CIRCULATION LAYOUT

REVISION 9-1-2008
TCL 1



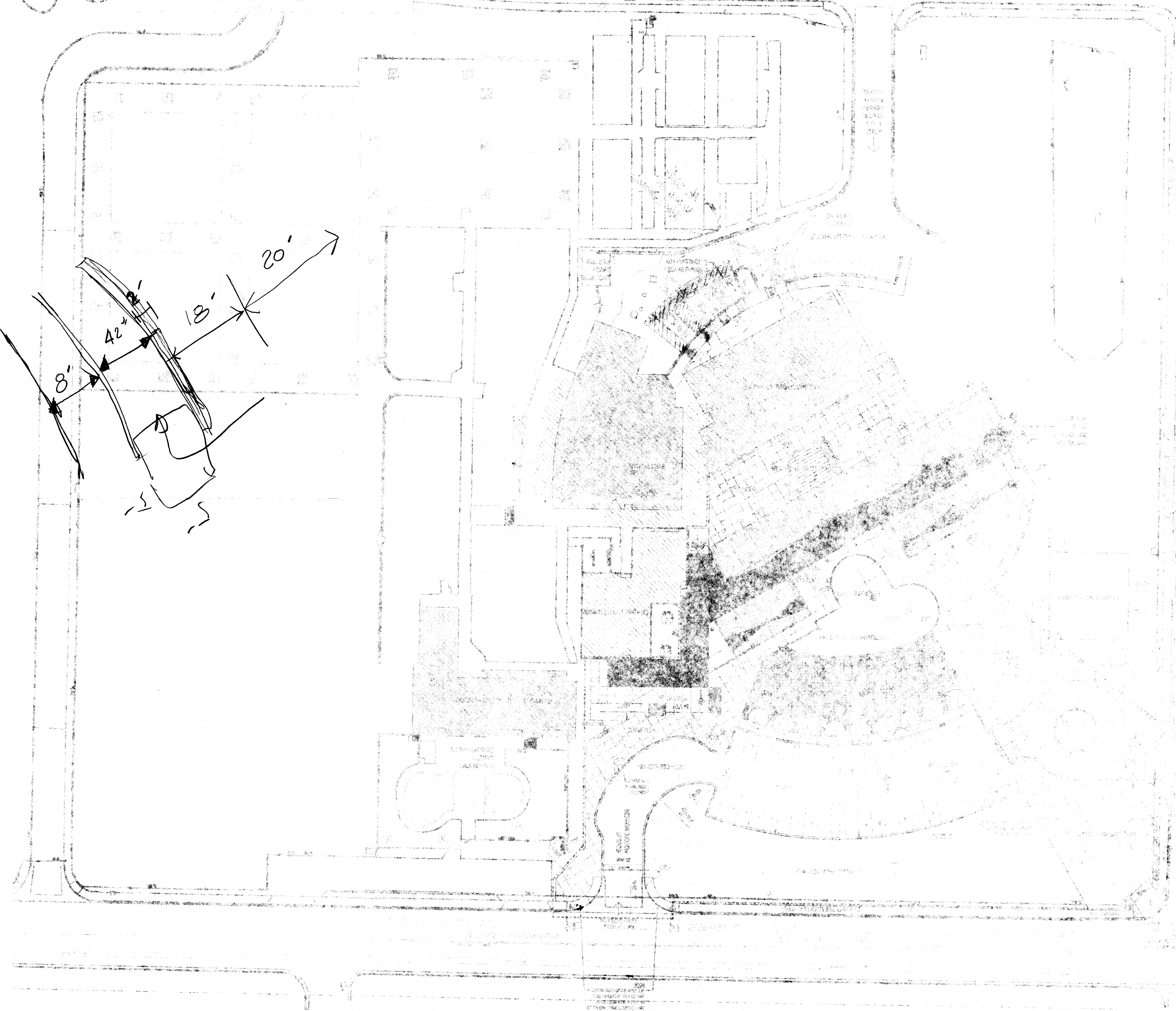
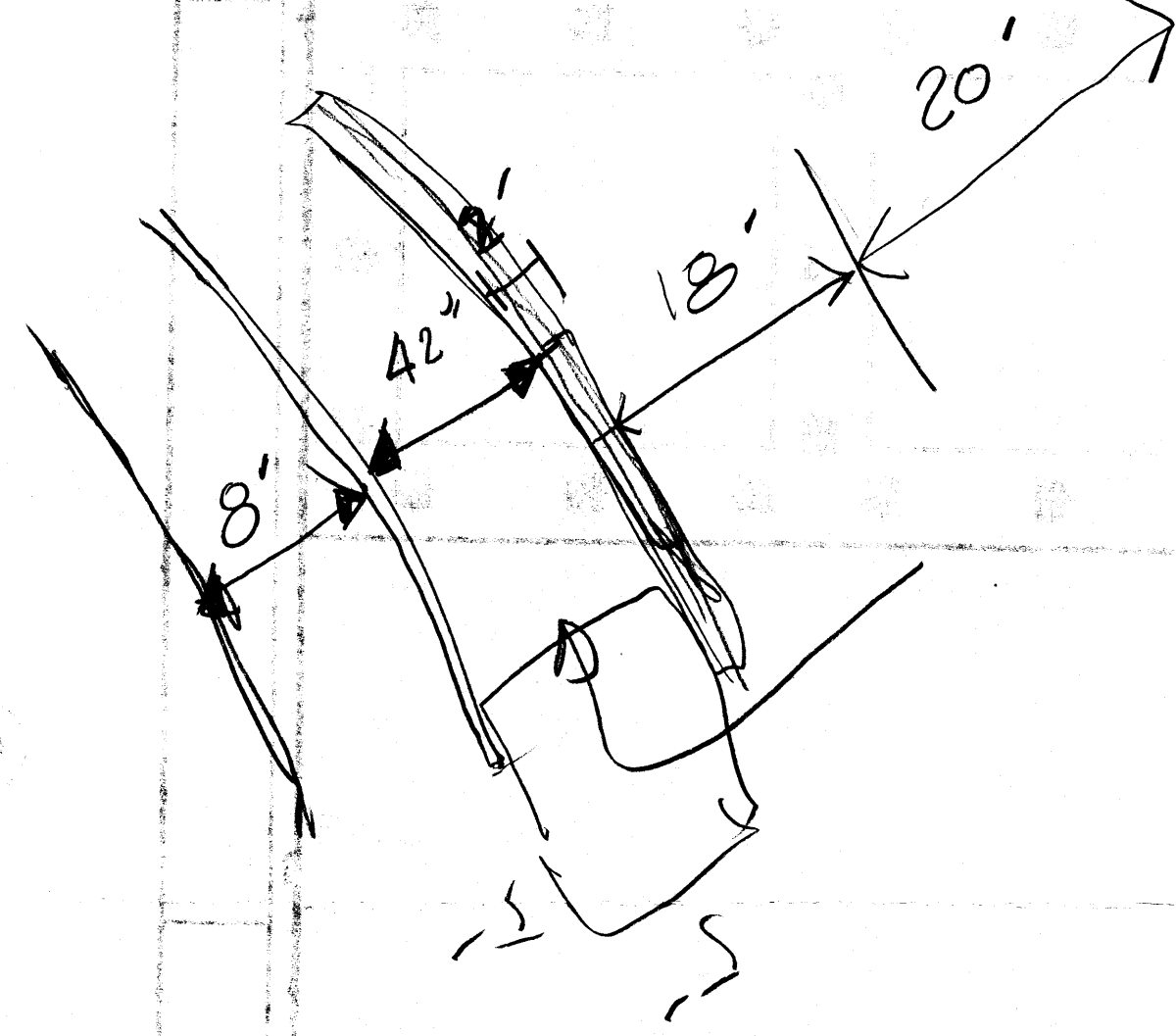


