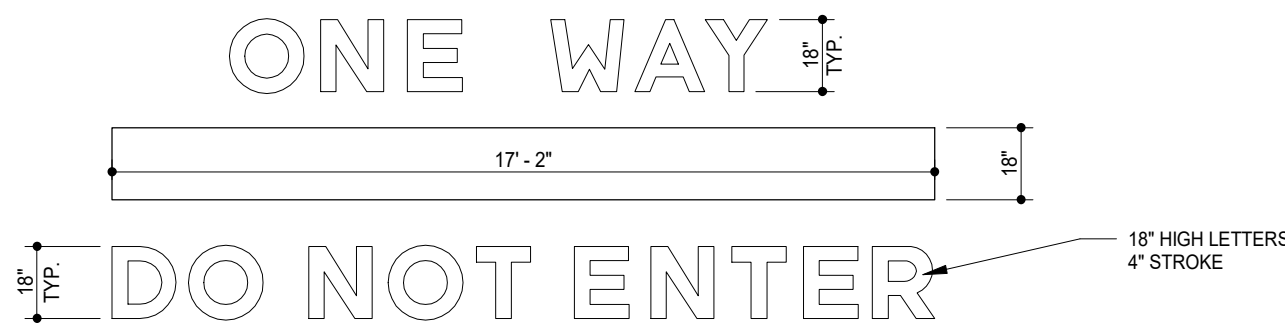
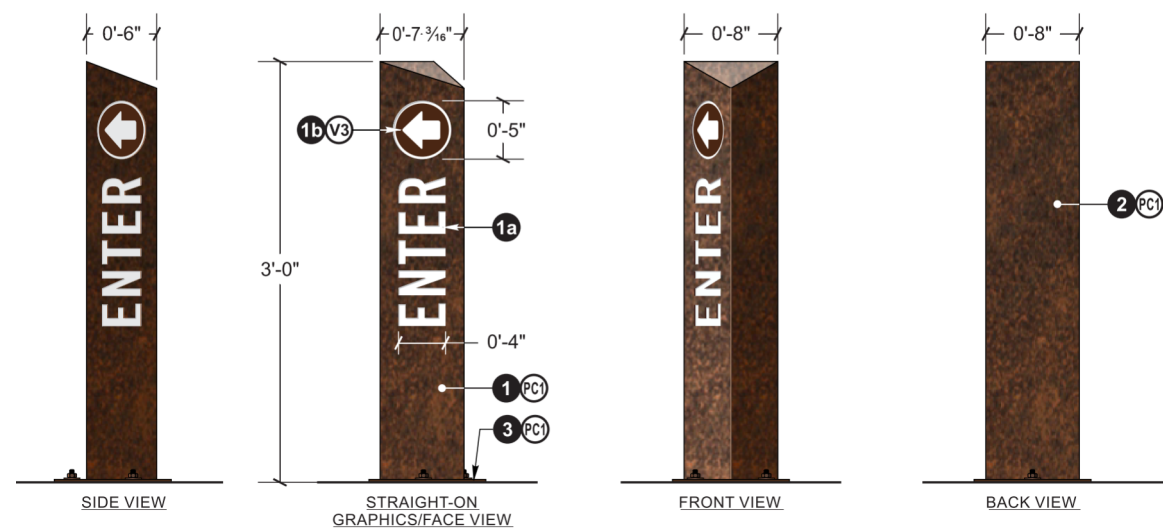


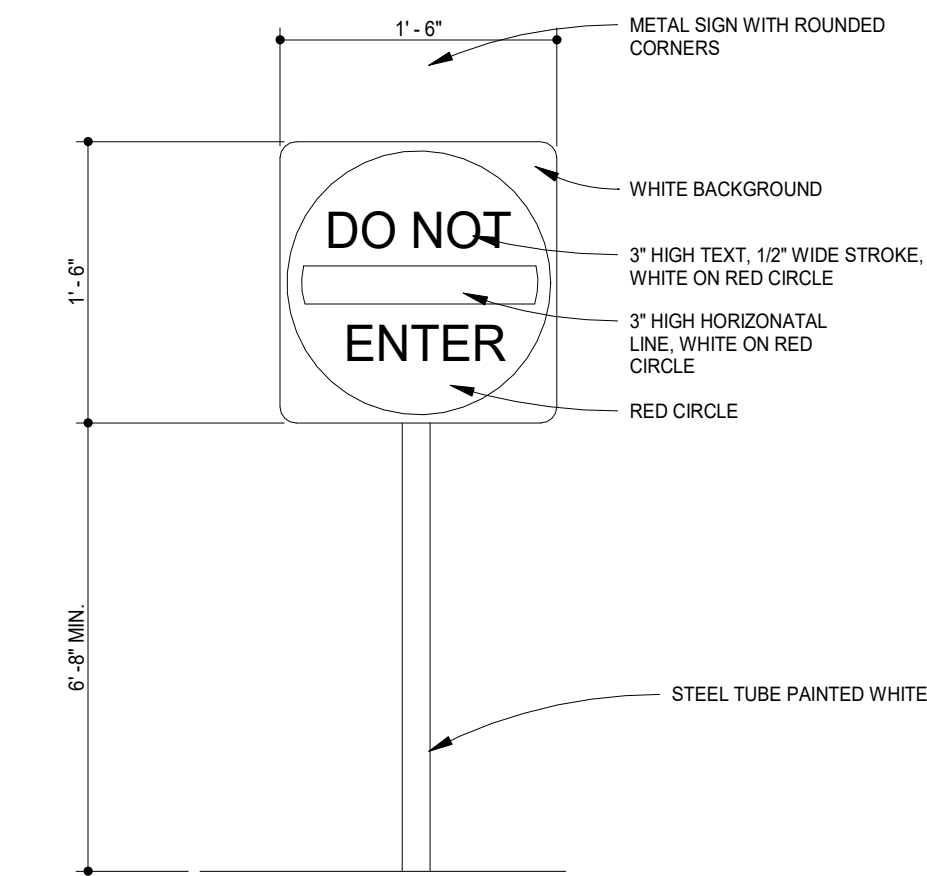
13 DIRECTIONAL PAVEMENT MARKING
1/4" = 1'-0"



12 DO NOT ENTER DIRECTIONAL PAVEMENT MARKING
1/4" = 1'-0"



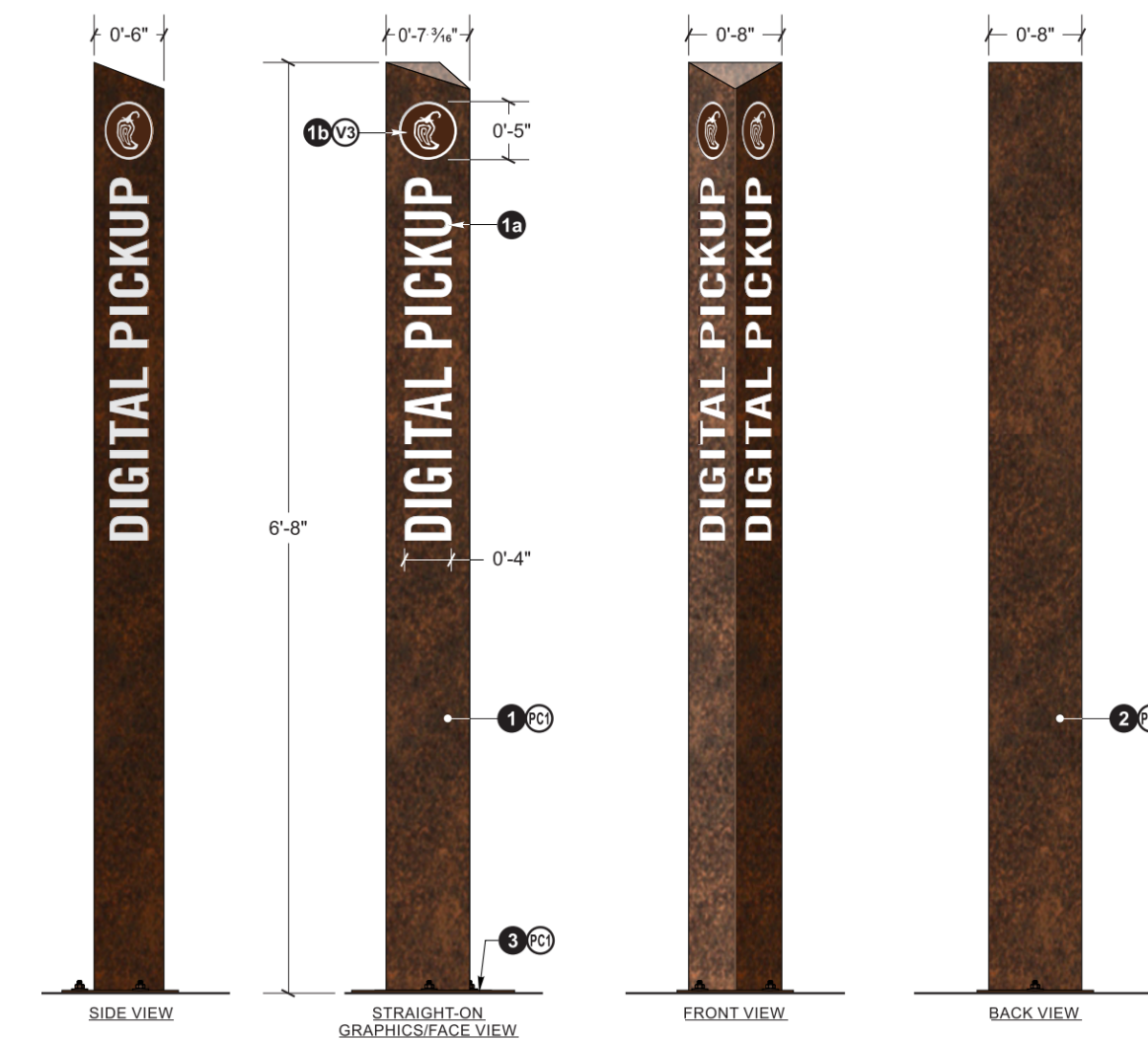
11 CHIPOTLE 'ENTER' SIGNAGE DETAILS
N.T.S.



