

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

March 10, 2022

Andrew Doerfler, P.E.
Burkhardt Engineers, Surveyors
28 North Cherry St.
Germantown,, OH 45327

Re: Champion Xpress Car Wash
1520 Juan Tabo Blvd. NE
Traffic Circulation Layout
Engineer's Stamp 01-28-22 (J22-D031)

Dear Mr. Doerfler,

The TCL submittal received 03-4-2022 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File

GENERAL SITE NOTES

- Building dimensions shown on the Civil Engineering Plans are for reference purposes only. The Contractor shall use the Architectural and Structural Plans for exact building dimensions.
- All site and radii dimensions are referenced to the face of curbs or edge of paving unless otherwise noted.
- All dimensions to the building are referenced to the outside face of the structure's facade.
- All sidewalks, curb and gutter, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all Local and/or State specifications and requirements.
- All proposed handicap ramps, parking areas, and accessible routes shall strictly comply with current Local, State, and Federal regulations, including but not necessarily limited to the ADA Accessibility Guidelines (ADAAG).
- All ADA accessible routes shall have detectable warnings installed as required by the ADAAG. Detectable warnings shall consist of raised truncated domes which contrast visually with the adjoining surfaces, either light-on-dark, or dark-on-light.
- Contractor shall sawcut existing pavement to provide a clean, straight joint where new pavement meets existing pavement and ensure positive drainage.
- All concrete pavement shall have joints in accordance with ACI 330R-08, Section 3.7 and Appendix C. Contraction joints shall be 1/4 of the slab thickness. Isolation joints shall be placed between pavement and foundations, inlets, and other fixed structures. Contraction joints shall be too finished and spaced as follows:
 - Curb: 10'-0" (max) spacing.
 - Sidewalks: 5'-0" (max) spacing.
 - Vehicular Traffic Areas: 24 x Concrete Pavement Thickness (feet), 15'-0" (max) spacing.

PLANNING AND ZONING REQUIREMENTS

Reference: City of Albuquerque Integrated Development Code
Zone: "MX-L" Mixed Use - Low Intensity Zone District
Proposed Use: Car Wash

Building Setbacks

Front: 5 ft. (min.)
Side, Interior: 0 ft. (min.)
Side, Street: 5 ft. (min.)
Rear: 15 ft. (min.)

12" WIDE SECTION OF ASPHALT PAVEMENT ADJACENT TO NEW CURB AND GUTTER SHALL BE SAWCUT, REMOVED, AND REPLACED AS PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. PAVEMENT SECTION PER DETAIL / SHEET C-2.2 OR MATCH EXISTING SECTION. PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING No. 2407 & 2408

PERMITTING CONTACT INFORMATION:

PLANNING / ZONING / BUILDING
City of Albuquerque - Planning Department
Contact: Brennon Williams
Telephone: 505.924.3860
Email: bnwilliams@cabq.gov

UTILITY CONTACT INFORMATION:

SANITARY SEWER / WATER
Albuquerque Bernalillo County Water Utility Authority
Contact: Robert Strong
Telephone: 505.261.4429
Email: rstrong@abcwua.org

STORM SEWER

City of Albuquerque - Planning Hydrology Department
Contact: Renee Brissette
Telephone: 505.924.3995
Email: rbrissett@cabq.gov

GAS

New Mexico Gas Company
Contact: Jacob Gallegos
Telephone: 505.697.3120
Email: Jacob.Gallegos@nmgco.com

ELECTRIC

PNM (Public Service Company of New Mexico)
Contact: Andrew Gurule
Telephone: 505.241.0589
Email: Andrew.Gurule@pnm.com