ST. JOSEPH'S HOSPITAL
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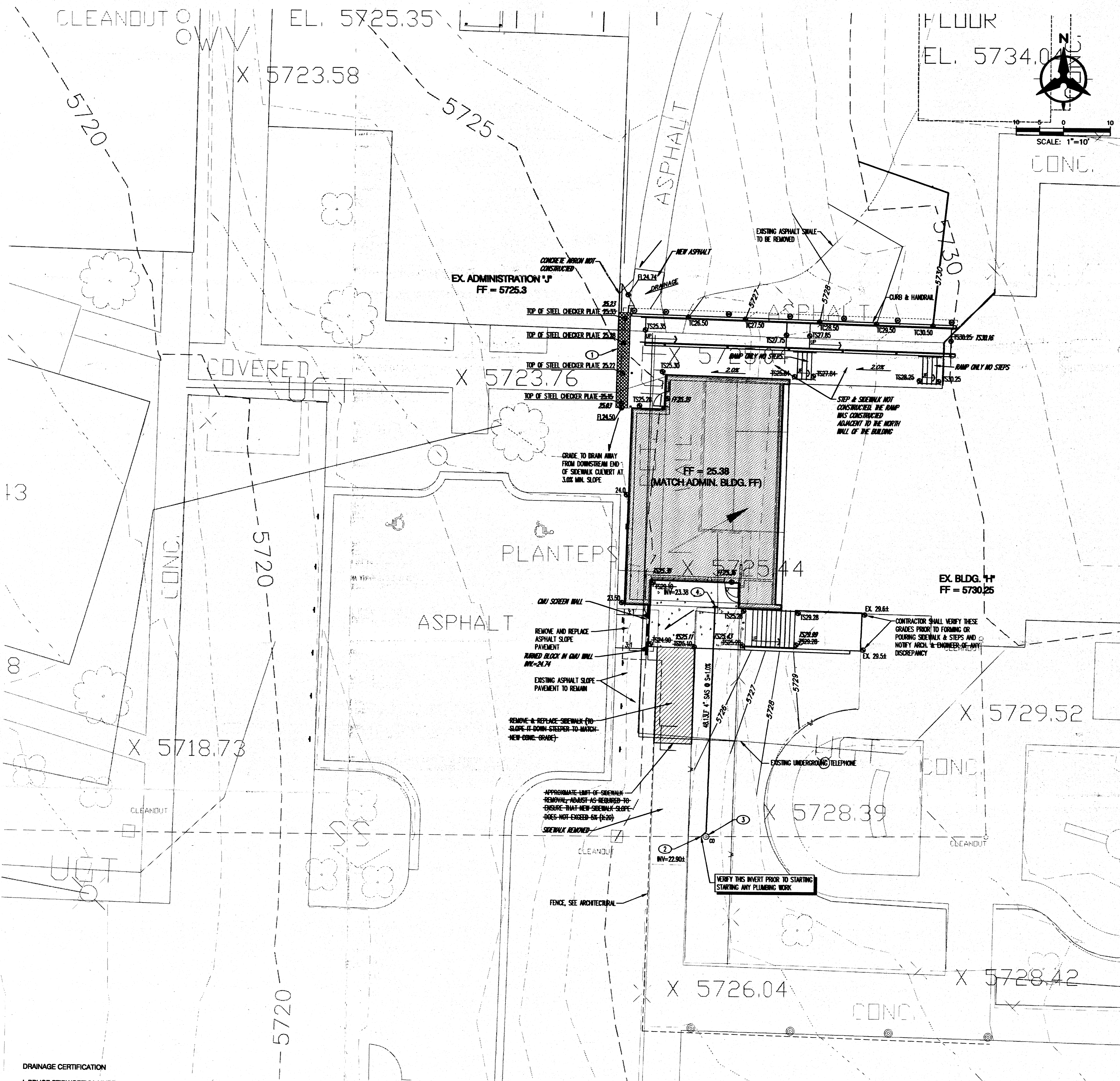
ALL SHEDS, BARNYARDS, AND
 OTHER BUILDINGS MUST BE
 REMOVED WITHIN 90 DAYS
 OF THE DATE OF THIS ORDER.

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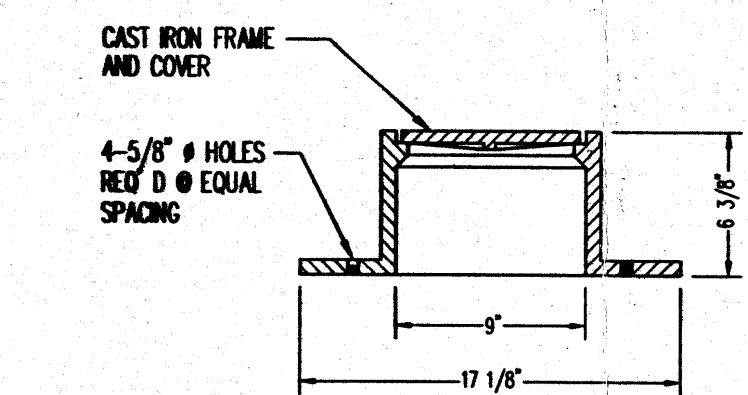


GRADING NOTES

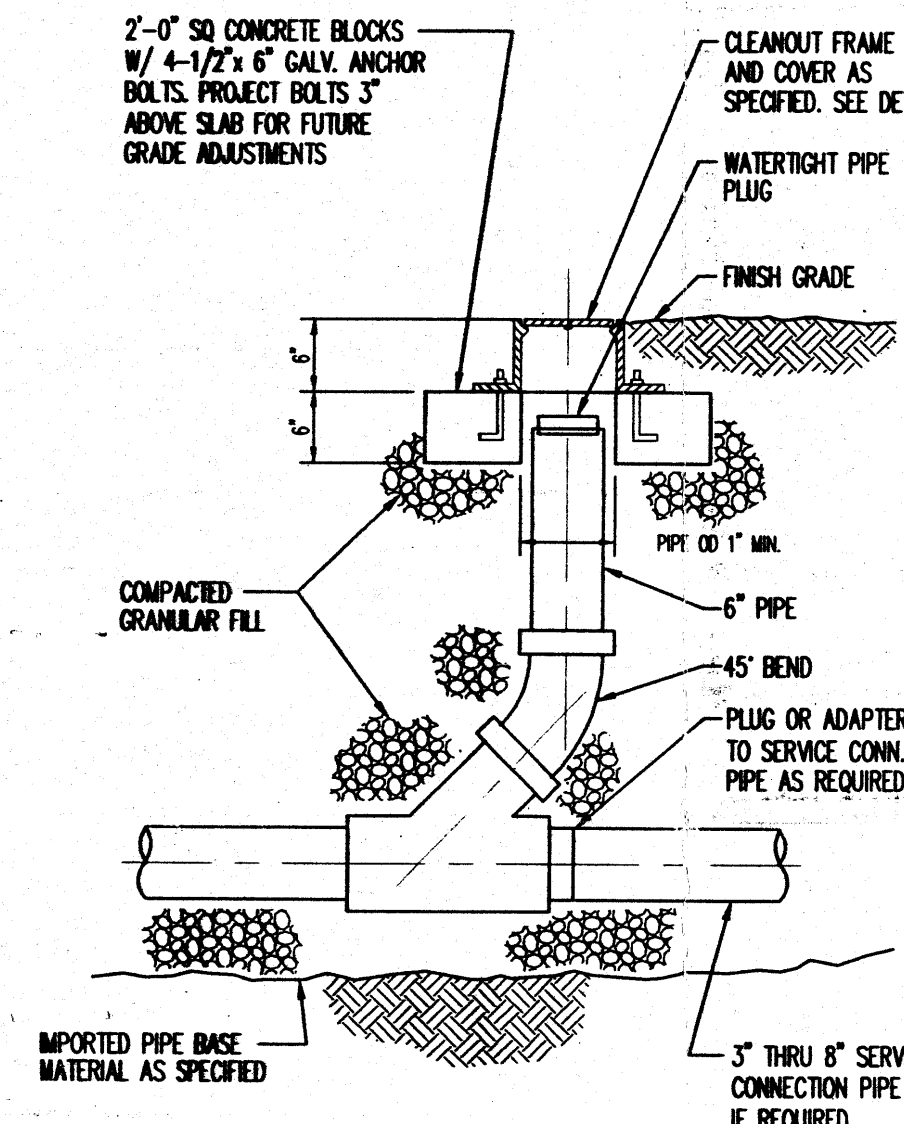
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOLOGICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, FIRST PRIORITY SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES PER DETAIL ON SHEET C203 AND RETAINING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSATURATED MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND Haul TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDANS AND ISLANDS.

GENERAL NOTES

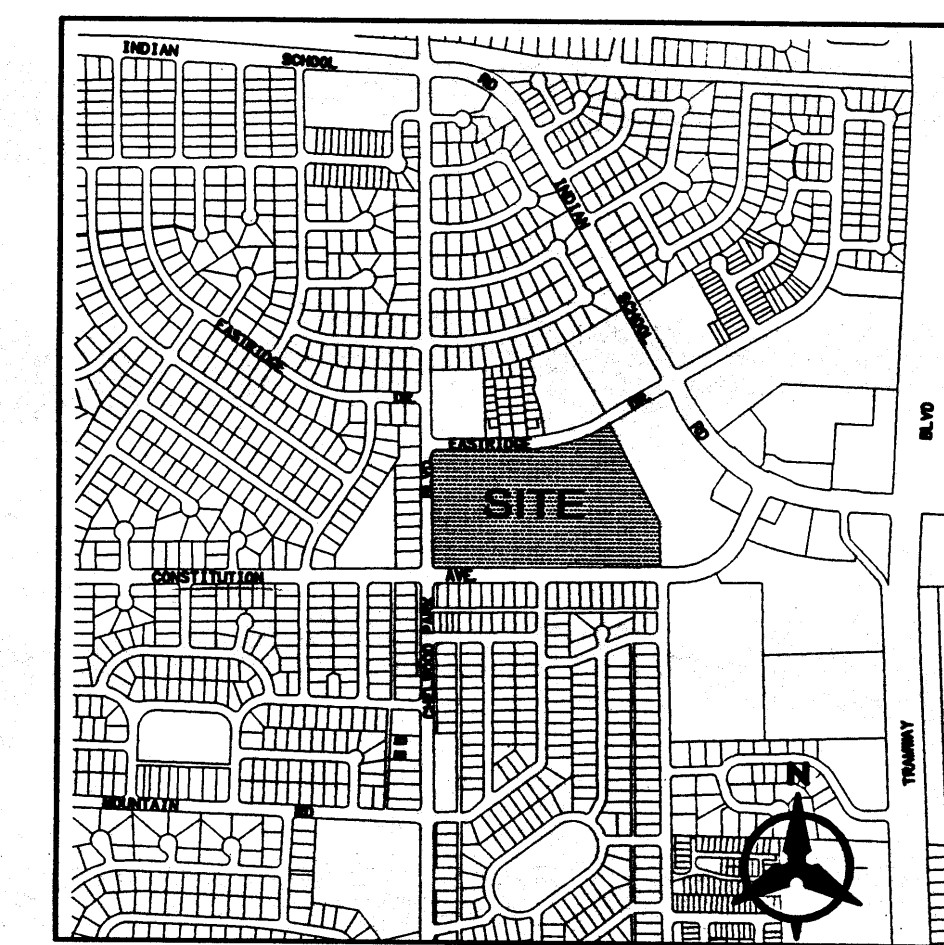
- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOLOGICAL REPORT, WHERE APPLICABLE, AND APPLICABLE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADE, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES REQUIREMENTS.