15 DO NOT ENTER SIGNAGE
1/2" = 1'-0"



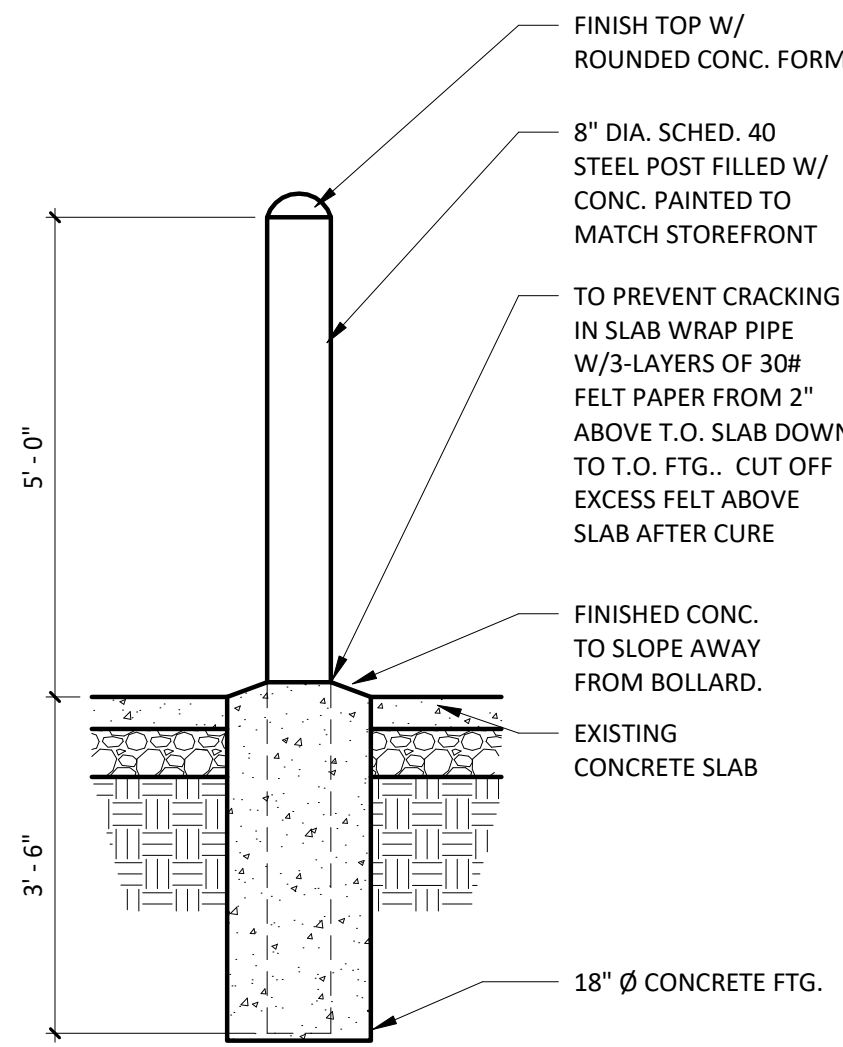
14 DIGITAL PICKUP DIRECTIONAL PAVEMENT MARKING
1/4" = 1'-0"



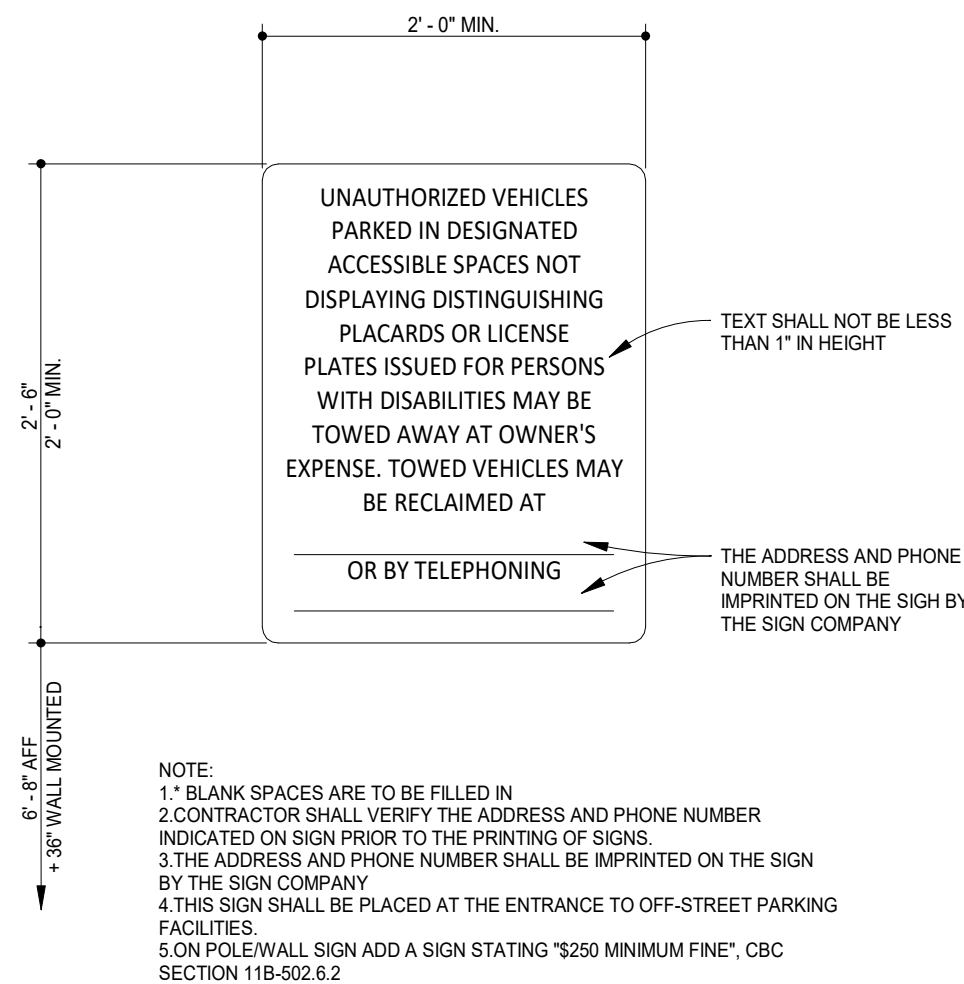
9 CHIPOTLE 'DIGITAL PICKUP' SIGNAGE DETAILS
N.T.S.

