



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

Floodplain Development Permit Form
Planning Dept., City of Albuquerque

Section 1: General Provisions (Applicant to read and sign)

1. No work of any kind may start until a permit is issued.
2. Applicant is hereby informed that other permits may be required to fulfill local, state, and federal regulatory requirements.-
3. Applicant hereby gives consent to the Floodplain Administrator and his/her representative to make reasonable inspections required to verify compliance.
4. Applicant must provide a Critical Habitat for Threatened & Endangered Species report if working on or near an endangered species area.
5. The applicant certifies that all statements herein and in attachments to this application are, to the best of my knowledge, true and accurate.

Applicant Signature _____

Date _____

3/27/2017

Applicant Printed Name Jeffrey T. Wooten, P.E. Phone #: 505-980-3560

Section 2: Proposed Development in Special Flood Hazard Area (to be completed by Applicant)

Brief Project Description New Peter Piper Pizza restaurant with associated parking, landscaping, and ponding. The far west side of the site is located in the Zone 'AO' – Depth 1' Flood Plain; however, no buildings or other structures will be located within this area.

Applicant is (check one): Owner _____ Builder _____ Engineer/Architect X _____

Project address/Legal Disc/Location: 1000 Juan Tabo Blvd NE

Description of Work in Special Flood Hazard Area (SFHA):

A. Development Activities

Clearing X Fill X Drilling _____ Excavation X _____

Watercourse Alteration _____ (Including Dredging and Channel Modifications)

Drainage Improvements X Road, Street or Bridge Construction _____

Water or Sewer Line Installation _____ Paving X Walls, Fences _____

Storage of Materials/Equipment for more than a year. _____ Materials Volume (cu. Ft.) _____

Other (Please Specify) Sidewalk Culvert Installation for Water Harvesting Pond Discharge

B. Building Development and Building Type

New Building X Residential (1-4 Family) _____ Residential (More than 4 Family) _____

Commercial X Addition Alteration Demolition

Manufactured Home

If an addition or alteration:

Estimated Cost of structure before addition/alteration.

Estimated Cost of Project \$	Percent of value (new/existing)
100,000	100%
200,000	100%
300,000	100%
400,000	100%
500,000	100%
600,000	100%
700,000	100%
800,000	100%
900,000	100%
1,000,000	100%
1,100,000	100%
1,200,000	100%
1,300,000	100%
1,400,000	100%
1,500,000	100%
1,600,000	100%
1,700,000	100%
1,800,000	100%
1,900,000	100%
2,000,000	100%
2,100,000	100%
2,200,000	100%
2,300,000	100%
2,400,000	100%
2,500,000	100%
2,600,000	100%
2,700,000	100%
2,800,000	100%
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9,400,000	100%
9,500,000	100%
9,600,000	100%
9,700,000	100%
9,800,000	100%
9,900,000	100%
10,000,000	100%

Is there a Grading & Drainage Plan associated with this work? Yes X No

Drainage file Number: J22D012D

Section 3: Floodplain Determination (Completed by the Floodplain Administrator)

The proposed development is located in a SFHA Zone (circle one): A AE AH AO

And is located on FIRM Panel:

And is located in a Floodway: ____Yes ____No

BFE if Applicable:_____

Drainage File Number: _____

Floodplain Permit Number:_____

Building Permit / Work Order #: _____

Site specific Instructions:

Signed: _____ Date: _____

Printed Name: _____

If proposed development is a building complete section 4.

Section 4: Requirements for building in a SFHA:

(To be completed by the Floodplain Administrator or Representative).

BFE (unless not available) Not applicable Minimum Finished Floor Elevation: Not Applicable

Minimum Lowest Adjacent Grade (LAG): Not applicable

Change in water elevation (if in a Floodway): None

Is flood-proofing required: YES ____ NO X

If yes, method of flood-proofing: _____

Company certifying the flood-proofing: _____

An Elevation Certificate is required for structural development in a SFHA. A Certificate of Occupancy will not be granted until the Planning Department receives the Elevation Certificate.