CLEANOUT
FRAME & COVER
N.T.S.



CLEANOUT
N.T.S.



VICINITY MAP
ZONE ATLAS MAP J-22-2

LEGEND

- 1000--- EXISTING INDEX CONTOURS
- EXISTING INTERMEDIATE CONTOURS
- EXISTING CURB
- EXISTING TOP OF FINISH
- EXISTING LIGHT POLE
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING HYDRANT
- EXISTING STORM DRAIN MANHOLE
- EXISTING WELT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING CLEANOUT
- EXISTING SPOT ELEVATION
FL-LOW LINE
TO-TOF OF CURB
TO-TOF OF SIDEWALK
- PROPOSED DIRECTION OF FLOW
- SAS
- PROPOSED SANITARY SEWER LINE
- PROPOSED CLEANOUT
- PROPOSED SPOT ELEVATION
FL-LOW LINE
TO-TOF OF CURB
TO-TOF OF SIDEWALK
- AS-BUILT GRADIES

DRAINAGE MANAGEMENT PLAN

- INTRODUCTION**
The purpose of this submittal is to present a final grading and drainage plan for the Kindergarten Classroom Addition at Chelwood Elementary School. This submittal is made in order to support hydrology department building permit approval of the project. The existing master drainage plan for this site is approved and is located in hydrology file #22-05.
- SITE LOCATION**
The proposed work is on addition to the existing kindergarten classroom building, which is the southeastern-most building on the campus. The campus is at the corner of Chelwood and Constitution. The site is located within zone atlas map J-22-2, and hydrologic zone 4.
- EXISTING HYDROLOGIC CONDITIONS**
The site of the proposed addition is currently concrete sidewalk and asphalt pavement.
- PROPOSED HYDROLOGIC CONDITIONS**
Addition of one Kindergarten classroom is proposed. This work conforms with the previously approved Master Drainage Plan. There is no change to the runoff generated by the site as a result of this work. All drainage is on the surface -- no storm drain construction is proposed.
- CONCLUSION**
The project proposes no change to the site hydrology. This drainage management plan proposes concepts which are capable of safely passing the 100 year storm and which meet city requirements. With this submittal, we are seeking building permit approval.

BENCHMARK

THE FF ELEVATION OF THE EXISTING KINDERGARTEN AND ADMIN. BLDGS. MAY BE USED AS BENCHMARKS FOR THIS WORK

DRAINAGE CERTIFICATION

I, BRUCE STODWORTHY, NMPE 14523, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 2/28/03. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BRUCE STODWORTHY, NMPE 14523, OF THE FIRM BOHANNAN HUSTON INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11-18-03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF PERMANENT OCCUPANCY.

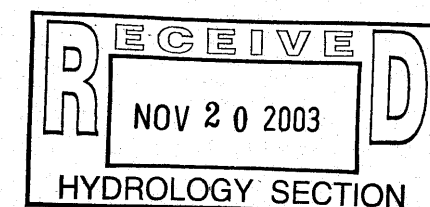
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Bruce Stodworthy 11/18/03
BRUCE STODWORTHY, NMPE 14523
DATE: 11/18/03



KEYED NOTES

- INSTALL 18" SIDEWALK CULVERT PER COA STD. DWG. 2236. SLOPE OF FLOWLINE SHALL BE 1.0% MIN. DEPTH FROM TOP OF PLATE TO INVERT = 7.5", SEE ELEVATIONS ON PLAN
- CONNECT TO EXISTING SANITARY SEWER. INVERT SHOWN IS BASED ON THE MAXIMUM INVERT THAT WILL WORK. CONTRACTOR TO VERIFY INVERT PRIOR TO INSTALLATION. IF INVERT IS HIGHER THAN ELEVATION SHOWN, CONTRACTOR SHALL NOTIFY ARCHITECT / ENGINEER IMMEDIATELY.
- INSTALL CLEANOUT PER DETAIL, THIS SHEET.
- STUB TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.



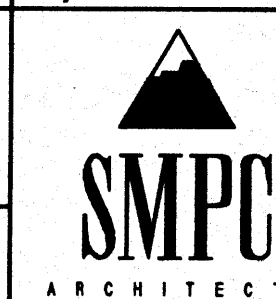
Bohannon & Huston

Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

These documents were prepared for this specific project only. SMPC Architects' liability is limited to this specific project, and does not extend to reuse of these documents for other projects.

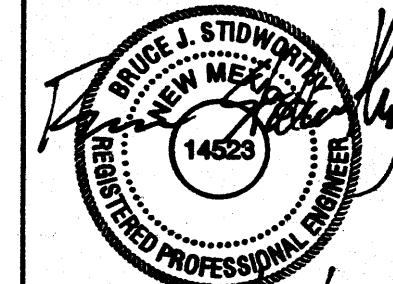
ARCHITECTS • PLANNERS • INTERIOR DESIGNERS
115 AMHERST DRIVE SE., ALBUQUERQUE, NEW MEXICO 87106
TEL: (505) 255-8668 FAX (505) 268-6665



CHELWOOD SCHOOL KINDERGARTEN ADDITION, #1

GRADING & DRAINAGE PLAN

| REV. # | DATE | PROJECT # |
|----------------|----------|-----------|
| 1 | 11/18/03 | 01004 |
| DWN BY: RWB | | |
| CHK BY: BJS | | |
| DATE: 02-28-03 | | |
| C201-K | | |
| OF | | |





LOCATION & DESCRIPTION

THE SITE, LOCATED ON THE NORTHEAST QUADRANT OF CHELWOLD PARK AND CONSTITUTION AVENUE NE AS SHOWN ON THE VICINITY MAP, THE SITE IS PARTIALLY DEVELOPED AS AN ELEMENTARY SCHOOL. THIS PROJECT PROPOSES TO CONSTRUCT A NEW CLASSROOM ADDITION IN THE WEST CENTRAL PORTION OF THE CAMPUS. IN ADDITION TO THE ADDITION, THE PROJECT PROPOSES TO RELOCATE THE EXISTING SOUTH PARKING LOT AND WILL REMOVE NUMEROUS PORTABLE BUILDINGS AND ONE PERMANENT BUILDING TO CLEAR THE CONSTRUCTION SITE.

HYDROLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATIONS OF THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

PRECIPITATION

THE 100-YR, 6-HR DURATION STORM EVENT WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THE SITE LIES WITHIN THE ZONE 4 PRECIPITATION AREA FOR THE CITY OF ALBUQUERQUE, AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. THEREFORE, TABLES WITHIN THIS SECTION WERE USED TO ESTABLISH THE EXCESS PRECIPITATION AND PEAK DISCHARGE.

EXISTING DRAINAGE

THE SITE OVERALL SITE HAS NUMEROUS STORM DRAIN SYSTEMS COLLECTING RUNOFF FROM THE EAST PORTION OF THE CAMPUS AND CONVEYING IT WEST TO AN EXISTING SEDIMENT POND IN THE NORTHWEST CORNER OF THE CAMPUS. IN ADDITION TO THE STORM DRAIN SYSTEMS, THE WESTERN AND SOUTHERN PORTIONS OF THE CAMPUS SURFACE FLOW RUNOFF WEST INTO CHELWOOD PARK OR SOUTH INTO CONSTITUTION. THESE SURFACE FLOWS ARE CURRENTLY UNDIRECTED AND CONVEY LARGE QUANTITIES OF SEDIMENT INTO THE STREETS. THE CONSTRUCTION AREA FOR THIS PROJECT DRAINS BOTH TO CHELWOOD PARK AND CONSTITUTION AS SURFACE FLOWS.

THE CONSTRUCTION AREA OF THIS SITE IS ISOLATED FROM IMPACTS FROM OFFSITE ADJACENT PROPERTIES BECAUSE OF THE EXISTING STORM DRAINS THAT DRAIN THE EASTERN PORTION OF THE SITE.

DEVELOPED CONDITION

THIS REPORT ADDRESSES THE PROTONS OF THE SITE THAT ARE MODIFIED OR IMPACTED BY THE CURRENT PROPOSED CONSTRUCTION. THE REMAINING PORTION OF THE SITE IS NOT ADDRESSED SINCE ITS DRAINAGE SYSTEMS AND PATTERNS ARE NOT AFFECTED BY THIS PROJECT. THE CONSTRUCTION SITE HAS BEEN DIVIDED INTO FIVE (5) BASINS FOR ANALYSIS PURPOSES.