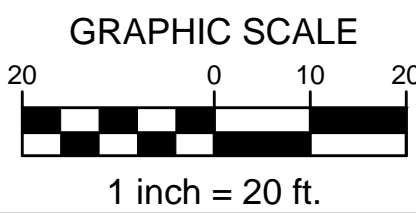
TELECOM

CenturyLink
Contact: Customer Service
Telephone: 865.465.2313

APPROVAL FOR

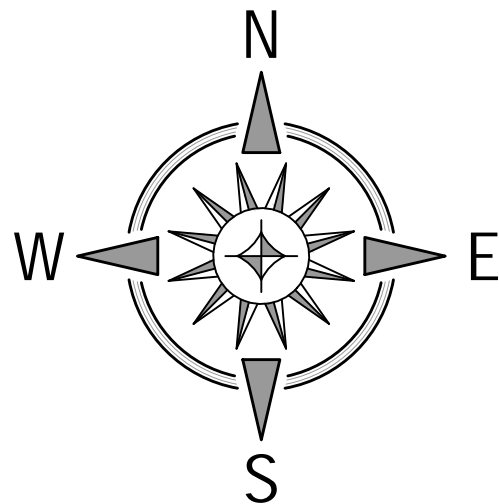
TRAFFIC CIRCULATION LAYOUT
03/10/2022

Jeanne Wolfenbarger

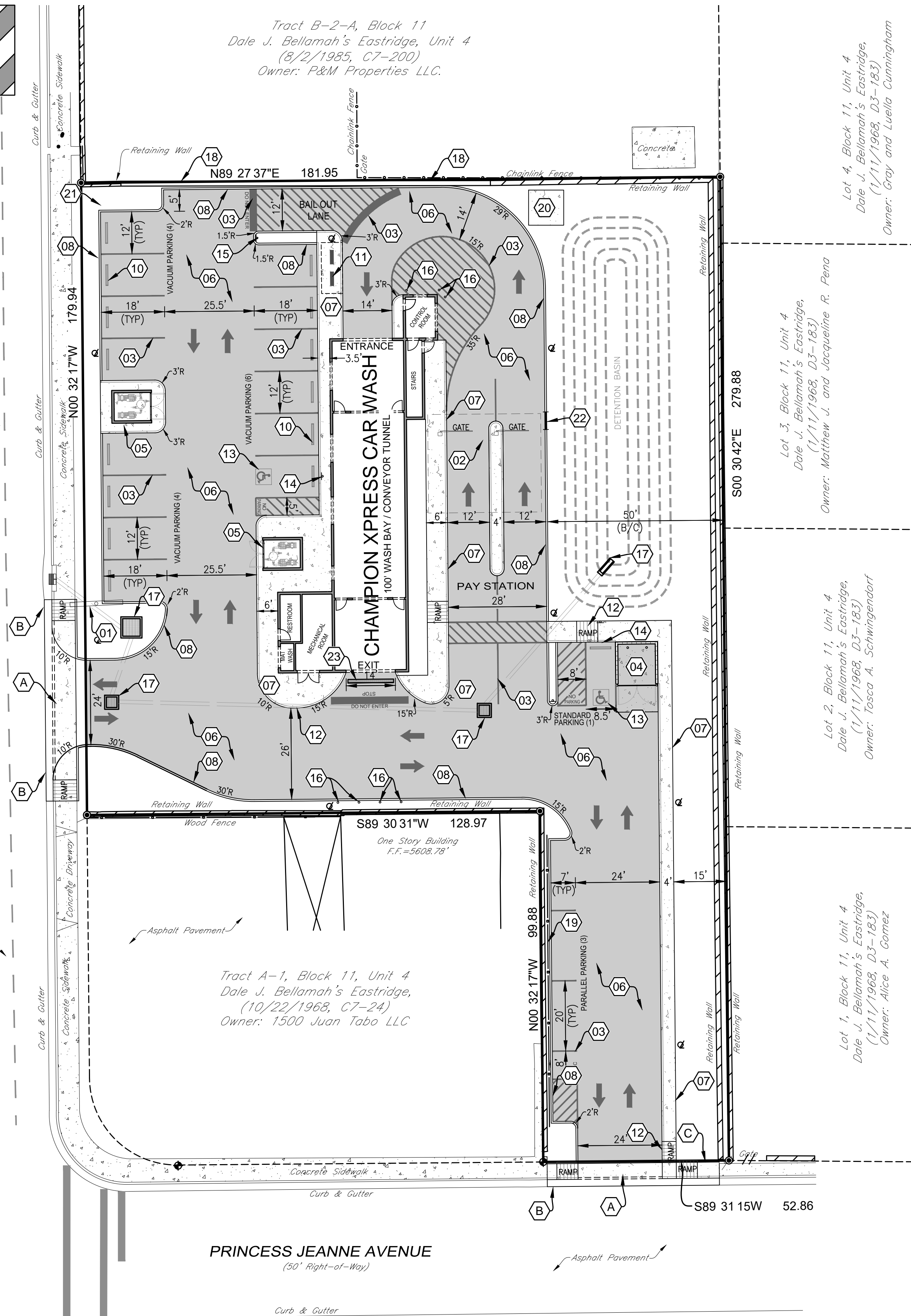


VERTICAL & HORIZONTAL CONTROL:

BM#1: Description: Chiseled 'X' in Sidewalk
Elevation: 5605.91'
BM#2: Description: Chiseled 'X' in Sidewalk
Elevation: 5610.51'



TAKE CAUTION DURING EXCAVATION:
THERE ARE UNDERGROUND UTILITY MAINS IN THE CONSTRUCTION AREA WHICH MAY NOT HAVE BEEN LOCATED ACCURATELY BY THE SURVEYOR / UTILITY OWNERS. NOTIFY "811" IN ADVANCE OF DIGGING TO HAVE LINES MARKED.



WORK WITHIN PUBLIC RIGHT-OF-WAY
REQUIRES DRC-APPROVED PLANS.

