

## HALL SURVEYING CO.

PHONE 884-8444 or 884-8200

ALBUQUERQUE, NEW MEXICO 87110

2625 PENNSYLVANIA, N.E. SUITE 350

### INFORMATION SHEET

PROJECT TITLE: LES'S AUTO PARTS

GRADING AND DRAINAGE PLAN

ZONE ATLAS PG. J-22

1520 Juan Tabo Blvd. N.E.

LEGAL DESCRIPTION: TRACT B-1 in Block 11 of EASTRIDGE UNIT NO. 4 (New Plat filed Aug. 3, 1983.)

Hall Engineering co. 2625 Penn. NE Suite 350 Alb. NM. 87110

Owner: Les's Auto Parts 2740-A Wyoming NE

Arch: Rob. Ponto 8101 Harwood Ave. NE 881-8282 or 292-7229 or 294-7234

Surveyor: Hall Eng. see above

Contractor: Best Western Corp. P.O.Box 14491 Alb. 292-0220 Bill Wade

Submitted by Hall Eng. Richard Hall Aug. 29, 1983.

RECEIVED  
AUG 24 1983  
ENGINEERING

# HALL SURVEYING CO.

PHONE 884-8444 or 884-8200

ALBUQUERQUE, NEW MEXICO 87110

2625 PENNSYLVANIA, N.E. SUITE 350

To: Fred J. Aguirre  
City of Albuquerque  
Municipal development department  
Engineering Division

Ref. Les Auto Parts Inc.  
1520 Juan Tabo N.E.  
Tract B-1 Eastridge Add. Unit 4

Dear Fred,

J22-D31

I would like to request a Variance for 20% of the ponding required on this site. We were able to retain 80% of the total volume but due to problems listed are unable to retain the total volume.

1. There is a 30 feet nonbuilding deed restriction from the back property line. Therefore, the building cannot be located further from Juan Tabo, without losing Parking.
2. Any attempt to relocate the Building to the South would create extreme cuts along the North property line and create the same problem for the next developer that we now face.
3. The roof is used for ponding. The flow is restricted by a 4" downspout located in the rear of the Building. The roof is within drainage area 1.
4. Drainage area 2 will flow directly to Juan Tabo and as you can see by the grades indicated any attempt to pond will result in slopes greater than 10% on the parking spaces and some will be totally useless near Juan Tabo if Retention is required.
5. A 6" curb will be placed along Juan Tabo to prevent any waste water to escape to the Street. The Curb will Be adjacent to the West property line as indicated on the plans.

Time is of the essence and I would like to hear from you as soon as possible.

*Richard V. Hall*  
RICHARD V. HALL PE

RECEIVED

AUG 24 1983

ENGINEERING



## City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 2, 1983

Richard V. Hall, P.E.  
Hall Surveying Co.  
2625 Pennsylvania N.E.  
Suite 350  
Albuquerque, NM 87110

RE: LES AUTO PARTS, INC. (J22-DJ1)

Dear Mr. Hall:

The referenced plan has been reviewed and the following are my comments:

1. The requested pond variance is agreeable if the owner agrees to have his engineer certify the subject site upon completion to insure compliance with the 20% reduced ponding volume.
2. Provide top of retaining wall elevation.
3. Provide detail of downspout.
4. Identify the pond's 100 year water surface elevations.
5. Provide driveway elevations.

If you should have any questions regarding the above comments, please feel free to contact me.

Very truly yours,

Fred J. Aguirre  
Civil Engineer/Hydrology

FJA/tsl

### MUNICIPAL DEVELOPMENT DEPARTMENT

Richard S. Heller, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

AN EQUAL OPPORTUNITY EMPLOYER



## City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 9, 1983

Richard Hall  
Hall Surveying  
2625 Pennsylvania NE  
Albuquerque, NM 87110

RE: LES AUTO PARTS GRADING AND DRAINAGE PLAN DATED 9/9/83 (J22-D31)

Dear Mr. Hall:

The referenced drainage plan is approved. The building permit will be signed off with the inclusion of this plan and copies of "Construction and public right-of-way" documents in the building set.

If you should have any questions please feel free to call me.

Very truly yours,

Fred J. Aguirre  
Civil Engineer/Hydrology

FJA/tsl

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MUNICIPAL DEVELOPMENT DEPARTMENT

Richard S. Heller, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

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AN EQUAL OPPORTUNITY EMPLOYER

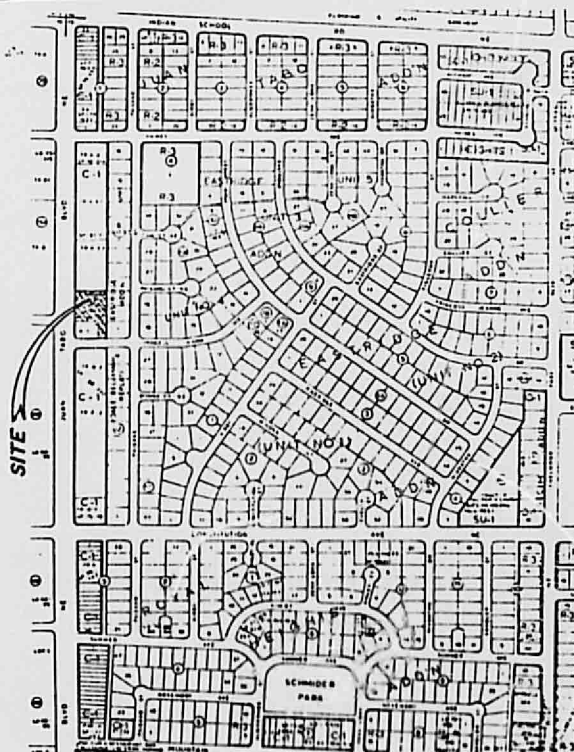
# CITY OF ALBUQUERQUE

## DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY



SCALE 1" = 725'  
(approx)