"BASIN A" IS THE SOUTH CENTRAL PORTION OF THE CONSTRUCTION SITE AND INCLUDES TWO LARGE GRASS FIELDS ON THE NORTH AND SOUTH SIDE OF A NEW PAVED PARKING LOT. THIS AREA DRAINS BY SHEET FLOW WITHIN THE PAVED PARKING AND SURFACE FLOWS THROUGH THE GRASS FIELDS TO THE WEST END OF THE PROPOSED PARKING LOT. A CONCRETE CHANNEL AND SIDEWALK CULVERTS DRAIN THIS AREA TO CONSTITUTION AVE.

"BASIN B" IN THE VERY SOUTHWEST CORNER OF THE SITE IS PROPOSED AS AN ALL CONCRETE ENTRANCE PLAZA. THIS AREA DRAINS BY SHEET FLOW TO TWO EXISTING AREA INLETS AT THE VERY SOUTHWEST CORNER OF THE SITE. THESE EXISTING INLETS ARE CONNECTED INTO THE BACK OF THE EXISTING INLET ON CHELWOOD PARK.

"BASIN C" IS THE AREA NORTH OF THE TURNAROUND ON THE WEST END OF THE NEW PARKING LOT IS A CONTINUATION OF THE CONCRETE ENTRY PLAZA RUNNING NORTHEAST TO SOUTHWEST. THIS BASIN INCLUDES SOME PROPOSED GRASS AREAS AND THE WESTERN PORTION OF THE NEW NEW CLASSROOM ADDITION. THE RUNOFF DRAINS TOWARD THE SOUTHWEST AS SHEET FLOW WHERE IT IS INTERCEPTED IN THE TURN AROUND AREA AND DIRECTED INTO CHELWOOD PARK THROUGH THE DRIVEPAD.

"BASIN D" INCLUDES THE NORTHERN PORTION OF THE CONSTRUCTION AREA AND SNAKES EAST, AROUND THE PORTION OF THE NEW CLASSROOM ADDITION AREA INCLUDED IN BASIN C, AND PICKS UP THE EASTERN PORTION OF THE NEW CLASSROOM ADDITION. THIS BASIN DRAINS VIA UNDERGROUND STORM DRAINS WEST WHERE THE STORM DRAIN CONNECTS INTO THE BACK OF AN EXISTING STORM DRAIN TO CHELWOOD POND. A SMALL COLLECTION POND WITH A BEEHIVE GRATE INLET IS PROPOSED ON THE WEST END OF THIS BASIN NEA CHELWOOD POND. THIS POND WAS ADDED MAINLY TO FACILITATE SEDIMENT REDUCTION FOR THE SWPPP BUT IS INTENDED TO REMAIN AFTER CONSTRUCTION TO HELP REDUCE THE SEDIMENT TRANSPORT FROM THE SITE INTO CHELWOOD POND. IT WILL ONLY FUNCTION AS SEDIMENT POND NOT A DETENTION POND.

"BASIN E" IS EAST OF THE EASTERN MOST DRIVEPAD ON CONSTITUTION. THIS AREA IS ALMOST TOTALLY UNDISTURBED BY THE CONSTRUCTION EXCEPT A VERY SMALL PORTION ON THE WEST END OF THE BASIN WHERE A NEW SIDEWALK IS BEING ADDED ON THE EAST SIDE OF THE DRIVEPAD. THIS BASIN DRAINS VIA SURFACE FROM TO THE DRIVEPAD WHERE IT WILL DISCHARGE INTO CONSTITUTION.

AS SHOWN BY THE HYDROLOGIC CALCULATIONS, THE IMPACT TO DRAINAGE FROM THIS SITE IS MINIMAL BECAUSE OF THE NUMEROUS PORTABLE CLASSROOMS AND PERMANENT CAFETERIA BEING REMOVED AS WELL AS THE EXISTING SOUTH PARKING AREA IS BEING REMOVED AND REPLACED BY A MORE SPACE EFFICIENT PARKING LOT. THE MAJOR IMPACT TO DRAINAGE LEAVING THE SITE IS FROM BASIN D WHERE THE RUNOFF IS COLLECTED IN A STORM DRAIN THAT DISCHARGES UNDERGROUND INTO THE CITY STORM DRAIN SYSTEM.



| CHELWOOD ELEMENTARY CLASSROOM ADDITION
100-YEAR HYDROLOGIC CALCULATIONS | | | | | | | | | | | |
|--|-------------|----------------|-------|-------|--------|----------------------|---------------------------|------------------|----------------------|--------------------|---------|
| BASIN # | AREA (acre) | LAND TREATMENT | | | | WEIGHTED E (in) | V (6-hr) (acre-ft) | V (6-hr) (cu-ft) | V(24 hour) (acre-ft) | V(24 hour) (cu-ft) | Q (cfs) |
| | | A (%) | B (%) | C (%) | D (%) | | | | | | |
| EXISTING CONDITIONS | | | | | | | | | | | |
| BASIN A | 1.63 | 0.00 | 14.01 | 20.76 | 65.23 | 2.18 | 0.30 | 12,909 | 0.36 | 15,310 | 7.53 |
| BASIN B | 0.16 | 0.00 | 0.00 | 14.04 | 85.96 | 2.47 | 0.03 | 1,463 | 0.04 | 1,944 | 0.82 |
| BASIN C | 0.58 | 0.00 | 0.00 | 25.66 | 74.14 | 2.33 | 0.11 | 4,923 | 0.14 | 6,095 | 2.82 |
| BASIN D | 1.20 | 0.00 | 0.00 | 80.11 | 19.89 | 1.89 | 0.17 | 7,362 | 0.18 | 8,910 | 4.83 |
| BASIN E | 0.27 | 0.00 | 24.54 | 26.66 | 46.79 | 1.94 | 0.04 | 1,931 | 0.05 | 2,295 | 1.17 |
| PROPOSED CONDITIONS | | | | | | | | | | | |
| BASIN A | 1.63 | 0.00 | 44.83 | 5.09 | 50.08 | 1.88 | 0.26 | 11,154 | 0.31 | 13,382 | 6.74 |
| BASIN B | 0.16 | 0.00 | 0.00 | 0.00 | 100.00 | 2.64 | 0.04 | 1,561 | 0.05 | 2,004 | 0.85 |
| BASIN C | 0.58 | 0.00 | 0.00 | 15.54 | 84.46 | 2.46 | 0.12 | 5,180 | 0.15 | 6,515 | 2.91 |
| BASIN D | 1.20 | 0.00 | 0.00 | 41.33 | 58.67 | 2.15 | 0.21 | 9,350 | 0.26 | 11,262 | 5.53 |
| BASIN E | 0.27 | 0.00 | 24.54 | 25.17 | 50.29 | 1.96 | 0.04 | 1,948 | 0.05 | 2,324 | 1.18 |
| INCREASE DUE TO DEVELOPMENT | | | | | | | | | | | |
| ALL BASINS | | | | | | | 0.01 | 605 | 0.03 | 1432 | 0.05 |
| EXCESS PRECIP. | | | | | | | | | | | |
| PEAK DISCHARGE | | 0.8 | 1.08 | 1.46 | 2.84 | E (in) | | | | | |
| | | 2.2 | 2.92 | 3.73 | 5.25 | Q _m (cfs) | | | | | |
| $\text{WEIGHTED E (in)} = (E_A)(\%A) + (E_B)(\%B) + (E_C)(\%C) + (E_D)(\%D)$ $V_{6hr} \text{ (acre-ft)} = (\text{WEIGHTED E})(\text{AREA})/12$ $V_{24hr} \text{ (acre-ft)} = V_{6hr} + (A_0)(P_{1day} - P_{6hr})/12$ $Q \text{ (cfs)} = (Q_m)(A_0) + (Q_m)(A_0) + (Q_m)(A_0) + (Q_m)(A_0)$ | | | | | | | | | | | |
| | | | | | | | ZONE = | 4 | | | |
| | | | | | | | P _{6hr} (in.) = | 2.90 | | | |
| | | | | | | | P _{24hr} (in.) = | 3.65 | | | |
| | | | | | | | P _{1day} (in.) = | 5.95 | | | |



DRAINAGE CERTIFICATION

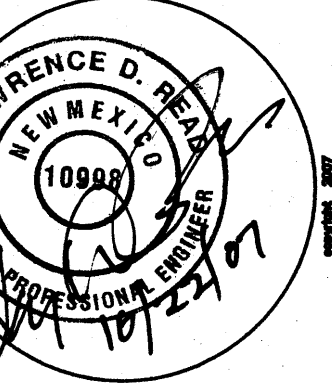
I, Larry D. Read, NMPE 10998, of the firm Larry Read & Associates, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated October 22, 2007. The record information edited onto the original design document has been obtained by William F. Brewster, NMPS 10855, of the firm Souder Miller. I further certify that I have personally visited the project site on March 5, 2009 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

Exceptions: As clouded on the plan. Wheel chair ramps added at turn around, and drop-off area. Wheelchair ramps changed to radial at south entrance. Curb in turn around changed to rollover to facilitate fire truck maneuvering.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the Grading and Drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

RUHDE MAY KELLER MCNAMARA
ARCHITECTURE

Studio 1100 Simms Tower Albuquerque, New Mexico 87102 USA

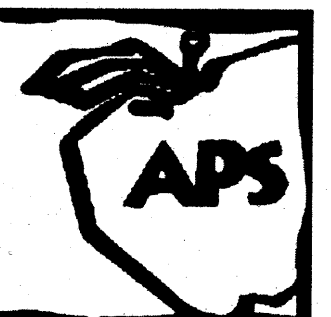


CONSULTANTS

ILL-LARRY READ AND
ASSOCIATES
STRUCTURAL-JJK GROUP
MECHANICAL-FEI BROWN
ENGINEERING
ELECTRICAL-HUGHES
SIGN INC.