Section 5: Post Development Certification:

A. For structural Development:

Elevation Certificate received on (Date): _____

Finished Floor Elevation: _____

Lowest adjacent grade: _____

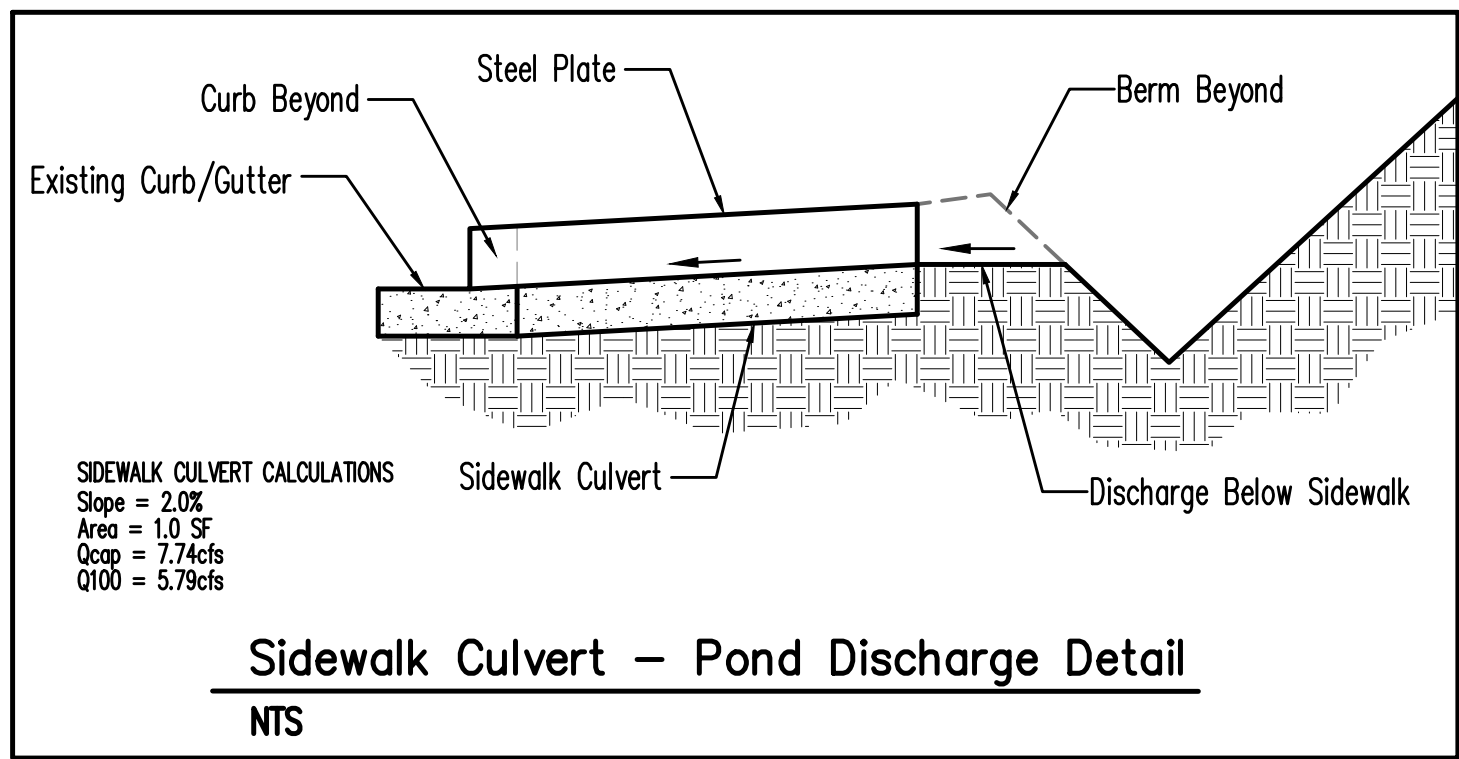