J02-D31



BEST WESTERN CORPORATION  
P.O. BOX 14491  
ALBUQUERQUE, NM 87191  
BILL WADE 296-0220

**HALL ENGINEERING & ARCHITECTS**  
2625 Pennsylvania Ave., N.E.  
Suite 350  
Albuquerque, New Mexico 87110



W.O. # 09248

NOTICE TO CONTRACTOR

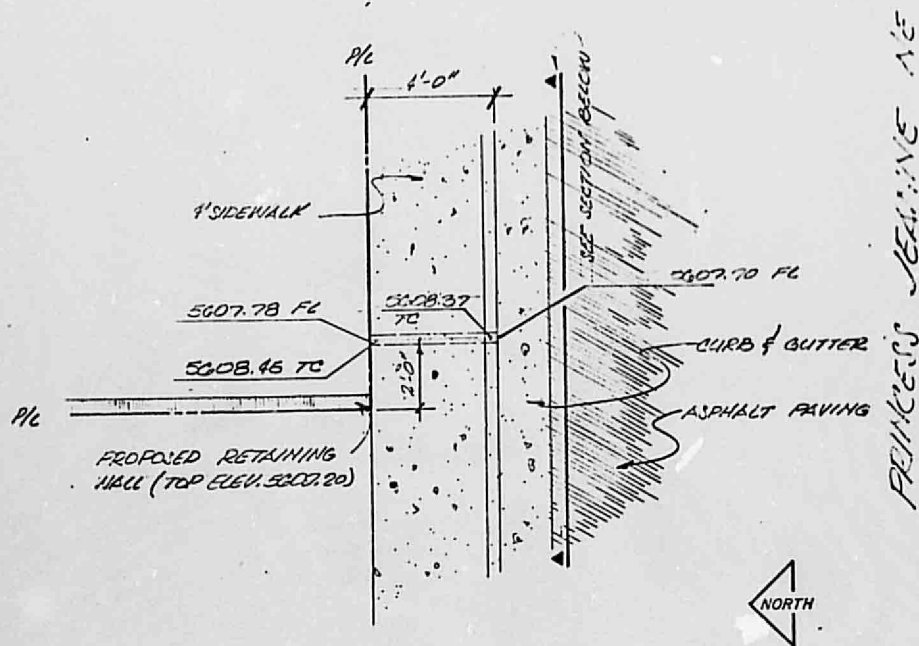
1. An excavation/construction permit will be required before beginning any work within City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with "Contract Documents for City-Wide Utilities and Cash Paving No. 30".
3. Two working days prior to any excavation, contractor must contact Line Locating Service, 765-1234, for location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to RESIDENTIAL street use.

C-102

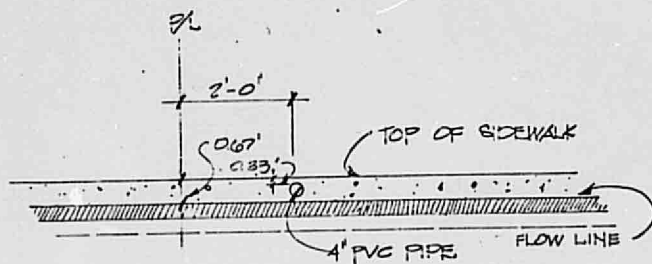
APPROVALS	NAME	DATE	1520 JUAN TABO BLVD. NE TRACT B-1, EASTRIDGE Unit 4, Block 11	
A.C.E./DESIGN	<i>P. G. Hall</i>	24 Aug 83		
INSPECTOR	<i>A. D. Salas</i>	3-16-84	PERMIT NO. SHEET 1 OF 2	MAP NO. J-22
APPROVED	<i>B. J. Walker</i>	3-19-84		

# CITY OF ALBUQUERQUE

## DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY



PLAN



ELEVATION

NOTE:  
ALL INSTALLATION PER  
CITY STANDARD K-15

**HALL ENGINEERING &**

2625 Pennsylvania Ave., N.E.  
Suite 350  
Albuquerque, New Mexico 87110

C-102

APPROVALS	NAME	DATE	1520 JUAN TABO BLVD NE.
A.C.E./DESIGN	<i>J. Kitch</i>	24 Aug 83	TRACT B-1, EASTRIDGE
INSPECTOR	<i>W. Salas</i>	3-16-84	UNIT 4, BLOCK 11
A.C.E./FIELD	<i>B. J. Galanter</i>	3-19-84	PERMIT NO.
			SHEET 2 OF 2
			MAP NO. J-22