WELWOOD ES

CLASSROOM BUILDING



ALBUQUERQUE PUBLIC SCHOOLS
1000 OAK STREET SE
ALBUQUERQUE, NM 87106

| | | |
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| | | |
| | | |
| | | |
| | | |
| 07/23/07 | 100% CD | |
| 04/13/07 | 90% CD | |
| 03/23/07 | 65% CD | |
| 11/22/06 | 100% DD | |
| DATE | DESCRIPTION | |

PROJECT # 0608

07/23/2007

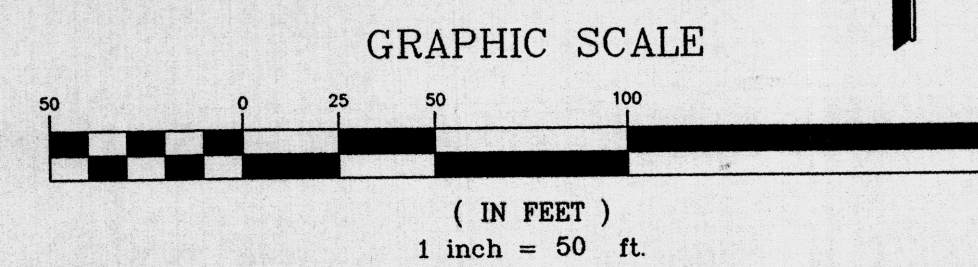
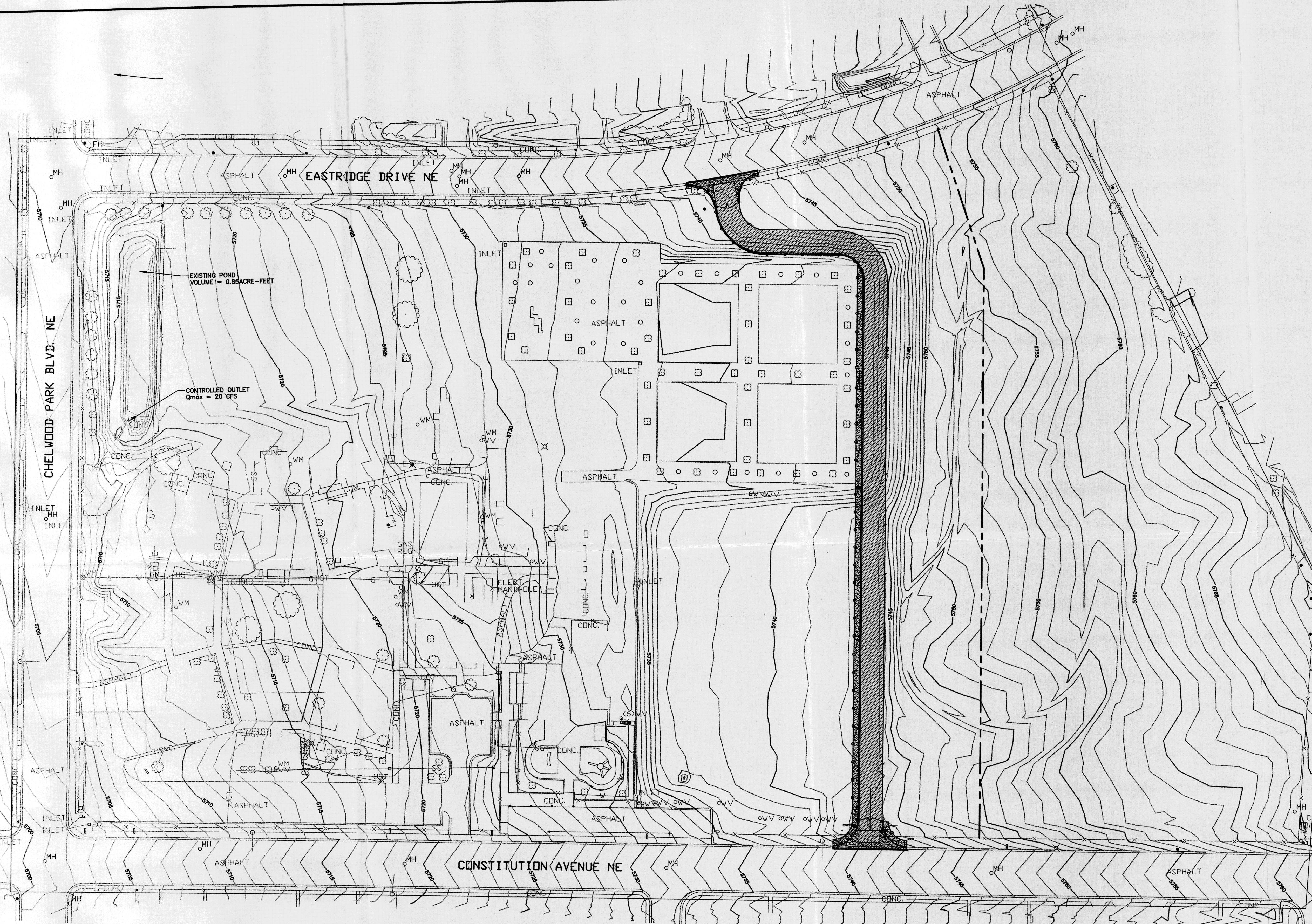
BY: LRA



CKED BY: LRA

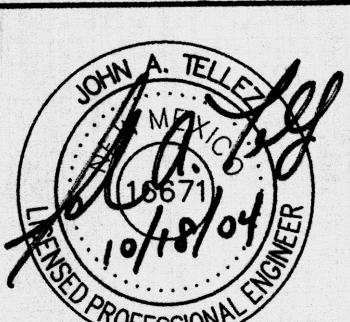
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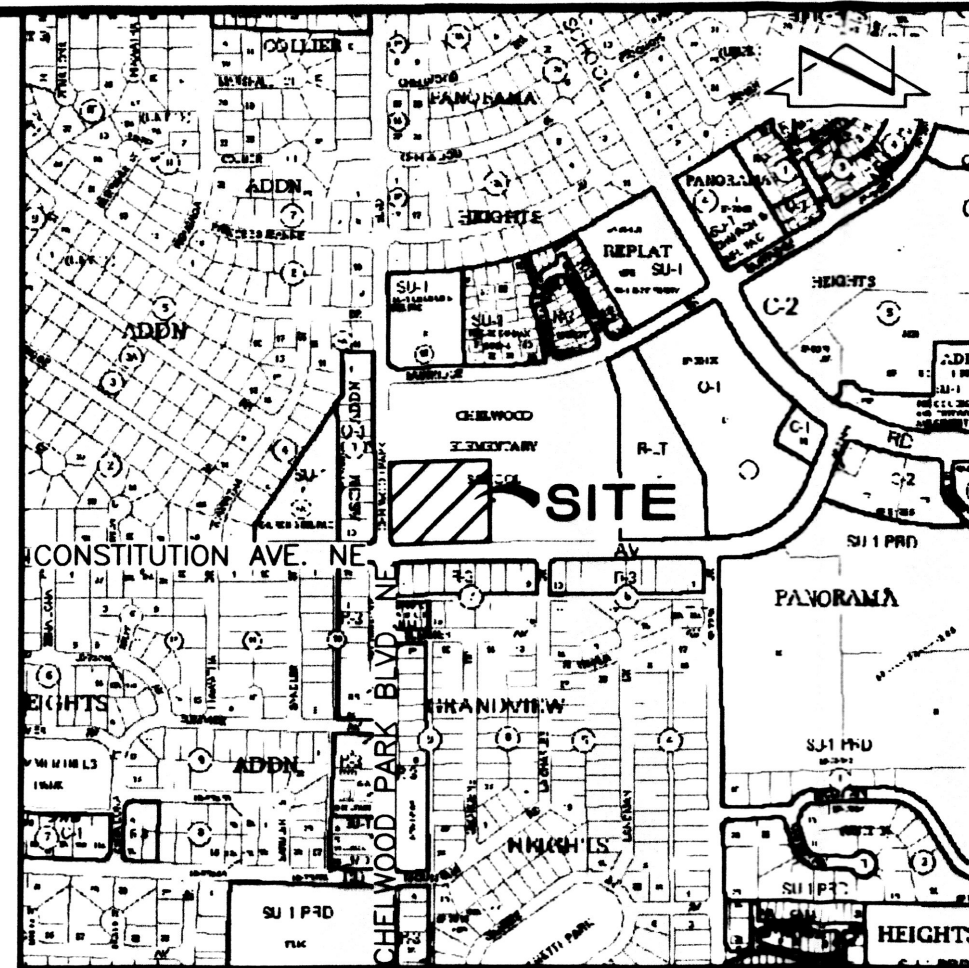
C-5