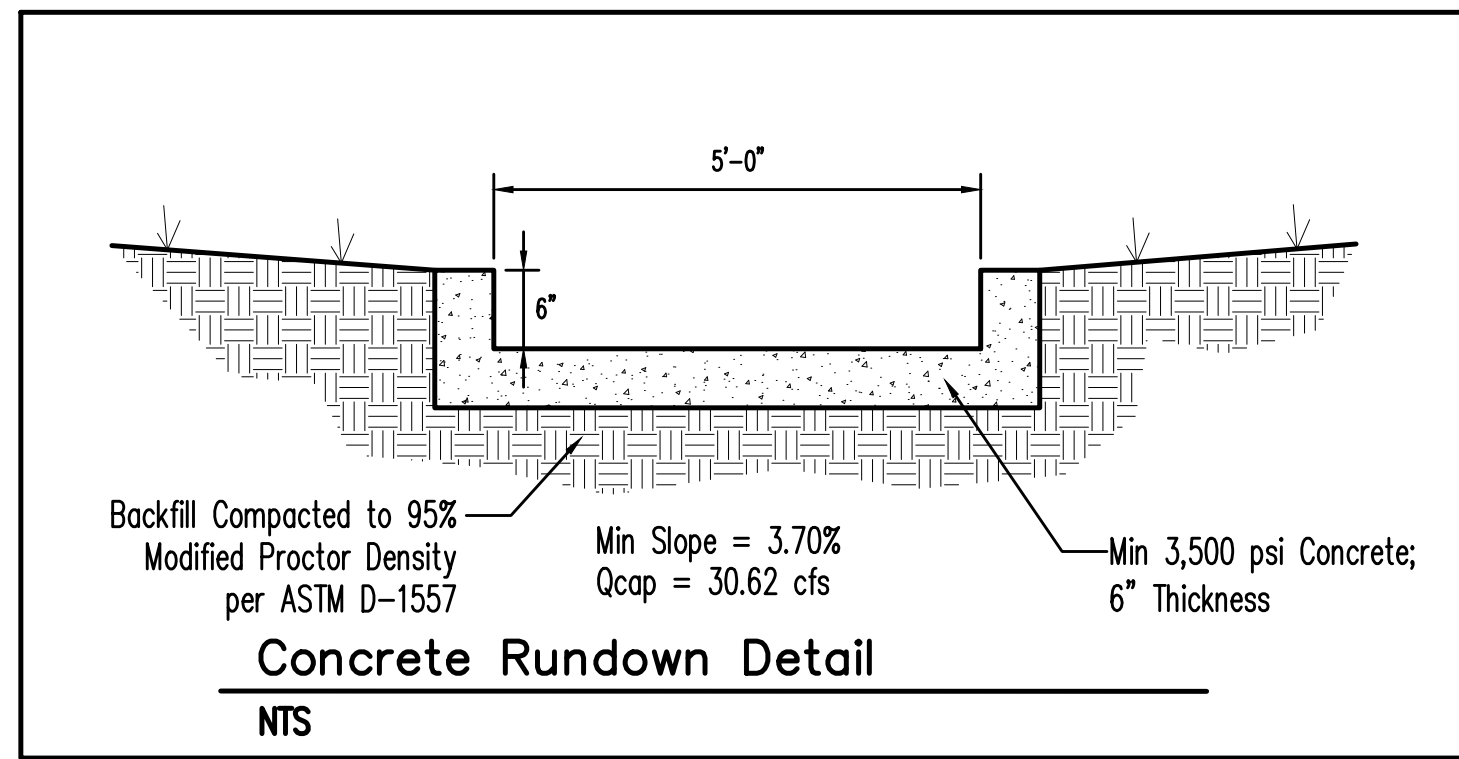
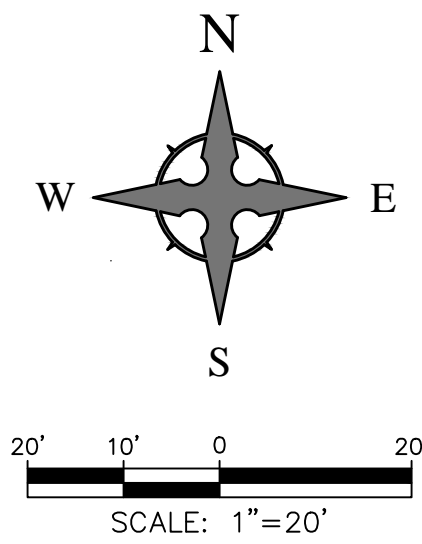
The Floodplain Administrator or Representative verifies that the above information is acceptable ____ is not ____ acceptable per the City of Albuquerque Floodplain Ordinance.