TRAFFIC CIRCULATION LAYOUT APPROVED
10/22/2021

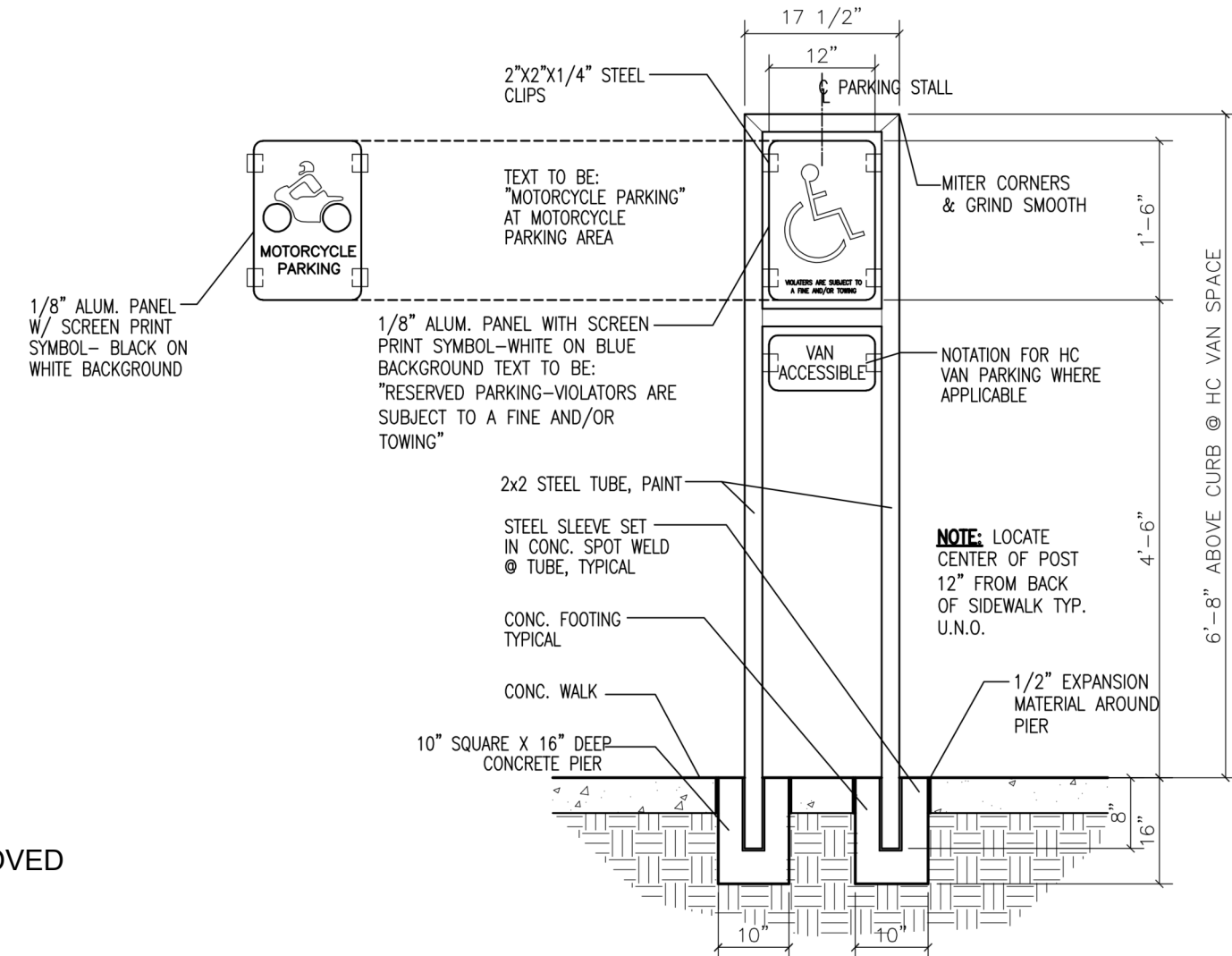
Jeanne Wolfenbarger



6 TYP. BOLLARD DETAIL
1/2" = 1'-0"



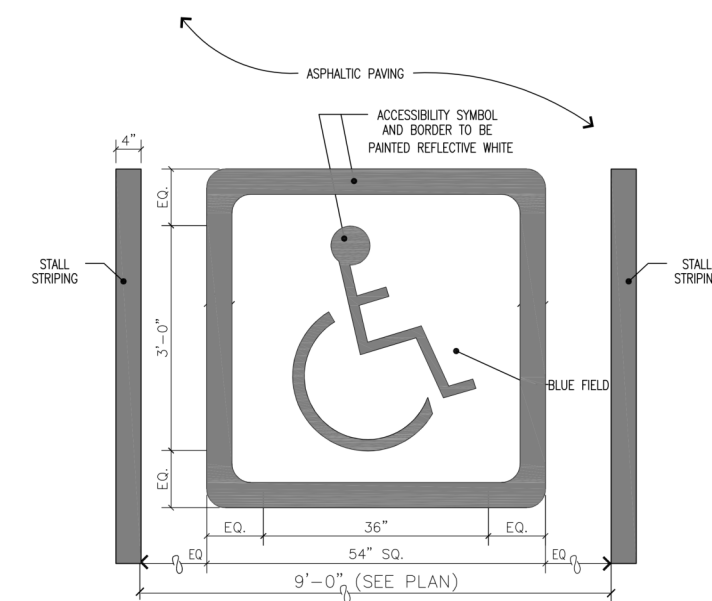
5 UNAUTHORIZED VEHICLES SIGN DETAIL
1/2" = 1'-0"



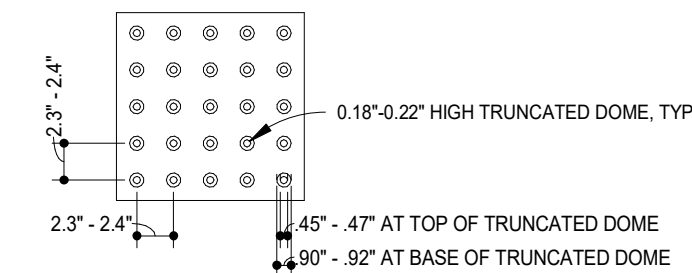
8 EXISTING HC / MOTORCYCLE PARKING SIGN DETAIL
N.T.S.

GENERAL NOTES

- ALL SITE IMPROVEMENTS SHALL BE BY THE LANDLORD UNDER A SEPARATE PERMIT, AND ARE ASSUMED TO BE COMPLIANT.
- THE CONTRACTOR SHALL VERIFY COMPLIANCE OF SITE CONDITIONS WITH LOCAL CODE. GC TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