Additional site elements are necessary to service the auto wash such as gates, floor mat cleaners, vending machines, vacuum equipment enclosures, vacuums, canopies, signage, etc. which may not be shown on this plan. Locations and details of these elements can be provided by the owner at the request of the contractor or the City of Albuquerque.

ACCESSIBLE PARKING SYMBOL & MARKING NOTES

A paved accessible parking space must include:
- The International Symbol of Accessibility conspicuously on the surface in a color that contrasts the pavement.
- The words "NO PARKING" painted on any access aisle adjacent to the parking space.
Words must be painted in all capital letters with a letter height of at least twelve inches, a stroke width of at least two inches, and centered within each access aisle adjacent to the parking space.

SITE KEYNOTES

- REUSE EXISTING PYLON SIGN
- RETAIN AND PROTECT EXISTING PYLON SIGN FOR REUSE.
- PAY STATION CANOPY
- SEE ARCHITECTURAL PLANS FOR DETAILS.
- PARKING STRIPE / HATCH
- 4" WIDE PAINTED STRIPES / 24" FOR STOP BAR.
- HATCHING TO BE AT 45 DEGREE AND 2'-0" O.C.
- STRIPING ON CONCRETE PAVEMENT TO BE PAINTED YELLOW.
- CONCRETE DUMPSTER PAD & APRON
- 12'x20' PAD TO BE CONSTRUCTED OF MIN. 8 IN. THICK 4000 PSI CONCRETE REINFORCED WITH MIN. 6X6-10/10WWM @ 12 IN. O.C. IN EACH DIRECTION LOCATED IN THE UPPER THIRD OF SLAB.
- PAD DIMENSIONS: 14' WIDE x 26' LONG
- PROVIDE PIPE BOLLARDS PER DETAIL / SHEET C-5.0
- PROVIDE ONE (1) DUMPSTER.
- SEE ARCHITECTURAL PLANS FOR TRASH ENCLOSURE DETAILS AND PIPE BOLLARD LAYOUT.
- VACUUM EQUIPMENT ENCLOSURE
- SEE ARCHITECTURAL PLANS FOR DETAILS.
- CONCRETE PAVEMENT - TRAFFIC
- PER PAVEMENT SECTION / SHEET C-5.0
- CONCRETE SIDEWALK
- PER DETAILS / SHEET C-5.0
- MONOLITHIC CONCRETE BARRIER CURB
- PER DETAILS / SHEET C-5.0
- CURBED ISLAND FOR TRAFFIC CONTROL
- INSTALL PER CONCRETE MOUNTABLE MEDIAN CURB AND CONCRETE SIDEWALK. PER DETAIL / SHEET C-5.0
- FACE OF CURB TO BE PAINTED YELLOW.
- CONCRETE WHEEL STOP
- PER DETAILS / SHEET C-5.0
- BICYCLE PARKING (2 RACKS)
- 30" RECOMMENDED SPACING.
- PER DETAIL / SHEET C-5.0
- ADA ACCESSIBLE RAMP
- PER DETAIL / SHEET C-5.0
- ADA PARKING SYMBOL
- PER DETAIL / SHEET C-5.0
- ADA PARKING SIGNAGE
- PER DETAIL / SHEET C-5.0
- TRAFFIC CIRCULATION SIGNAGE "DO NOT ENTER"
- PER DETAIL / SHEET C-5.0
- PIPE BOLLARD
- PER DETAIL / SHEET C-5.0
- DRAINAGE STRUCTURE
- SEE UTILITY PLAN / SHEET C-4.0 FOR INSTALLATION DETAILS.
- CONCRETE BLOCK RETAINING WALL
- CONTRACTOR TO COORDINATE INSTALLATION OF NEW RETAINING WALL WITH NEIGHBORING PROPERTY OWNER. SEE SHEET C-1.1 FOR DEMOLITION DETAILS.
- 6' WOOD FENCE
- PER DETAIL / SHEET C-5.0
- ELECTRIC TRANSFORMER PAD
- SEE SHEET C-4.0 FOR DETAILS
- MOTORCYCLE PARKING SIGNAGE
- PER DETAIL / SHEET C-5.0
- 5' CURB CUT FOR CROSS DRAINAGE
- PER DETAIL / SHEET C-5.0
- TRENCH DRAIN
- PER DETAIL / SHEET C-5.0

STREET IMPROVEMENT KEYNOTES

- CITY DRIVEPAD WITH SIDEWALK AT BACK OF CURB
- MAINTAIN EXISTING DRIVEPAD IN RIGHT-OF-WAY. INSTALL NEW SIDEWALK / DRIVEPAD PER CITY DETAILS.
- PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING No. 2426 AND 2420
- CITY STANDARD CURB & GUTTER
- PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING No. 2415
- CITY CONCRETE SIDEWALK
- PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING No. 2430