B. The site was visually inspected on (Date) _____

Certificate of Occupancy approved on (Date) _____

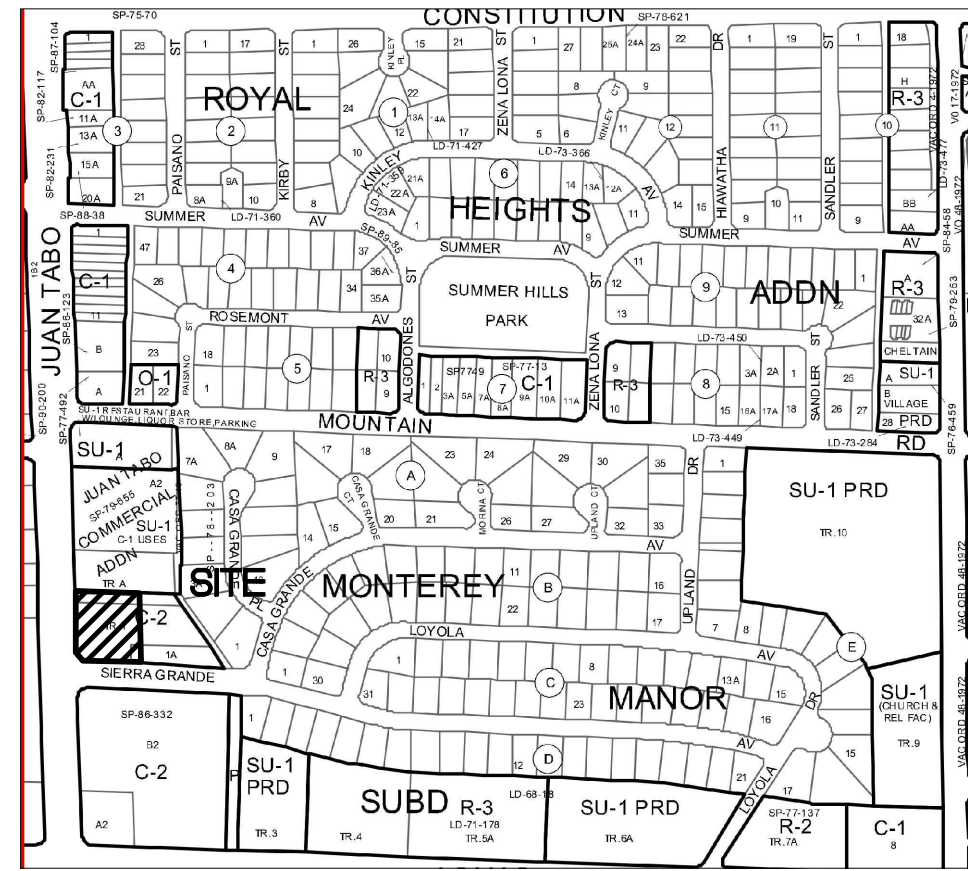
Signature: _____ Date: _____

Printed Name: _____



LEGEND

- FLOW ARROW
- 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8 PROPOSED TOP OF CURB ELEVATIONS
- 515 EXISTING CONTOUR
- 515 PROPOSED CONTOUR
- EXISTING STORM DRAIN



VICINITY MAP - Zone Map J-22-2
Legal Description: Tract 1, Monterey Manor



FIRM MAP 35001C0359G

Per Firm Map 35001C0359G, dated September 26, 2008, the site is located in the Zone AO (Depth 1') Floodplain. The proposed building is not located within the Zone AO designated area.