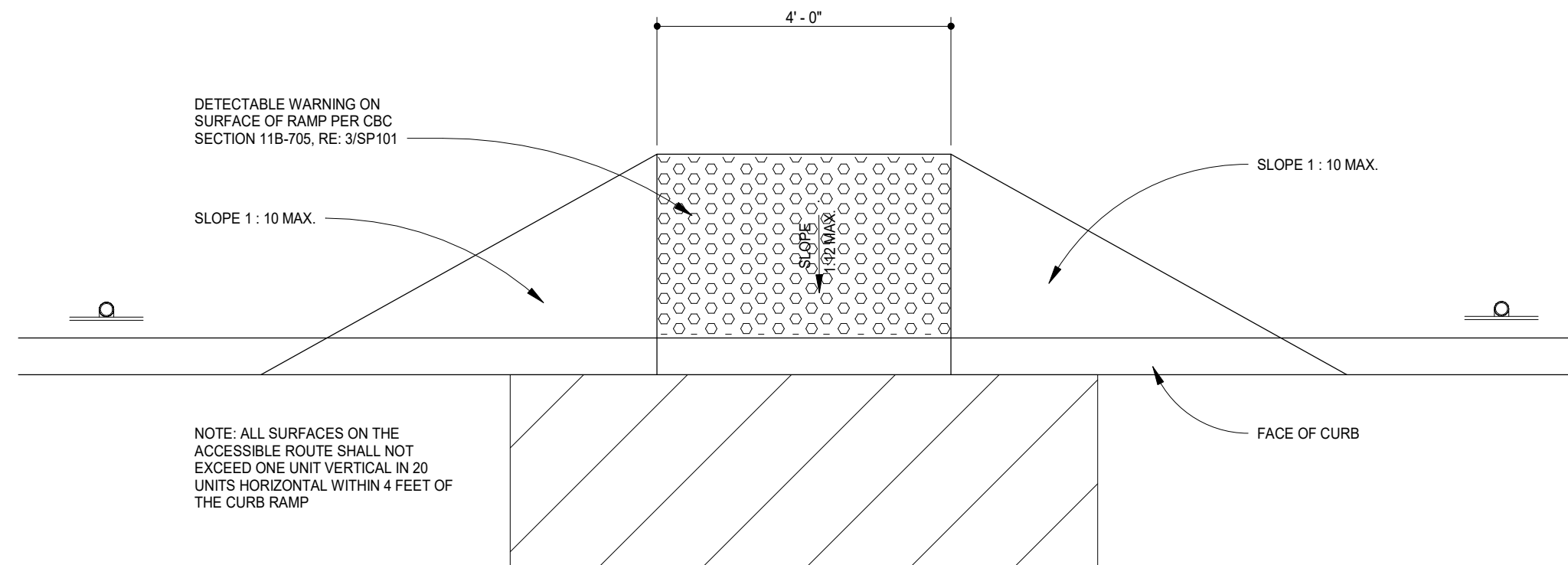


7 HC PAVEMENT MARKING DETAIL
N.T.S.



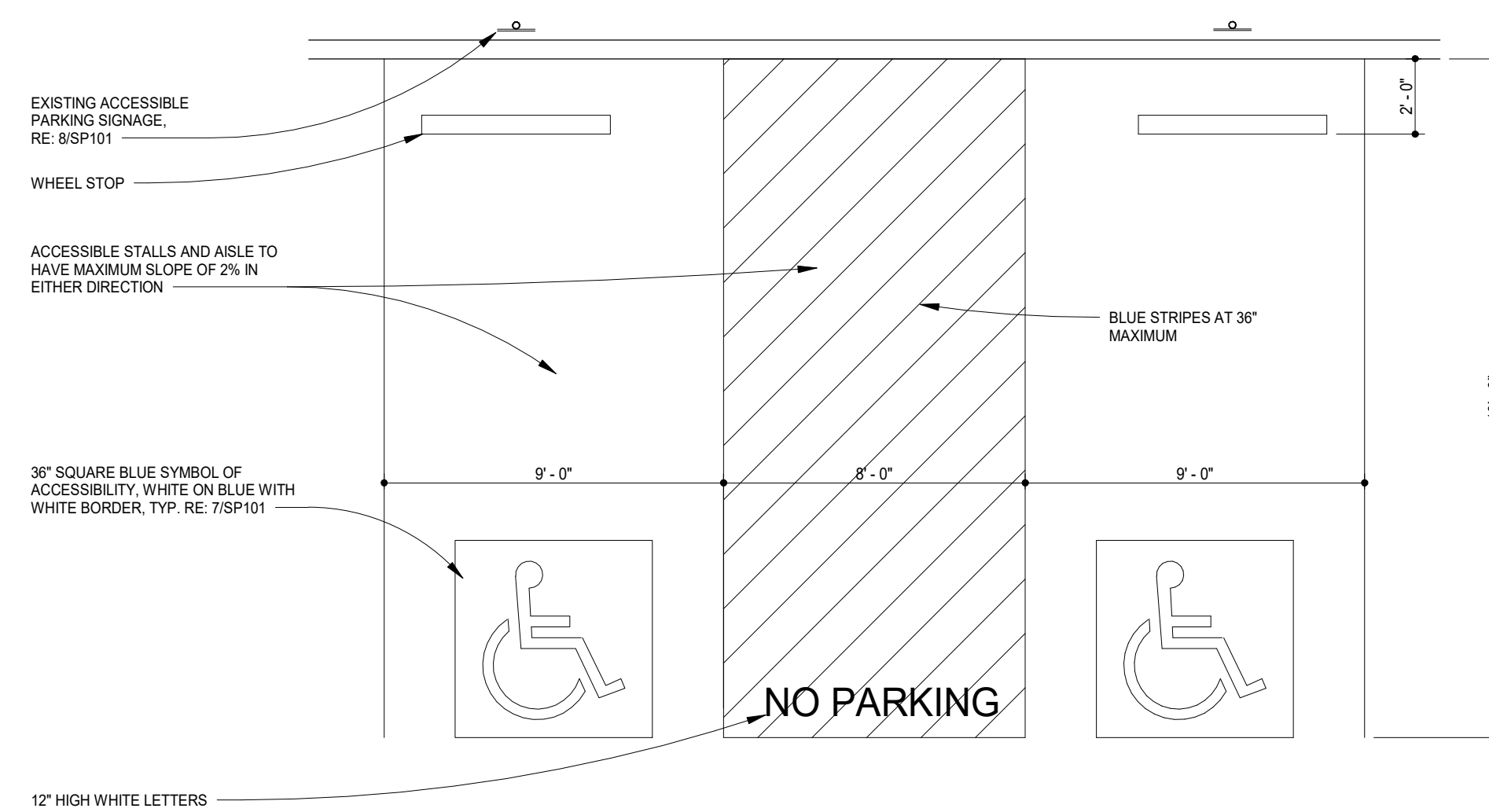
- NOTE:
- DETECTABLE WARNING SHALL BE OF CONTRASTING COLOR WITH ADJACENT SURFACE. LIGHT-ON-DARK OR DARK-ON-LIGHT. MATERIAL SHALL BE INTEGRAL PART OF THE WALKING SURFACE.
 - CONTRACTOR TO PROVIDE A DETECTABLE WARNING PRODUCT SAMPLE TO THE BUILDING INSPECTOR IN THE FIELD FOR APPROVAL OF COLOR CONTRAST WITH FINISH SURFACE.