SITE AND PAVEMENT LEGEND

- | | |
|-------|-------------------------------|
| (B/C) | BACK-OFF-CURB |
| (TYP) | TYPICAL PARKING STALL WIDTH |
| R | RADIUS - FACE OF CURB |
| | CONCRETE WHEEL STOP |
| | ADA PARKING SYMBOL |
| | PROPOSED LIGHT POLE |
| | DIRECTIONAL PARKING LOT ARROW |
| | CONCRETE SIDEWALK |
| | CONCRETE PAVEMENT - TRAFFIC |



SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
1520 JUAN TABO BLVD NE
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO



Design: AFD Proj: 21.215
Draw: AFD Dwg: 21.215.dwg
Check: RJM Tab: C2.0-SP

Date: 02.23.2022

Sheet:

SITE PLAN

Sheet No.:

C-2.2

GENERAL UTILITY NOTES:

- All utilities shown are approximate locations only and have been compiled from the latest available mapping. The exact location of all underground utilities shall be verified by the Contractor prior to the start of construction.
- Contractor to coordinate with the local utility companies for all locations and connections. A preconstruction meeting with the various utility companies may be required prior to the start of any construction activity.
- The Contractor shall visit the site and verify the location, elevation, and condition of all existing utilities by various means prior to beginning any excavation. Test pits shall be dug at all locations where existing and proposed utility lines cross, and the horizontal and vertical locations of the utilities shall be determined. The Contractor shall contact the Engineer in the event of any unforeseen conflicts between existing and proposed utilities so that an appropriate modification may be made.
- The Contractor shall ensure that all utility companies and local standards for materials and construction methods are met. The Contractor shall perform proper coordination with the respective utility company. The Contractor shall coordinate work to be performed by the various utility companies and shall pay all fees for connections, disconnection, relocations, inspections, and demolition.
- This plan details pipes up to 5' from the building face. Refer to the building drawings for building connections. Supply and install pipe adapters as necessary.
- All valve boxes and curb boxes shall be adjusted to the final grades and located in grassed areas unless indicated otherwise on the plans.
- The Contractor shall provide traffic bearing concrete collars and lids for all cleanouts, manholes, inlets, valves, etc. which are located in paved areas.
- All existing pavement within the rights-of-way where utility piping is to be installed shall be saw cut and replaced or directionally bored in accordance with Local and/or State requirements. Existing pavement shall be repaired as necessary.
- All utility lines and trenches shall be installed, bedded and backfilled according to manufacturer's specifications and to the satisfaction of Local and State Authorities.
- Sanitary sewer laterals shall maintain (10' min. horizontal, 1.5' min. vertical) separation distance from water lines unless otherwise shown, or additional protection measures will be required. Where water line crosses above sanitary lateral by less than 2' vertical, a concrete encasement shall be installed, Contractor shall center one joint of pipe at crossing.
- Roof drains, foundation drains, and other clean water connections to the sanitary sewer system are prohibited.