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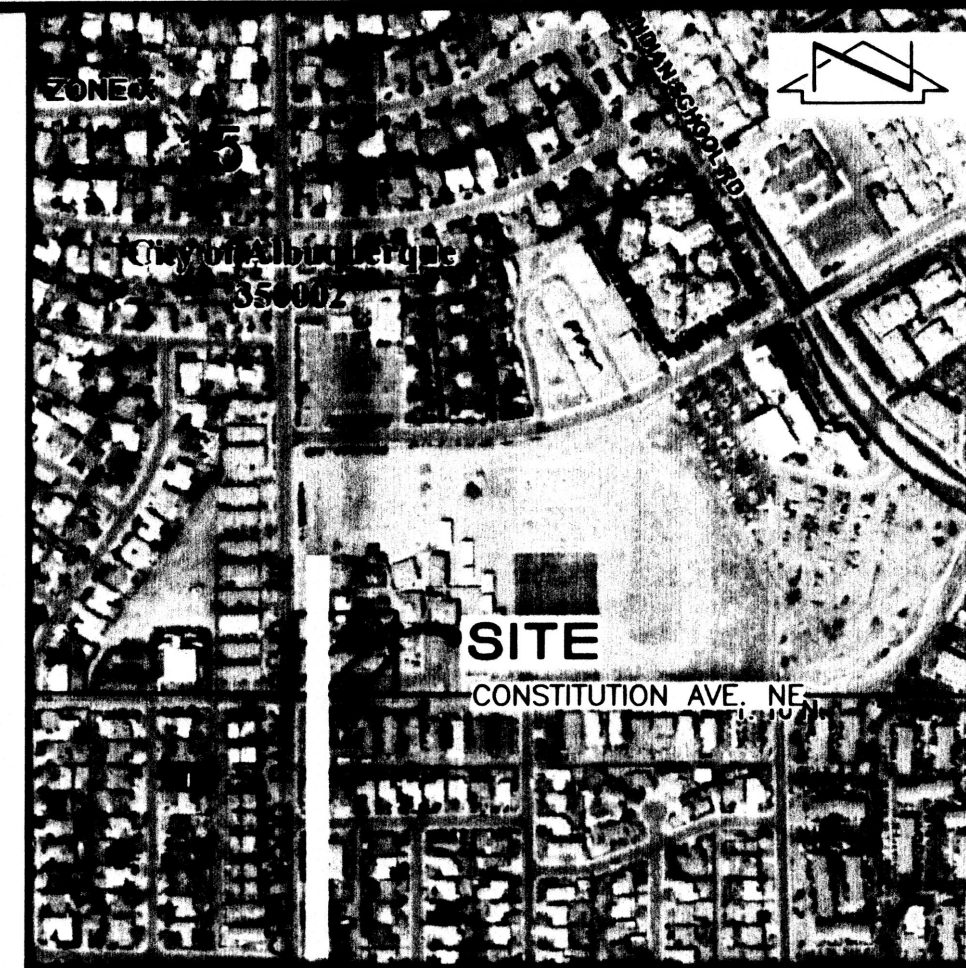


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|---|-----|--|---------------|
| 
WILSON & COMPANY
2600 THE AMERICAN ROAD S.E.
SUITE 100
RIO RANCHO, NEW MEXICO
87124
(505) 898-8021 | | 
ALBUQUERQUE
PUBLIC SCHOOLS | |
| CHELWOOD
ELEMENTARY SCHOOL | | | |
| OVERALL SITE PLAN | | | |
| DESIGN | JAT | WCEA NO. X4218036 | DATE OCT 2004 |
| DRAWN | AJM | PROJECT NO. | SHEET NO. |





D5 VICINITY MAP J-22
SCALE: 1" = 750'



D6 F.I.R.M. PANELS 357 & 359 OF 825
SCALE: 1" = 1500'
DATED: SEPTEMBER 26, 2008

DESCRIPTION

A PORTION OF TRACT A, CHELWOOD ELEMENTARY SCHOOL, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 22, 2005.

BENCHMARKS

PROJECT BENCHMARK

ACS 1 3/4" ALUMINUM DISK STAMPED, "ACS BM, 21-J-22. EPOXYED TO TOP OF CONCRETE DROP INLET, 12.4 FEET EAST OF THE ENE CURB RETURN OF CONSTITUTION AVENUE AND CHELWOOD PARK BOULEVARD N.E.
ELEVATION = 5706.46 FEET (NAVD 1988)

TEMPORARY BENCHMARK (T.B.M. #1)

A CHISELED "X" IN CONCRETE, AS SHOWN ON THIS SHEET.
ELEVATION = 5707.12 FEET (NAVD 1988)

TEMPORARY BENCHMARK (T.B.M. #2)

A CHISELED "X" IN CONCRETE, AS SHOWN ON THIS SHEET.
ELEVATION = 5724.26 FEET (NAVD 1988)

LEGEND

| | |
|--------|---------------------------------|
| C&G | CURB AND GUTTER |
| CO | CRUSHER FINES |
| CONC | CORRUGATED METAL PIPE |
| ELEC | CLEANOUT |
| FL | CONCRETE |
| INVERT | ELECTRIC |
| MHR | FLOWLINE |
| MLPC | INVERT ELEVATION |
| P/M | METAL HANDRAIL |
| PS | METAL LIGHT POLE IN 2" CONCRETE |
| SAS | PAINT MARK |
| SD | PARKING STRIPE |
| SVC | SANITARY SEWER LINE |
| SVB | STORM DRAIN |
| TA | SERVICE LINE |
| TC | SPRINKLER VALVE BOX |
| TCO | TOP OF ASPHALT |
| TYP | TOP OF CURB |
| U/G | TOP OF CONCRETE |
| VG | TYPICAL |
| WCR | UNDERGROUND |
| | VALLEY GUTTER |
| | WHEELCHAIR RAMP |
| | |
| | DECIDUOUS TREE |
| | SHRUB |
| | PAINTED UTILITY MARKER |
| | YUCCA/CACTUS |

ENGINEER'S CERTIFICATION

I, JEFFREY G. MORTENSEN, NMPE 8547, OF THE FIRM HIGH MESA CONSULTING GROUP, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED, DRAINED AND CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 01-07-2011 AND REVISED 03-13-2011 TO INCORPORATE ADA ACCESS. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR PERSONNEL UNDER MY DIRECT SUPERVISION AS SUPPLEMENTAL SITE DATA COMBINED WITH RECORD INFORMATION OBTAINED FROM THE AS-BUILT SURVEY DATED 06-17-2011 PERFORMED UNDER THE DIRECT SUPERVISION OF CHARLES G. CALA, JR., (NMPS 11184) OF THE FIRM HIGH MESA CONSULTING GROUP AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED TO DOCUMENT COMPLETION OF THOSE IMPROVEMENTS IDENTIFIED ON THE APPROVED PLAN FOR THE OWNER AND CITY OF ALBUQUERQUE AND TO SATISFY CONDITIONS OF GRADING APPROVAL.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE AND SPECIFIC LIMITED ASPECTS OF THIS PROJECT. THIS CERTIFICATION DOES NOT ADDRESS ADA COMPLIANCE WHICH IS BEYOND THE SCOPE OF GRADING AND DRAINAGE. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JEFFREY G. MORTENSEN, NMPE 8547

DATE 07-06-2011



CHELWOOD PARK BOULEVARD N.E.
(64' R.O.W.)

584.08'

N 00°38'19" W

S 89°27'36" W

881.94'

CONSTITUTION AVENUE N.E.
(74' R.O.W.)