3 TRUNCATED DOME DETAIL
1" = 1'-0"



2 ACCESSIBLE RAMP DETAIL
1/2" = 1'-0"

RE: SP100 FOR NOTES REGARDING ACCESSIBLE PATH AT SIDEWALK



1 ACCESSIBLE PARKING DETAIL
1/4" = 1'-0"

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913-341-2466



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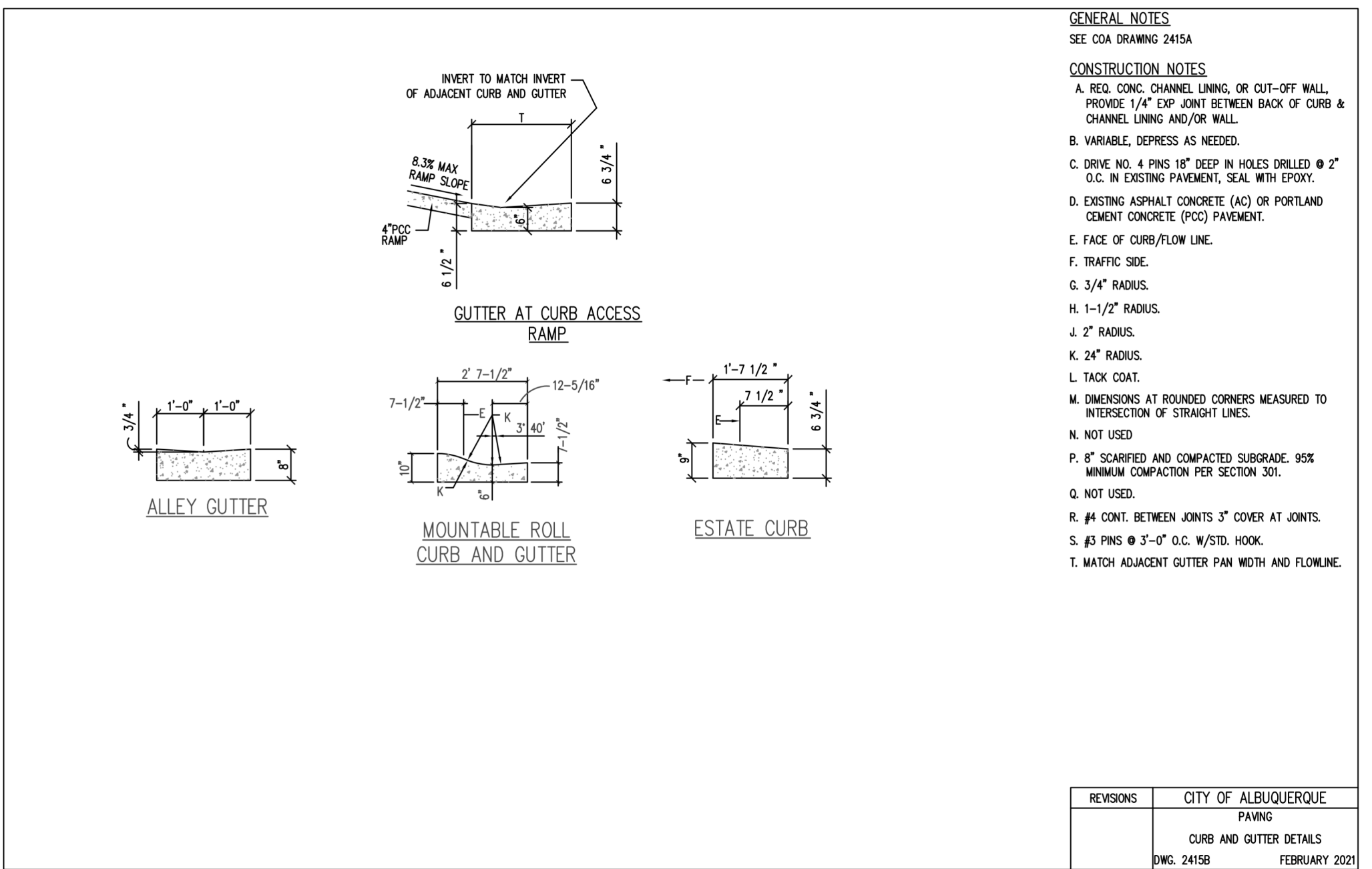
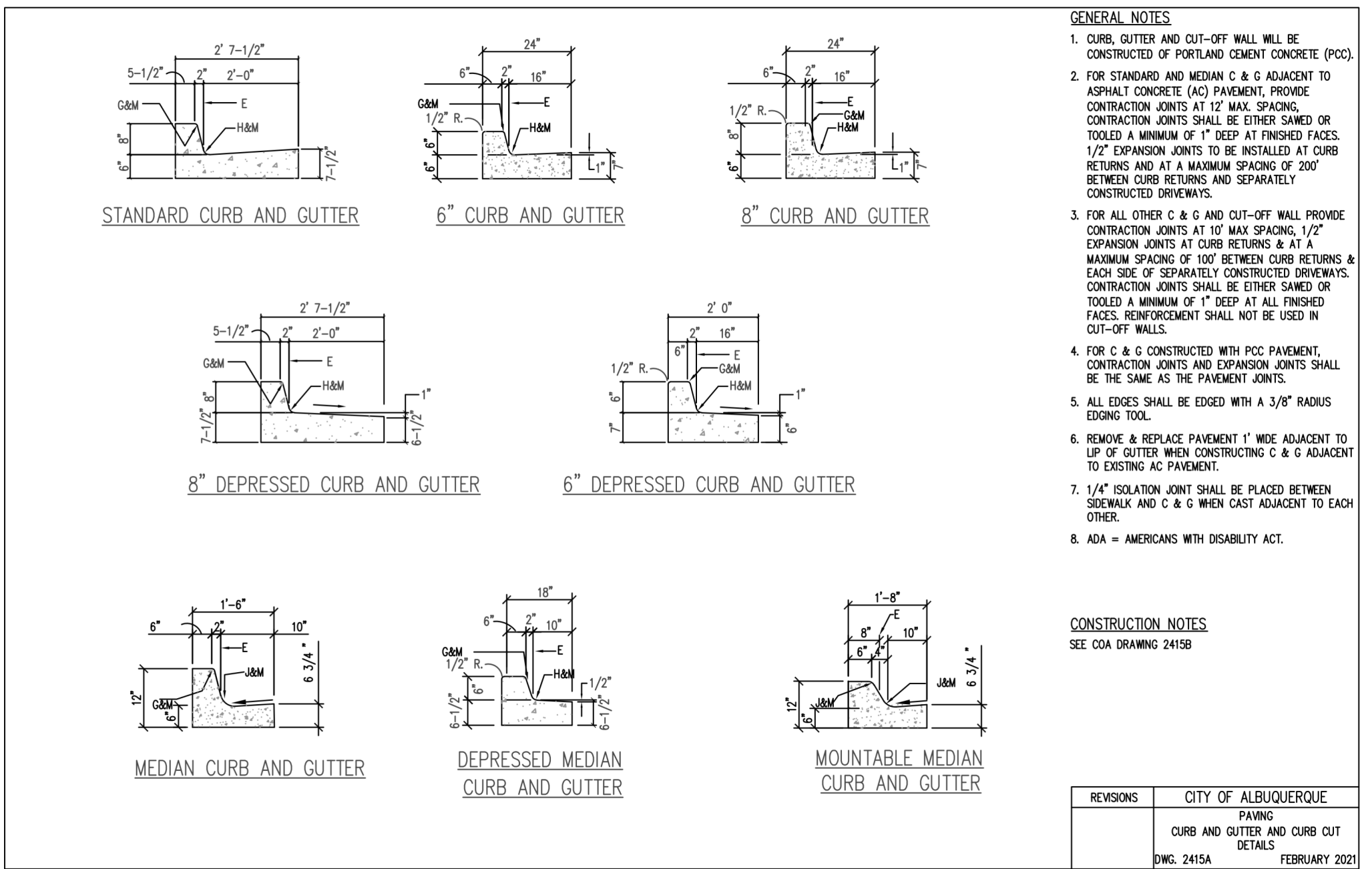
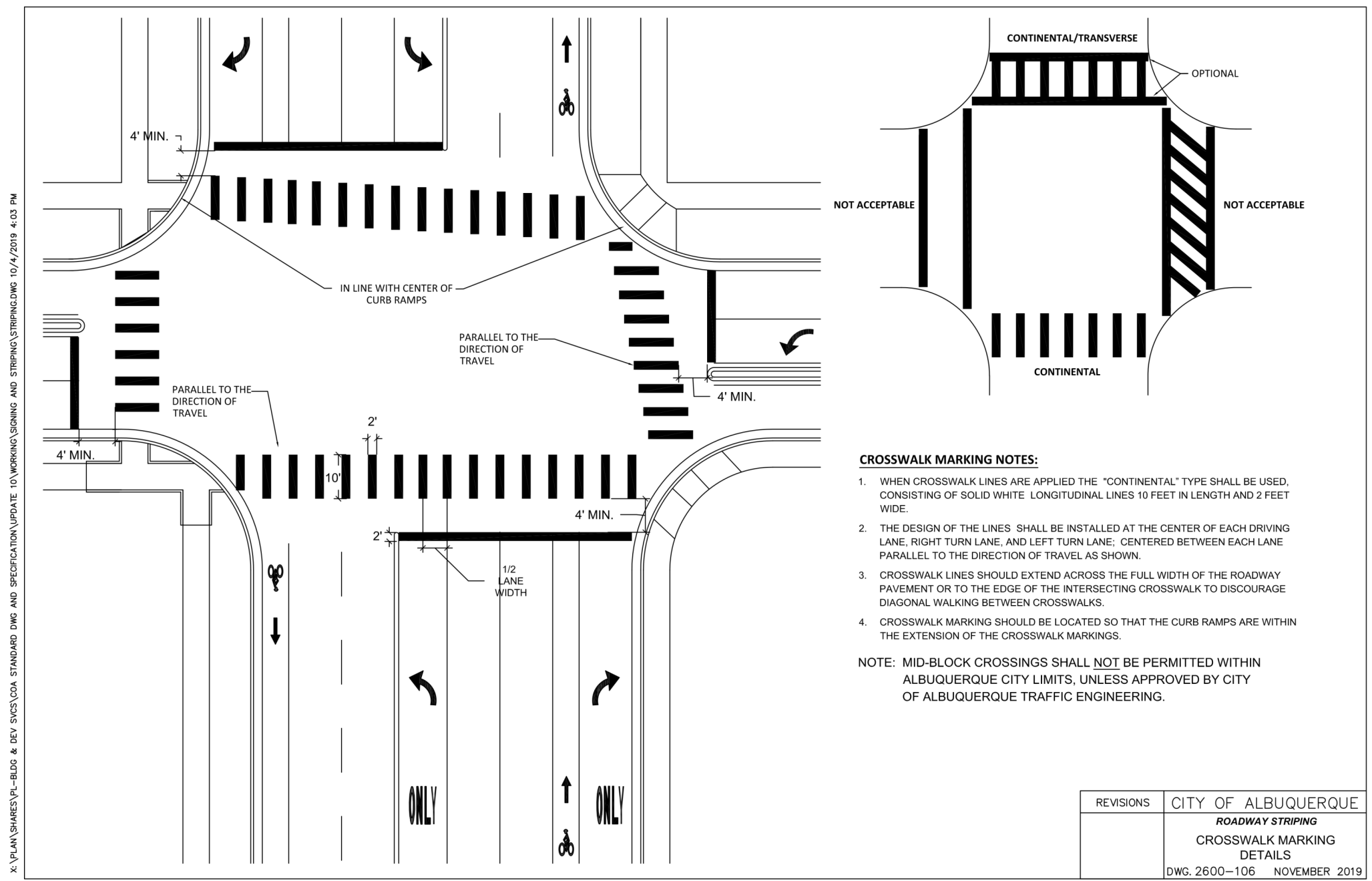
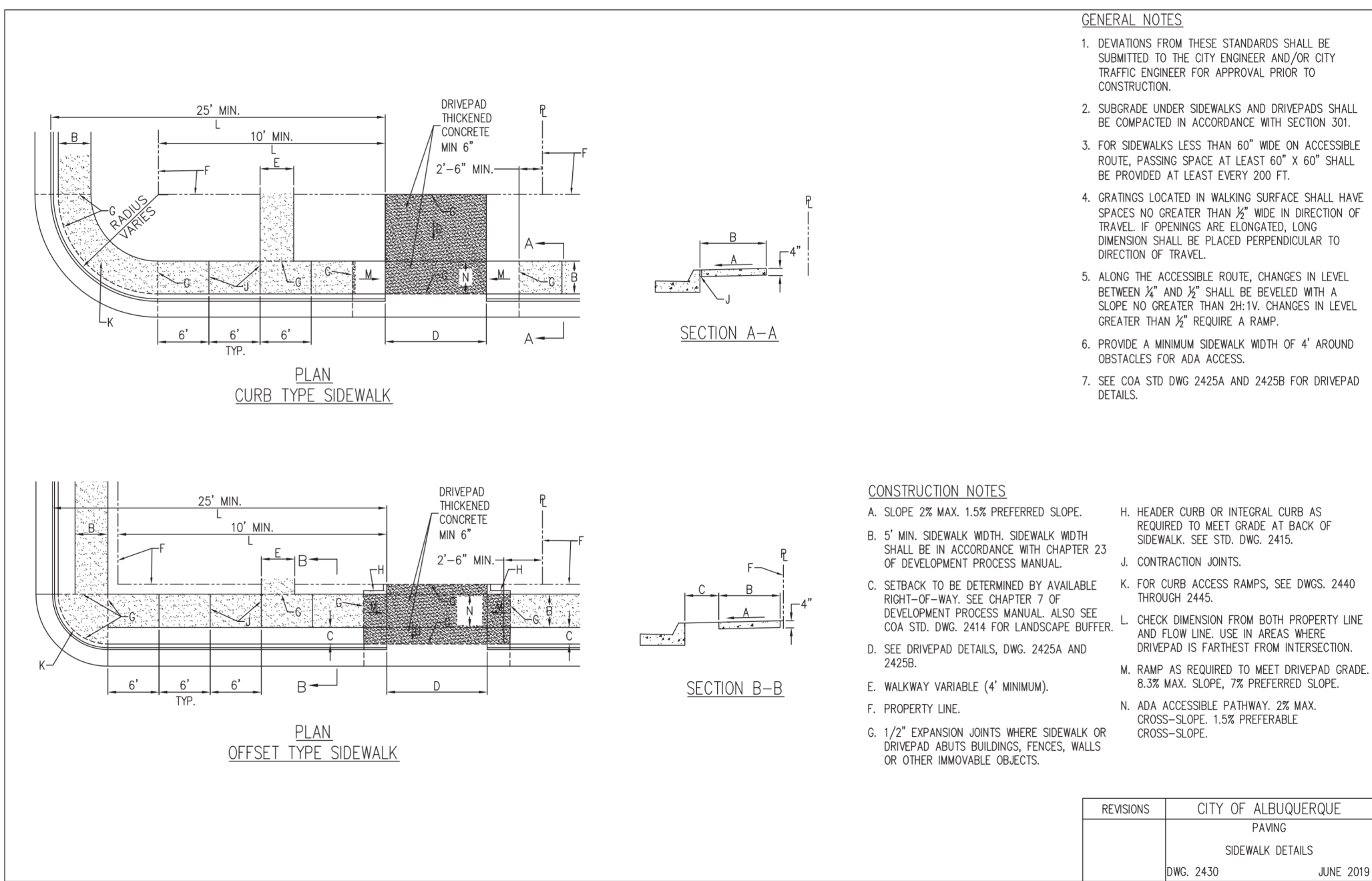
Issue Record:	
07/07/21	Permit Issue
08/20/21	Bid Issue