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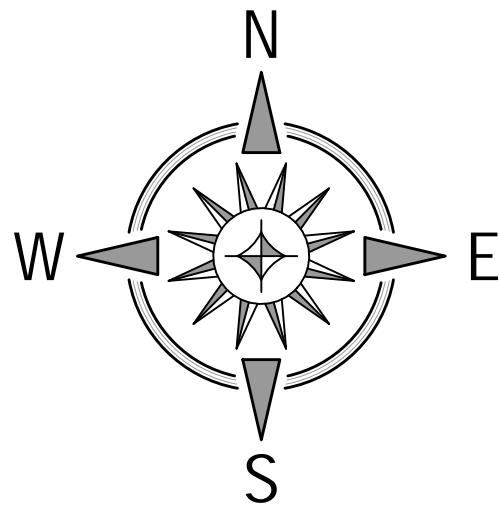
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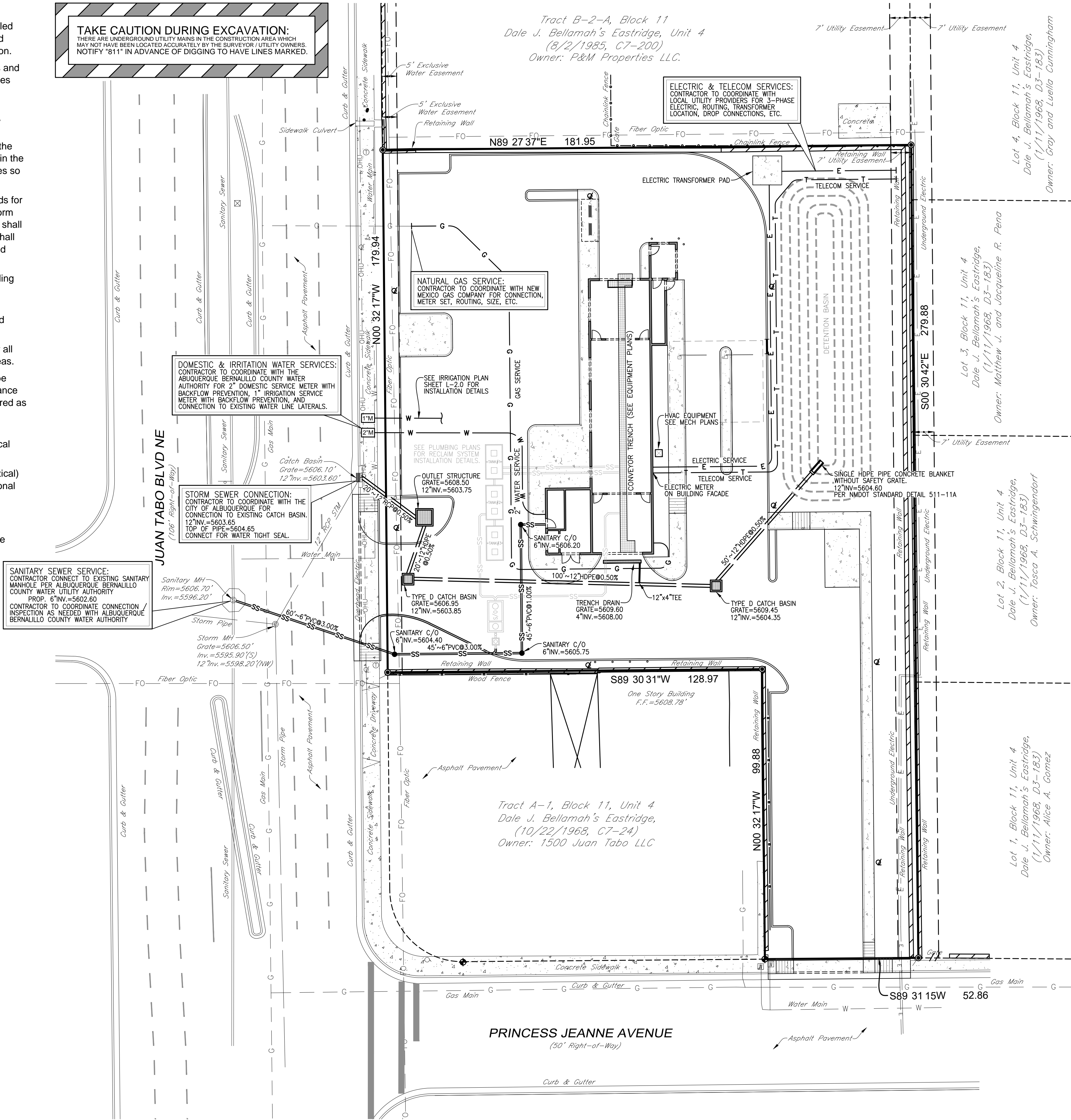


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WORK WITHIN PUBLIC RIGHT-OF-WAY
REQUIRES DRC-APPROVED PLANS.

SANITARY SEWER NOTES:

Contractor to provide 6" (min.) sanitary sewer service line from building to public sewer main. Install tap, manholes, cleanouts and other appurtenances as required by the local utility provider. Coordinate building connection with plumbing plans.

All sanitary sewer pipe shall be P.V.C. SDR 35, ASTM D-3034 with joints conforming to ASTM 3212. All pipe shall be installed in accordance with the manufacturer's recommended procedures and shall maintain a minimum slope of 1.00%.

Sanitary sewer clean-outs shall be installed at all sewer pipe bends, angles, and junctions, unless a manhole is indicated. All cleanouts in pavement areas shall be installed with traffic bearing lids and concrete collars. Cleanout spacing should not exceed 100'. Per detail / Sheet C-5.0.

Sanitary sewer service connection, permit and construction to be coordinated with Albuquerque Water Utility Authority.

WATER NOTES:

Contractor to provide 2" domestic water service line from public water main to building. Install tap, meter, backflow preventer, and other appurtenances as required by the local utility provider. Coordinate building connection with plumbing plans.

Contractor to provide 1" irrigation service line from public water main to existing meter. Install tap, meter, backflow preventer, and other appurtenances as required by the local utility provider. Coordinate with Irrigation Contractor, irrigation plans and plumbing/electrical plans.

Water service lines shall be Polyethylene PE4710 or Albuquerque Water Utility Authority approved material, installed per manufacturer's recommended procedures. Lines shall be installed with a minimum cover of 42" or below frost line, whichever is greater.

Water service connection, meter, permit and construction to be coordinated with Albuquerque Water Utility Authority.

STORM SEWER NOTES:

All storm sewer shall be reinforced concrete pipe (ASTM C76 - Class III, minimum) or high-density polyethylene pipe (ADS N-12 or equivalent), unless otherwise noted on plans. All pipe shall be installed according to Local, State, and manufacturer's specifications. All storm sewer catch basins to have H-20 Traffic rated grates.