A1 DEMOLITION PLAN

SCALE: 1" = 20'

HIGH MESA Consulting Group

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

DEMOLITION PLAN HANDICAP PARKING SPACES CHELWOOD ELEMENTARY SCHOOL

GENERAL NOTES:

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1987, PUBLISHED BY THE NEW MEXICO CHAPTER AMERICAN PUBLIC WORKS ASSOCIATION. (REVISED 12/06)
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, (ALBUQUERQUE AREA) 1-800-321-ALERT (2537) (STATEWIDE) FOR LOCATION OF EXISTING PUBLIC UTILITIES AND ABOVE UTILITY LOCATING COMPANY (888-3341) FOR THE LOCATION OF EXISTING PRIVATE UTILITIES ON APS PROPERTY.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO ENSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE ENGINEER. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED.
- ALL PAVEMENT MARKINGS AND TRAFFIC SIGNS SHALL COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION, LATEST EDITION.
- IF THE REMOVAL OF EXISTING CURB AND GUTTER, SIDEWALK, AND/OR PAVING IS REQUIRED, THE CONTRACTOR SHALL SAWCUT AND/OR REMOVE TO THE NEAREST JOINT. WHEN ADJUSTING NEW PAVEMENT TO EXISTING, THE CONTRACTOR SHALL CUT BACK THE EXISTING PAVING TO A STRAIGHT LINE IN ORDER TO REMOVE ANY BROKEN OR CRACKED PAVEMENT. CURB AND GUTTER AND/OR PAVEMENT SHOWN AS EXISTING AND NOT TO BE REMOVED UNDER THIS CONTRACT AND WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL (CONTAMINATED OR OTHERWISE), ASPHALTIC PAVING, CONCRETE PAVING, ETC. SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
- A BORROW SITE FOR IMPORT MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A BORROW SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY OBTAINING THE REQUIRED COMPACTION. THE CONTRACTOR SHALL SELECT AND USE METHODS WHICH SHALL NOT BE INJURIOUS OR DAMAGING TO THE EXISTING FACILITIES AND STRUCTURES WHICH SURROUND THE WORK AREAS.
- THE CONTRACTOR SHALL CONFINED HIS WORK WITHIN THE CONSTRUCTION LIMITS IN ORDER TO PRESERVE THE EXISTING IMPROVEMENTS AND SO AS NOT TO INTERFERE WITH THE OPERATIONS OF THE EXISTING FACILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND/OR INSTALL PIPE SO AS TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES OR IMPROVEMENTS. THIS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- ALL DIMENSIONS AND R/O OF CURB, CURB RETURNS, AND WALLS ARE SHOWN TO THE FACE OF CURB AND/OR WALL.
- THE CONTRACTOR SHALL NOTIFY THE OWNER 48 HOURS PRIOR TO STRIPING SO THAT LAYOUT CAN BE VERIFIED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- WHEN APPLICABLE, CONTRACTOR SHALL SECURE, ON BEHALF OF THE OWNER AND OPERATORS, "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
- ALL FILL SHALL BE CLEAN, FREE FROM VEGETATION, DEBRIS, AND OTHER DELETERIOUS MATERIALS, AND SHALL NOT BE CONTAMINATED WITH HYDROCARBONS OR OTHER CHEMICAL CONTAMINANTS.
- ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% ASTM D-1557 UNLESS A GREATER COMPACTION REQUIREMENT IS OTHERWISE SPECIFIED.
- CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926, SUBPART P-EXCAVATIONS.

DESIGN SURVEY NOTE

THIS IS NOT A BOUNDARY SURVEY. DATA IS SHOWN FOR ORIENTATION ONLY. BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON A BOUNDARY SURVEY OF THE CAMPUS CONDUCTED BY HIGH MESA CONSULTING GROUP, NMPS 11184, SEPTEMBER 08, 2008 (2008.180.3). THE TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 11184, DATED NOVEMBER 19, 2010 (2010.181.6).

INDEX OF DRAWINGS

| SHEET NO. | DESCRIPTION |
|-----------|----------------------|
| 1 | DEMOLITION PLAN |
| 2 | ENLARGED PLANS |
| 3 | SECTIONS AND DETAILS |

RECORD DRAWING

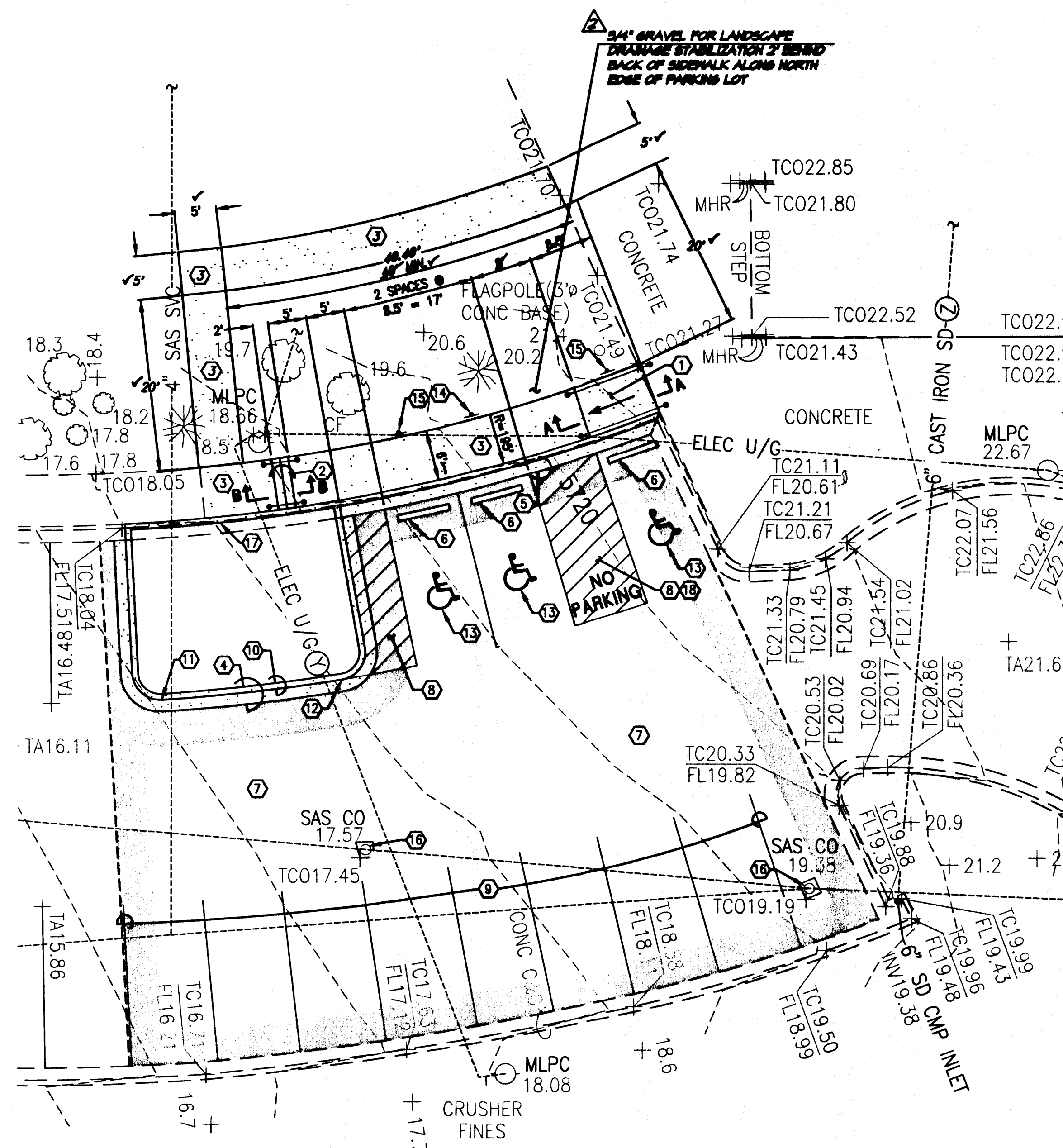
07-06-2011
03-13-2011



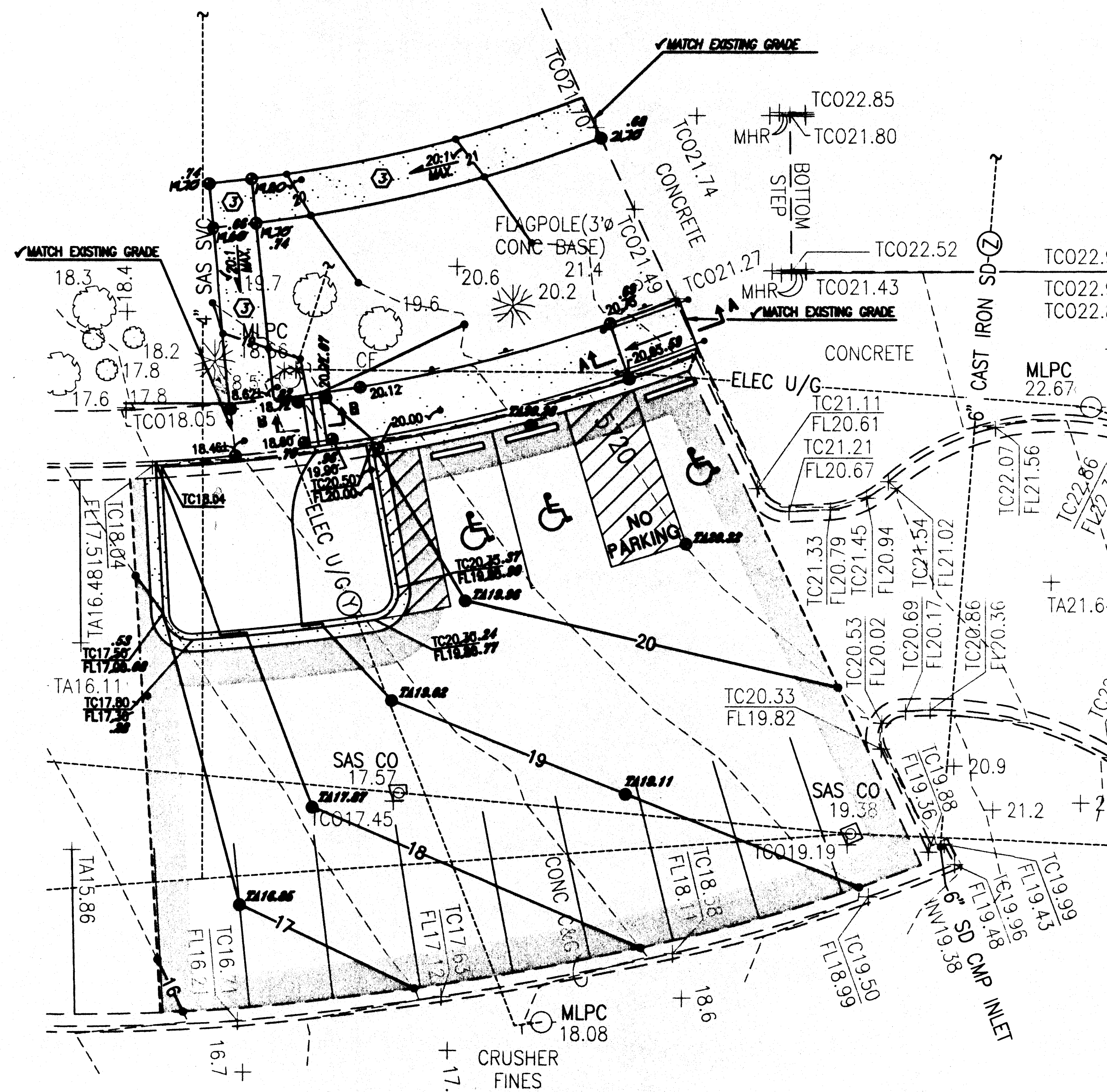
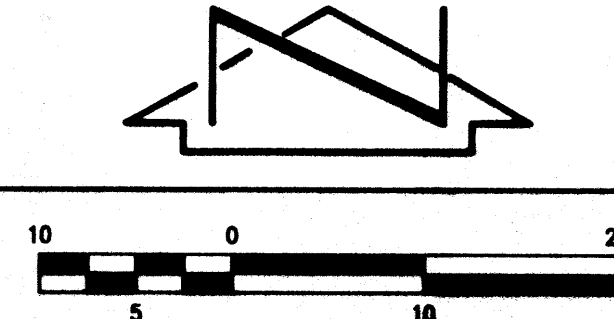
01-07-2011