Revisions:	
09/29/21	City Comments II / QC
10/11/21	Transportation Comments
10/21/21	Transportation Comments II

Project No.
01585

Site Details

SP101

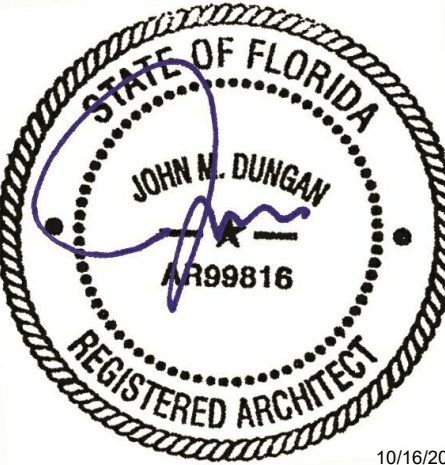


TRAFFIC CIRCULATION LAYOUT APPROVED
10/22/2021

Jeanne Wolfenbarger

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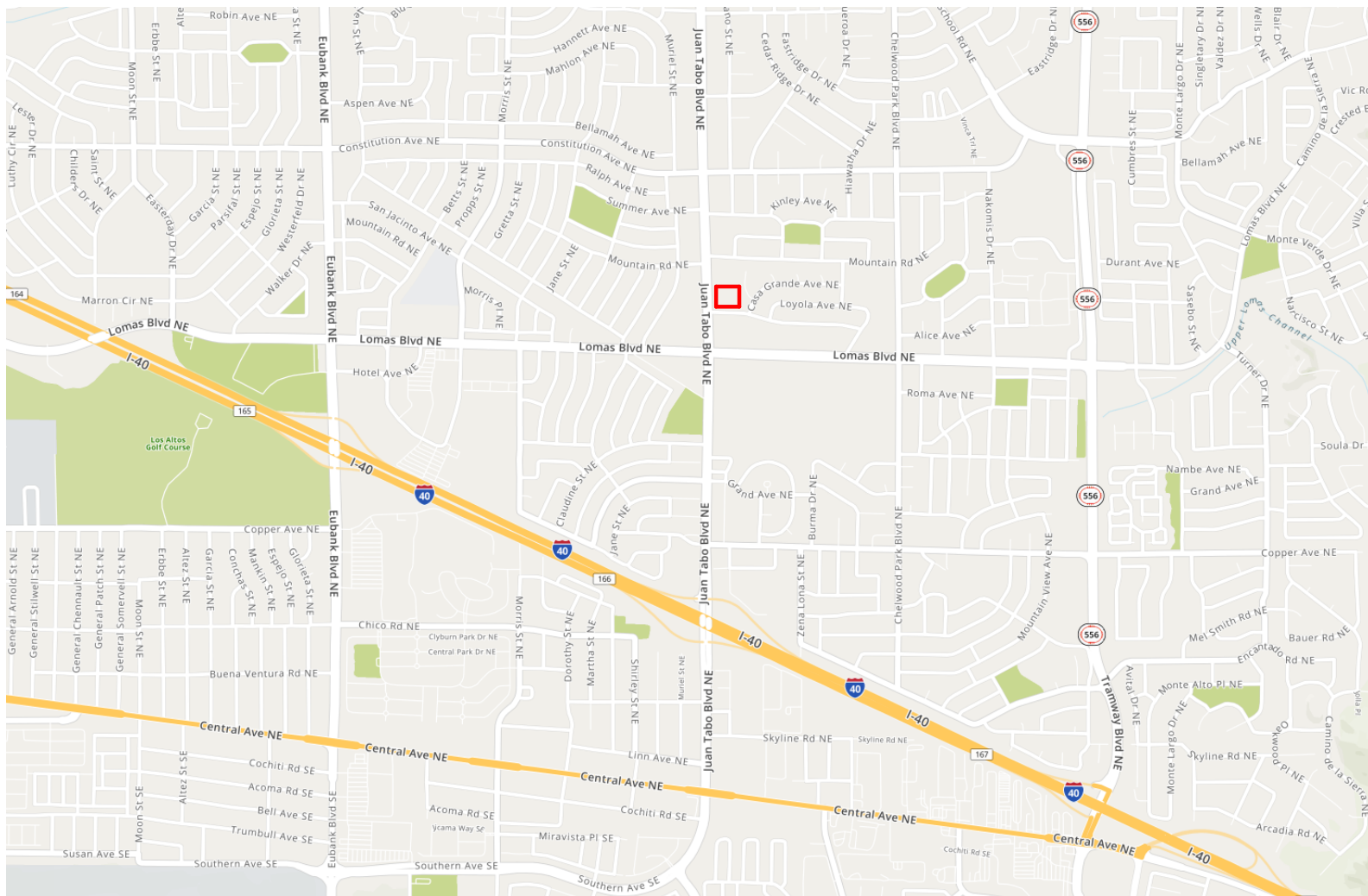
Project No.
01585

Site Details

SP104

4 SHEET ADDED TO SET FOR REFERENCE IN RESPONSE TO REV. 4 COMMENTS

VICINITY MAP



PARKING CALCULATIONS

PER IDO SECTION 5-5(C)(1)(a) OFF STREET PARKING CALCULATION:

When a calculation of required parking spaces results in a fraction of a space, the number of required parking spaces shall be rounded down to the nearest whole number.

REQUIRED PARKING

PER IDO TABLE 5-1-1 FOR RESTAURANT USE IN TYPE MX-M: 8 spaces / 1,000 sq. ft. GFA

AREAS:

CHIPOTLE RENOVATION = 2,392 SF
ADJACENT TENANT: 5,808 SF
TOTAL AREA: 8,200 SF

TOTAL REQUIRED PARKING (RESTAURANT)
8,200 SF @ 8 SPACES PER 1,000 SF GFA
ROUNDED DOWN = 65.6 SPACES
= 65 SPACES

PARKING REDUCTIONS:
PER SECTION 5-5(C)(5)(C) REDUCTION FOR PROXIMITY TO TRANSIT REQUIRED PARKING CAN BE REDUCED BY 10%:
65 SPACES x (10% REDUCTION) = 58.5 SPACES
ROUNDED DOWN = 58 SPACES

REQUIRED ADA ACCESSIBLE PARKING SPACES:

PER IDO 5-5(C)(8)(a): WITHIN THE OFF-STREET PARKING REQUIREMENTS OF TABLE 5-5-1 AND TABLE 5-5-2, AS ADJUSTED BY SECTION 14-16-5-5(C)(5) (PARKING DEDUCTIONS) - AND NOT IN ADDITION TO THOSE REQUIREMENTS - ACCESSIBLE PARKING SHALL BE PROVIDED FOR ALL MULTI-FAMILY AND NON-RESIDENTIAL USES AS REQUIRED BY THE FEDERAL AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG) AND NEW MEXICO STATUTES ANNOTATED, AS AMENDED.