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

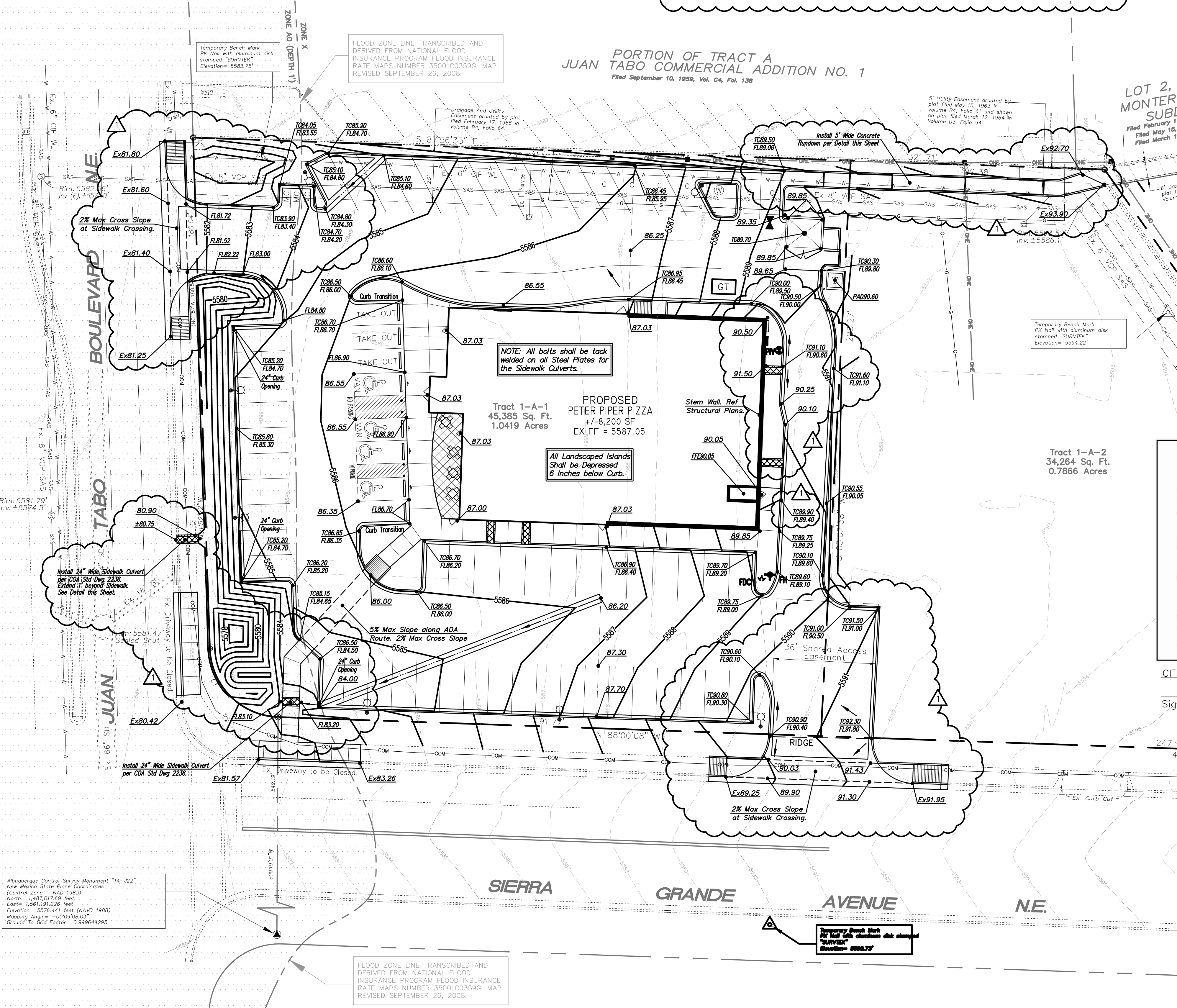
GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

- Private Drainage Facilities within City Right-of-Way
Notice to Contractor
(Special Order 19 ~ "SO-19")
- An excavation permit will be required before beginning any work within City Right-Of-Way.
 - All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
 - Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
 - Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
 - Backfill compaction shall be according to traffic/street use.
 - Maintenance of the facility shall be the responsibility of the owner of the property being served.
 - Work on arterial streets shall be performed on a 24-hour basis.

CITY INSPECTOR APPROVAL

Signature _____ Date _____



Albuquerque Control Survey Monument "14-022"
New Mexico State Plane Coordinates
(Central Zone - NAD 1983)
North: 1,487,017.69 feet
East: 1,581,191.226 feet
Elevation: 5576.441 feet (NAVD 1988)
Mapping Angle: -0.070926.03
Ground to Grid Factor= 0.999644295

FLOOD ZONE LINE TRANSCRIBED AND DERIVED FROM NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS NUMBER 35001C0359G, MAP REVISED SEPTEMBER 26, 2008.

REV	DATE	BY	REVISION
1	3/27/2017	JTW	Revisions per City Comments

MODULUS ARCHITECTS

100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

JEFFREY TODD WOOTEN
NEW MEXICO
16892
PROFESSIONAL ENGINEER
3/27/2017

PROJECT TITLE PETER PIPER PIZZA 1000 JUAN TABO BOULEVARD NE ALBUQUERQUE, NEW MEXICO 87112	DRAWN BY: JEFF WOOTEN	JOB NO. 2016041	SHEET TITLE Grading Plan
DATE 12/25/16	SCALE AS NOTED	SHEET C1.1	OF 1

W E

Wooten Engineering
1005 21st St SE, Suite A5
Rio Rancho, N.M. 87124
Phone: (505) 980-3560

CITY OF ALBUQUERQUE



March 28, 2017

Richard J. Berry, Mayor

Jeffrey T Wooten P.E.
Wooten Engineering
1368 Reynosa Loop SE
Rio Rancho, NM, 87124

RE: Peter Piper Pizza
Grading and Drainage Plan
Engineer's Stamp Date 3-27-2017 (File: J22D012D)

Dear Mr. Wooten:

Based upon the information provided in your submittal received 3-28-2017, the above referenced Grading and Drainage Plan is approved for building permit, grading permit and SO-19 approval, based on the following conditions:

1. Tack weld bolt at the plate for sidewalk culvert.
2. Provide an electronic copy of the utility plan.

Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3999.

Sincerely,

Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

MA/SB