| DESIGNED BY | DATE | BY | REVISIONS | JOB NO. |
|---------------|-------|--------|------------------|--------------|
| J.G.M. | 02/11 | J.G.M. | ADD ADA SIDEWALK | 2010.180.7 |
| C.F.A./C.L.T. | 07/11 | B.E.E. | RECORD DRAWING | DATE 12-2010 |
| J.G.M. | | | | SHEET 1 OF 3 |

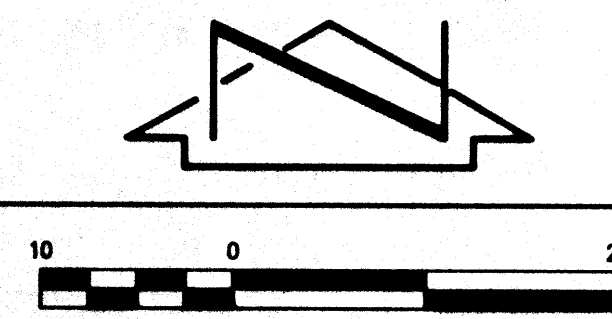
| CONSTRUCT | RECORD INFORMATION (VERIFIED BY ENGINEER) |
|-----------|--|
| ✓ | AS-CONSTRUCTED = AS-DESIGNED (VERIFIED BY ENGINEER) |
| 3/4" 42" | RECORD INFORMATION (VERIFIED BY ENGINEER) |
| +28.2 | RECORD INFORMATION (VERIFIED BY ENGINEER) |
| 28.98/42 | RECORD INFORMATION (VERIFIED BY ENGINEER) |
| ✓ | AS-CONSTRUCTED = AS-DESIGNED (VERIFIED BY AS-BUILT SURVEY) |
| 21.9.8 | RECORD INFORMATION FROM AS-BUILT SURVEY |
| +28.2 | RECORD INFORMATION FROM AS-BUILT SURVEY |
| 31.25.22 | RECORD INFORMATION FROM AS-BUILT SURVEY |



PAVING PLAN
SCALE: 1" = 10'



GRADING PLAN
SCALE: 1" = 10'



DRAINAGE PLAN

I. INTRODUCTION AND EXECUTIVE SUMMARY

THIS PROJECT, LOCATED IN THE NORTHEAST HEIGHTS OF THE CITY OF ALBUQUERQUE, REPRESENTS A MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA. THE SITE IS CURRENTLY DEVELOPED AS AN APS ELEMENTARY SCHOOL SITE. IT IS PROPOSED TO INCORPORATE THREE HANDICAP PARKING SPACES INTO AN EXISTING PAVED PARKING LOT. THE PROJECT WILL NOT INCREASE THE IMPERVIOUSNESS OF THE SITE WHILE MAINTAINING THE EXISTING DRAINAGE PATTERN OF THIS PORTION OF THE SITE.

II. PROJECT DESCRIPTION AND BACKGROUND

AS SHOWN BY THE VICINITY MAP, THE SITE IS LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF CHELWOOD PARK BLVD NE AND CONSTITUTION AVENUE NE. AS INDICATED BY PANELS 357 AND 359 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO, THIS SITE DOES NOT LIE WITHIN OR DISCHARGE TO A DESIGNATED FLOOD HAZARD ZONE. PER THE APS CAPITAL MASTER PLAN DRAINAGE UPDATE, THIS SITE IS SUBJECT TO CONTROLLED DISCHARGE DUE TO LIMITED DOWNSIDE CAPACITY. THIS LIMITED SCOPE PROJECT WILL NOT CREATE ANY ADDITIONAL IMPERVIOUSNESS AND WILL HONOR EXISTING DRAINAGE PATTERNS, THEREFORE, FURTHER MITIGATION OF ONSITE STORM WATER IS NOT REQUIRED AT THIS TIME.

III. GRADING PLAN

THE GRADING PLAN SHOWS 1.) EXISTING AND PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1"-0" INTERVALS, 2.) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS, 3.) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS, AND 4.) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES. AS SHOWN BY THIS PLAN, THE PROPOSED IMPROVEMENTS WILL MAINTAIN EXISTING DRAINAGE PATTERNS AND WILL NOT INCREASE THE IMPERVIOUSNESS OF THE SITE.

IV. CALCULATIONS

DUE TO THE LIMITED SCOPE OF WORK, DRAINAGE CALCULATIONS WERE NOT PERFORMED.

V. CONCLUSIONS

- THE CONTINUED DISCHARGE OF RUNOFF FROM THIS SITE TO CONSTITUTION AVENUE NE IS APPROPRIATE
- THIS PROJECT WILL NOT ALTER EXISTING OR APPROVED DRAINAGE PATTERNS OR DISCHARGE POINTS
- THIS PROJECT WILL NOT INCREASE THE AMOUNT OF STORM RUNOFF GENERATED BY THIS SITE

CONSTRUCTION NOTES

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 280-1990 (ALBUQUERQUE AREA) 1-800-321-ALERT(2577) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES, AND ABASTI UTILITY LOCATING COMPANY (888-3341) FOR LOCATION OF EXISTING PRIVATE UTILITIES ON APS PROPERTY.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.

EROSION CONTROL MEASURES

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.

KEYED NOTES

1. CONSTRUCT ADA RAMP WITH HANDRAILS PER SECTION A-A, SHEET 3
2. CONSTRUCT STAIRS WITH HANDRAILS PER SECTION B-B, SHEET 3
3. CONSTRUCT CONCRETE SIDEWALK PER TYPICAL SECTION, SHEET 3
4. CONSTRUCT 6" CURB AND GUTTER PER TYPICAL SECTION, SHEET 3
5. CONSTRUCT GUTTER AT CURB ACCESS RAMP PER TYPICAL SECTION, SHEET 3
6. INSTALL CONCRETE WHEELSTOP PER TYPICAL SECTION, SHEET 3
7. CONSTRUCT 3" ASPHALT PAVING PER TYPICAL SECTION, SHEET 3
8. RAMP 4" WIDE CROSS-HATCH (2" CC) PAVEMENT MARKINGS @ 45° W/ WHITE TRAFFIC PAINT, MIN 2 COATS
9. RAMP 4" PAVEMENT MARKING W/ WHITE TRAFFIC PAINT, MIN 2 COATS
10. RAMP CURB WITH YELLOW TRAFFIC PAINT, MIN. 2 COATS
11. BEGIN YELLOW TRAFFIC PAINT
12. END YELLOW TRAFFIC PAINT
13. INSTALL 1-ADA COMPLIANT HANDICAP PARKING SPACE PAVEMENT MARKING
14. INSTALL 1-ADA COMPLIANT HANDICAP PARKING SIGN W/ VAN ACCESSIBLE PLACARD
15. INSTALL 1-ADA COMPLIANT HANDICAP PARKING SIGN
16. ADJUST TO GRADE EXISTING CLEANOUT
17. CONSTRUCT HEADER CURB, PER TYPICAL SECTION, SHEET 3
18. STAMPE: "NO PARKING" ON PAVEMENT WITH WHITE TRAFFIC PAINT, MINIMUM 2 COATS

RECORD DRAWING
FOR CERTIFICATION, SEE SHEET 1

07-06-2011
03-13-2011
01-07-2011