REQUIRED PER ADAAG:

IN PARKING FACILITIES WITH 51-75 TOTAL SPACES = PROVIDE 3 SPACES MINIMUM

PROVIDED: 4 SPACES (1 VAN, 3 REGULAR)

REQUIRED MOTORCYCLE SPACES:

PER 5-5(D) MOTORCYCLE PARKING, MINIMUM REQUIRED MOTORCYCLE PARKING SHALL BE CALCULATED BASED ON THE TOTAL NUMBER OF REQUIRED OFF-STREET PARKING SPACES, AFTER REDUCTIONS, CREDITS, AND ALLOWANCES, PER TABLE 5-5-4.

FOR REQUIRED OFF-STREET PARKING BETWEEN 50-100 SPACES, 3 MOTORCYCLE SPACES SHALL BE PROVIDED.

MOTORCYCLE SPACES PROVIDED: 3 SPACES

REQUIRED BICYCLE SPACES:

PER TABLE 5-5-5, FOR NON-RESIDENTIAL USES NOT LISTED IN TABLE, PROVIDE BICYCLE PARKING FOR 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER.

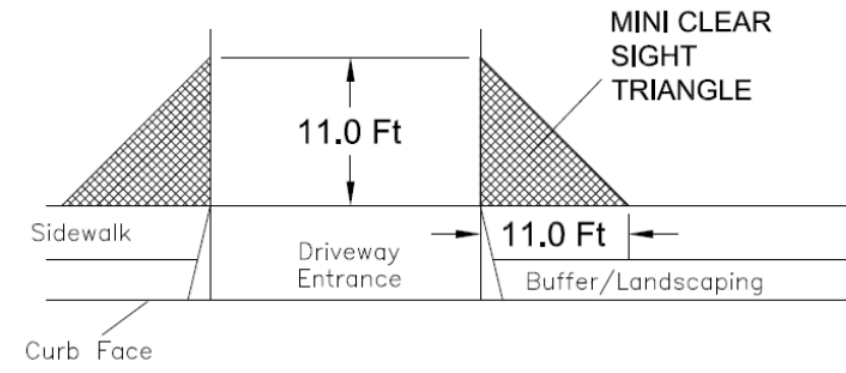
REQUIRED: 6 BICYCLE SPACES
PROVIDED: 7 BICYCLE SPACES

TOTAL PARKING REQUIRED:

REGULAR SPACES: 58 SPACES
ADA SPACES: 4 SPACES
MOTORCYCLE: 3 SPACES
BICYCLE: 7 SPACES

TOTAL PARKING PROVIDED:

REGULAR SPACES: 61 SPACES
ADA: 4 SPACES (1 STANDARD, 1 VAN)
MOTORCYCLE: 3 SPACES
BICYCLE: 7 SPACES



TRAFFIC CIRCULATION LAYOUT APPROVED
10/22/2021

Jeanne Wolfenbarger

KEY NOTES

- EXISTING (4) 80° ANGLE COMPACT PARKING STALLS (9'-3" W x 19'-10" L x 17'-2" H TYP.) & (2) COMPACT PARKING STALLS (9'-0" W x 17'-3" H TYP.) WITH GROUND SIGNAGE TO REMAIN
- EXISTING TRASH ENCLOSURE TO REMAIN
- EXISTING (3) MOTORCYCLE PARKING STALLS WITH 4" WIDE STRIPING AND SIGNAGE PER COA REQUIREMENTS TO REMAIN
- EXISTING (10) 80° ANGLED PARKING STALLS (9'-10" W x 22'-11" L x 19'-10" H TYP.) TO REMAIN
- EXISTING Pylon SIGN TO REMAIN
- EXISTING CONCRETE SIDEWALK TO REMAIN, ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, CURB AND GUTTER PER COA STANDARD DRAWINGS 2430 & 2415A
- EXISTING (10) PARKING STALLS (9'-0" x 18'-0" TYP.) TO REMAIN
- EXISTING (18) PARKING STALLS (9'-0" x 18'-0" TYP.) TO REMAIN
- EXISTING (13) PARKING STALLS (9'-0" x 18'-0" TYP.) TO REMAIN
- EXISTING HANDICAP PARKING STALL (9'-0" x 18'-0" TYP.) WITH POST MOUNTED SIGNAGE AND BLUE PAINTED WHEELCHAIR SYMBOLS PER ADA STANDARDS TO REMAIN
- EXISTING PARALLEL HANDICAP CURB RAMP PER ALBUQUERQUE STANDARDS - AT 1:12 MAX SLOPE WITH TRUNCATED DOMES TO REMAIN
- EXISTING CONCRETE PAD & TRANSFORMER TO REMAIN
- EXISTING 4" WHITE SITE STRIPING PER COA REQUIREMENTS TO REMAIN (ALL EXISTING PAVEMENT MARKINGS & STRIPING WILL NEED TO BE CLEAN/CLEAR AND NOT DETERIORATED, IF DETERIORATED, PLEASE REPAINT)
- EXISTING DIRECTIONAL PAVEMENT MARKINGS TO REMAIN, ALL EXISTING DIRECTIONAL PAVEMENT MARKINGS WILL NEED TO BE CLEAN/CLEAR AND NOT DETERIORATED, IF DETERIORATED, PLEASE REPAINT
- PROPOSED PERPENDICULAR HANDICAP RAMP - AT 1:12 MAX SLOPE WITH TRUNCATED DOMES PER COA STANDARD DRAWINGS 2440
- PROPOSED 'DO NOT ENTER' SIGN MOUNTED TO POLE (RE: 15SP101)
- PROPOSED SITE BOLLARD
- EXISTING SITE BOUNDARY (LOT 1-A-1) TO REMAIN
- EXISTING LANDSCAPE AREA TO REMAIN

- PROPOSED DIRECTIONAL PAVEMENT MARKINGS (RE: 12&13&14SP101)
- EXISTING ASPHALT PARKING LOT & DRIVE AISLE TO REMAIN
- EXISTING CURB TO REMAIN
- CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 6 FEET TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- EXISTING SITE LIGHTING TO REMAIN
- EXISTING STRIPED CROSSWALK ACROSS DRIVE AISLE TO BE MODIFIED AS NECESSARY TO MEET ADA STANDARDS (3% MAX SLOPE IN PATH OF TRAVEL AND 2% MAX CROSS SLOPE). PAVEMENT SHALL BE CONSTRUCTED TO COA STANDARD DRAWINGS SECTION 2400. STRIPING MUST BE INSTALLED PER COA STANDARD DRAWING 2600-106
- EXISTING PRECAST CONCRETE WHEELSTOP, TYP.
- EXISTING STRIPED HANDICAP LOADING AREA TO REMAIN, (4" WIDE BLUE PAINTED STRIPES AT 45 DEGREE ANGLE, SPACED AT 1'-6" PER COA STANDARDS) ALL EXISTING PAVEMENT MARKINGS & STRIPING WILL NEED TO BE CLEAN/CLEAR AND NOT DETERIORATED, IF DETERIORATED, PLEASE REPAINT
- EXISTING PARALLEL HANDICAP CURB RAMP PER ALBUQUERQUE STANDARDS - AT 1:12 MAX SLOPE WITH NO DETECTABLE WARNING SURFACE REQUIRED (COA STANDARD DRAWING 2440, 2445 & 2446) TO REMAIN
- EXISTING DIAGONAL HANDICAP RAMP PER ALBUQUERQUE STANDARDS - AT 1:12 MAX SLOPE WITH DETECTABLE WARNING SURFACE (COA STANDARD DRAWING 2440, 2441) TO REMAIN
- EXISTING DRAINAGE POND AREA TO REMAIN
- EXISTING 5' WIDE CONCRETE RUNDOWN DRAINAGE AREA TO REMAIN
- PROPOSED 'DIGITAL' PICKUP DIRECTIONAL SIGNAGE, RE: 9SP101
- PROPOSED 'ENTER' DIRECTIONAL SIGNAGE, RE: 11SP101
- PROPOSED 'EXIT ONLY' DIRECTIONAL SIGNAGE, RE: 10SP101
- EXISTING PARALLEL CURB RAMPS TO BE MODIFIED AS NECESSARY TO MEET ADA CURB RAMP GUIDELINES AT 1:12 MAX SLOPE WITH DETECTABLE WARNING SURFACE, COA STANDARD DRAWINGS 2440, 2445 & 2446
- 240' QUEING LENGTH FOR DRIVE-THRU LANE AS REQUIRED BY IDO TABLE 5-5-8
- EXISTING 5' LOOP 'WAVE' STYLE BIKE RACK TO REMAIN (7 SPACES PROVIDED) REQUIRED 1'-0" CLEAR SPACE SHOWN DASHED
- CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 6 FEET TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE. 300' LENGTH AS REQUIRED BY IDO SECTION 7-40(6)(B)
- EXISTING PATH OF TRAVEL LEADING TO CURB RAMP MUST MEET ADA COMPLIANCE (5% MAX SLOPE IN PATH OF TRAVEL AND 2% MAX CROSS SLOPE). REPAIR SIDEWALKS AND CURBS TO COA STANDARD DRAWINGS 2430, 2415A, 2415B

IDO ZONING INFORMATION

BUILDING ADDRESS: 1000 JUAN TABO BLVD. NE., SUITE TBD, ALBUQUERQUE, NM 87112

CROSS STREETS FUNCTIONAL CLASSIFICATION: JUAN TABO BLVD: 2 - URBAN PRINCIPAL ARTERIAL

SITE ACREAGE: LOT 1-A-1: 1.04 ACRES

ZONING: MX-M: MIXED USE - MODERATE INTENSITY

ZONE MAP: J-22-Z

LEGAL DESCRIPTION: TR 1-A-1 BLK A PLAT FOR TRACTS 1-A-1 & 1-A-2, BLOCK 4 MONTEREY MANOR SUBDIVISION (BEING COMPRISED OF TRACTS 1 & 1-A MONTEREY MANOR SUBDIVISION)

OCCUPANCY GROUP: A-2 (RESTAURANT)

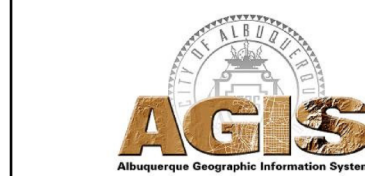
TYPE OF CONSTRUCTION: TYPE V-B FULLY SPRINKLERED

COA DENOTES CITY OF ALBUQUERQUE

PLEASE SEE SHEET SP102 FOR ADDITIONAL SITE DETAILS

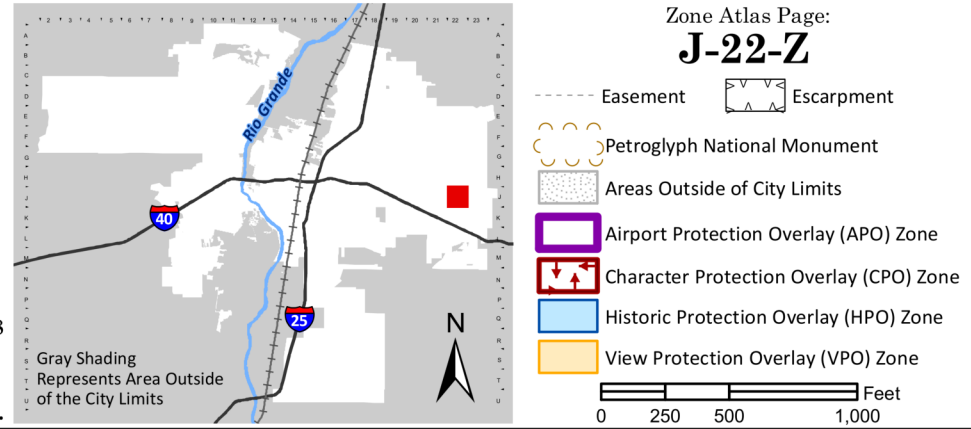


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas
May 2018

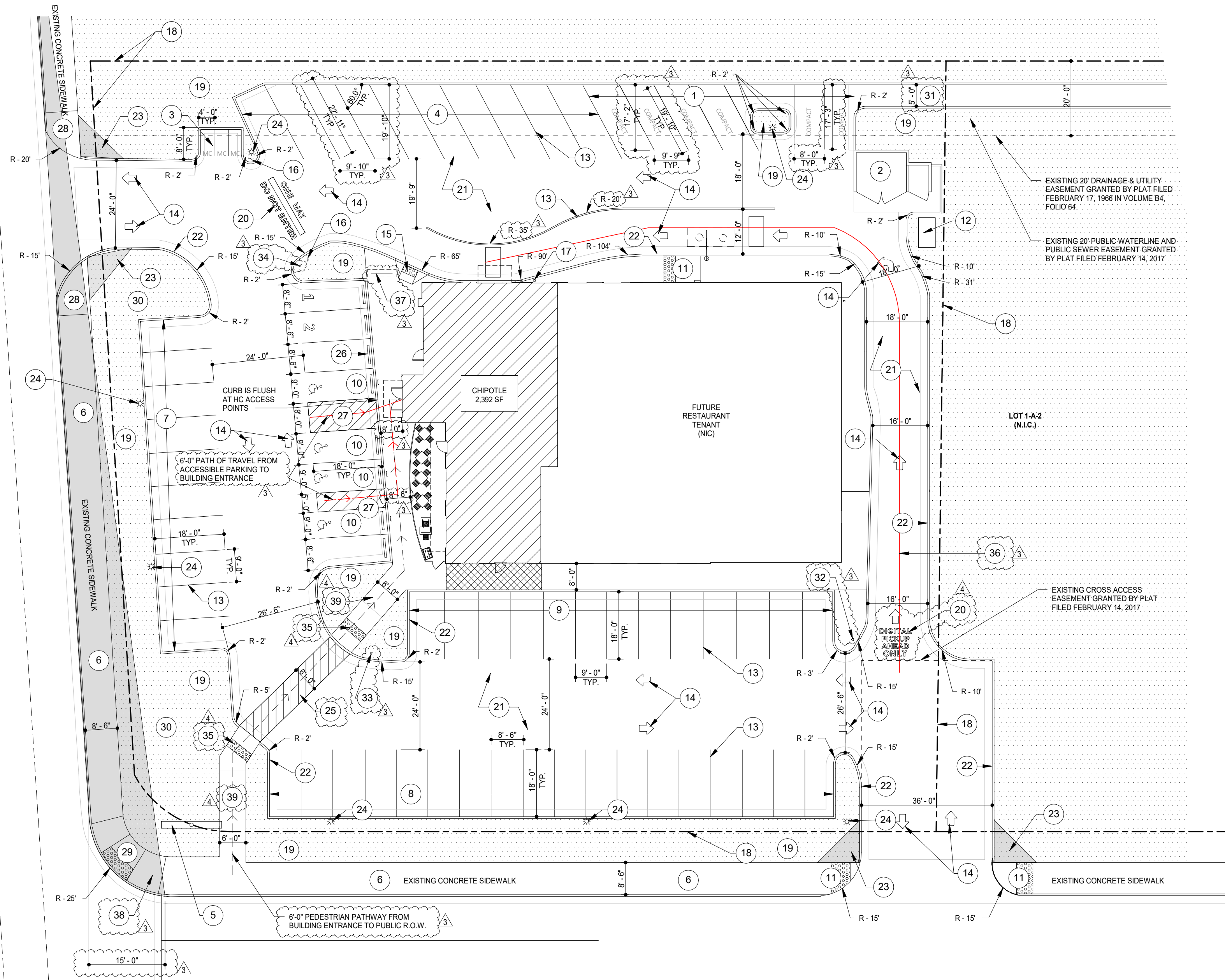
IDO Zoning Information as of May 17, 2018

The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



TRAFFIC CIRCULATION LAYOUT PLAN

Juan Tabo Blvd NE
106' R.O.W.



Sierra Grande Ave NE
80' R.O.W.

SCOPE OF WORK

SCOPE OF WORK TO INCLUDE THE PARTIAL DEMOLITION OF THE INTERIOR SPACE, AND INSTALLATION OF NEW DEMISING WALL (ADJACENT TENANT NOT IN SCOPE OF WORK). TENANT IMPROVEMENTS TO INCLUDE NEW EQUIPMENT & FINISHES, A NEW DINING ROOM EXIT DOOR, A NEW CANOPY OVER THE EXISTING ENTRY DOORS AND NEW ROOFTOP EQUIPMENT.

ALL SITE WORK INCLUDING PAVING, CURBING, PARKING, SIDEWALKS, LANDSCAPING, DUMPSTER ENCLOSURE, AND PARKING LOT LIGHTING ARE EXISTING AND ASSUMED COMPLIANT TO REMAIN. PROPOSED SITE MODIFICATIONS INCLUDE (2) 'DO NOT ENTER' POST MOUNTED SIGNS, (1) ADA RAMP AND NEW PAVEMENT DIRECTIONAL GROUND SIGNAGE.

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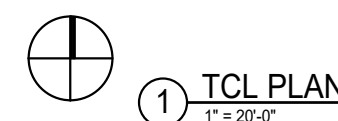
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Revisions:	
09/29/21	City Comments II / QC
10/11/21	Transportation Comments
10/21/21	Transportation Comments II

Project No.
01585

Traffic Circulation
Layout Plan

SP103



1 TOL PLAN
1" = 20'-0"

October 22, 2021

Brett Gray
Dungan Design Group
8826 Santa Fe Dr. Suite 304
Overland Park, KS 66212

Re: Chipotle Mexican Grill
1000 Juan Tabo Blvd. NE
Traffic Circulation Layout
Architect's Stamp 10-11-21 (J22-D012D)

Dear Mr. Gray,

The TCL submittal received 10-21-2021 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. Additionally, as a condition, have any revocable permits in place for proposed signage within right-of-way prior to Certificate of Occupancy.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Jeanne Wolfenbarger

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

via: email
C: CO Clerk, File