Storm sewer connection, permit and construction to be coordinated with City of Albuquerque.

GAS NOTES:

Coordinate gas service lines, meter, and connections with mechanical plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.

ELECTRIC NOTES:

Coordinate electric service lines, meter, and connections with electrical plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.

Coordinate site lighting, signage wiring, conduit locations, connections, etc. with electrical plans. Notify Engineers of any potential conflicts.

TELECOM NOTES:

Coordinate telecommunication service lines and connections with electrical plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.

UTILITY LEGEND

- | | |
|--|------------------------------|
| | PROP. LIGHT POLE |
| | PROP. WATER METER |
| | PROP. SANITARY SEWER SERVICE |
| | PROP. WATER LINE |
| | PROP. GAS SERVICE |
| | PROP. ELECTRIC SERVICE |
| | PROP. TELECOM SERVICE |



SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS
CAR WASH
1520 JUAN TABO BLVD NE
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO



Design: AFD Proj: 21.215
Draw: AFD Dwg: 21.215.dwg
Check: RJM Tab: C4.0-UP

Scale: 1" = 20'

Date: 02.23.2022

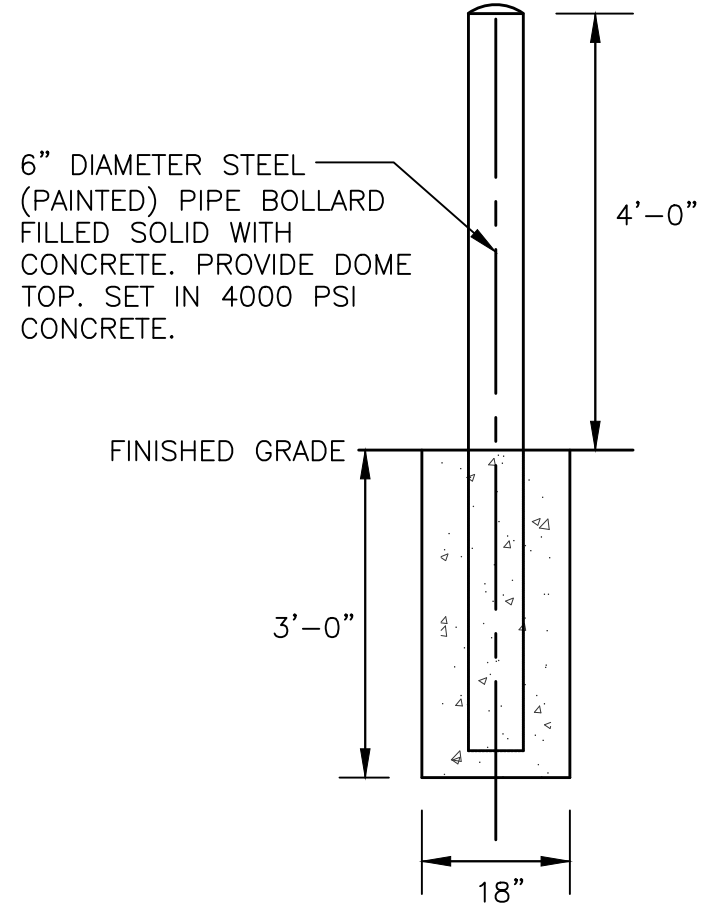
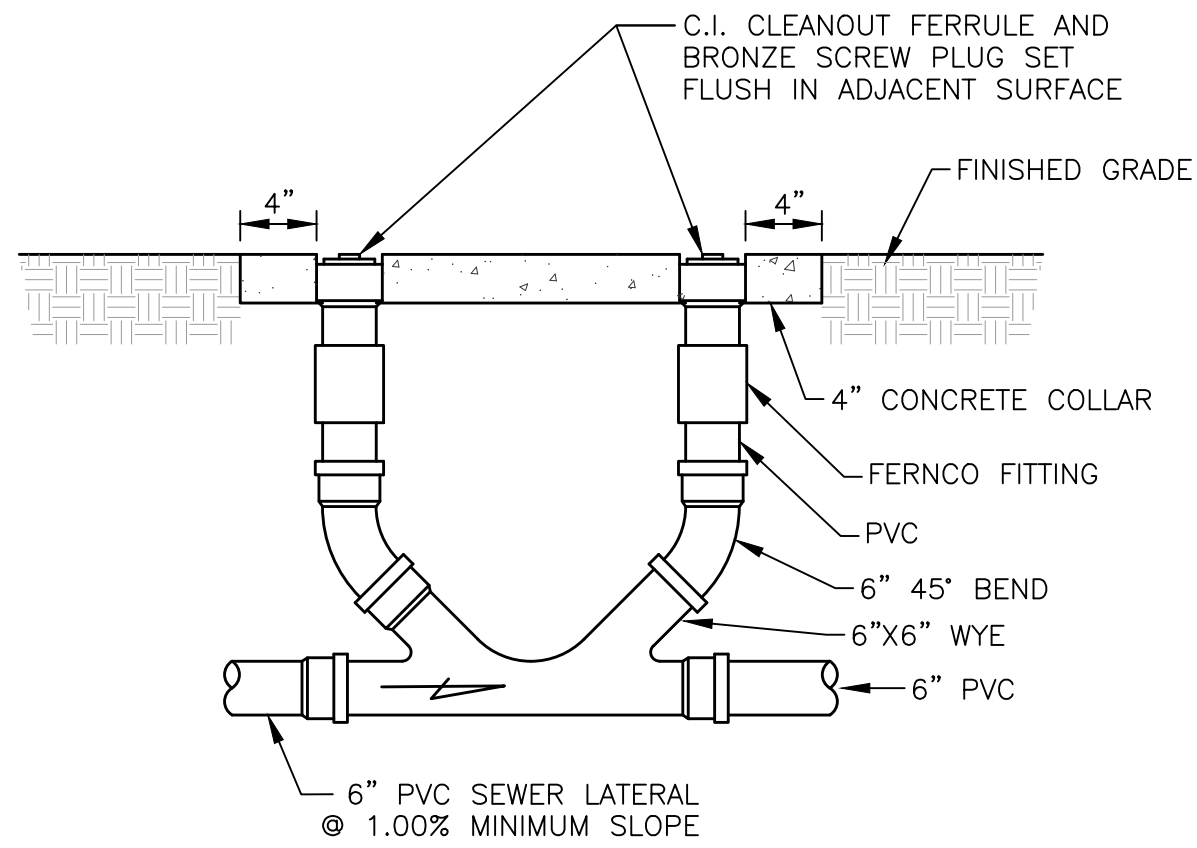
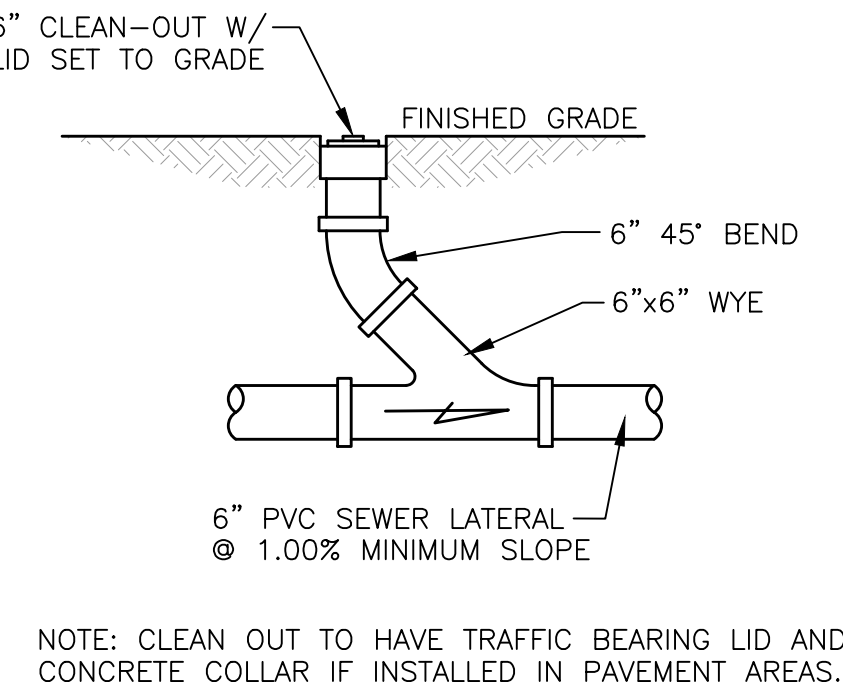
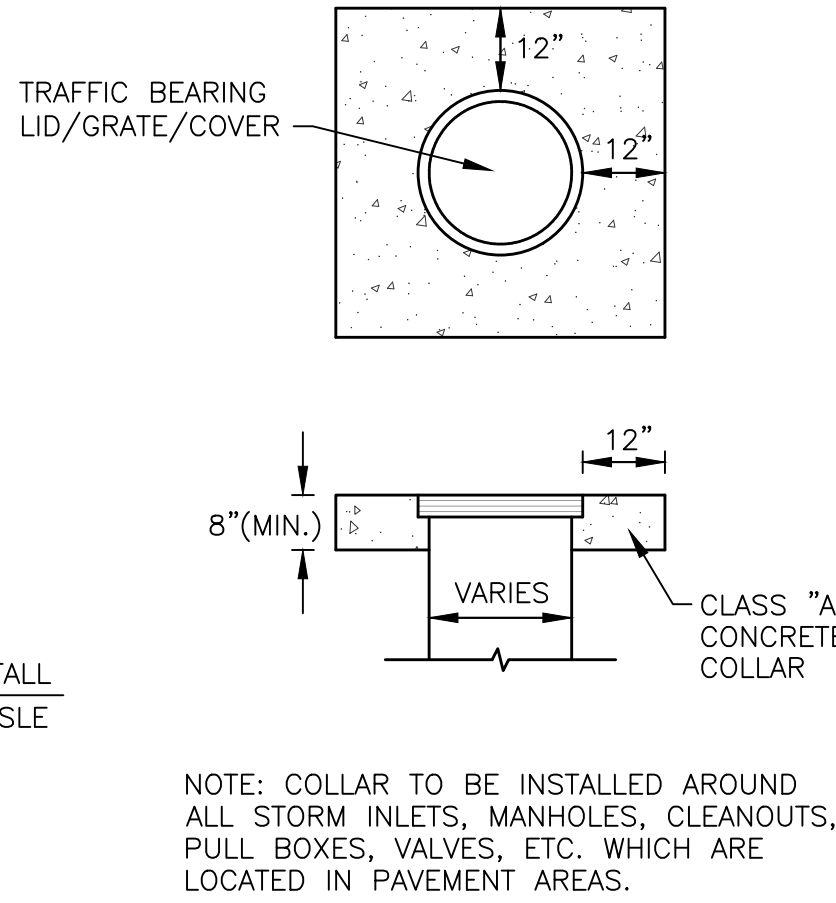
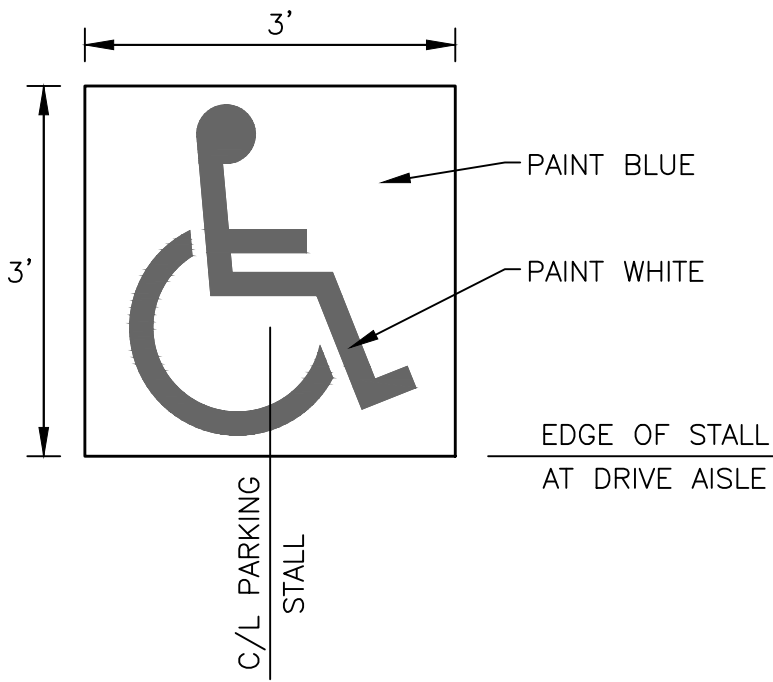
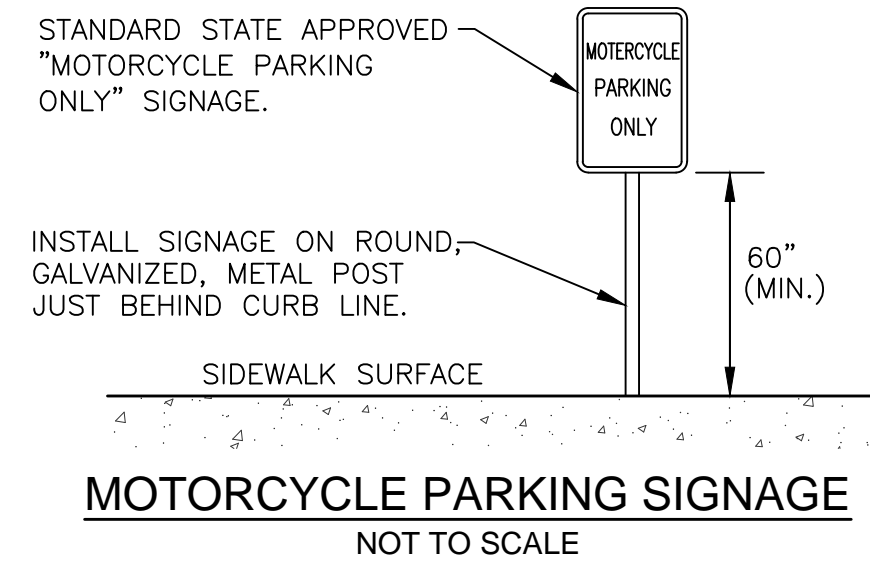
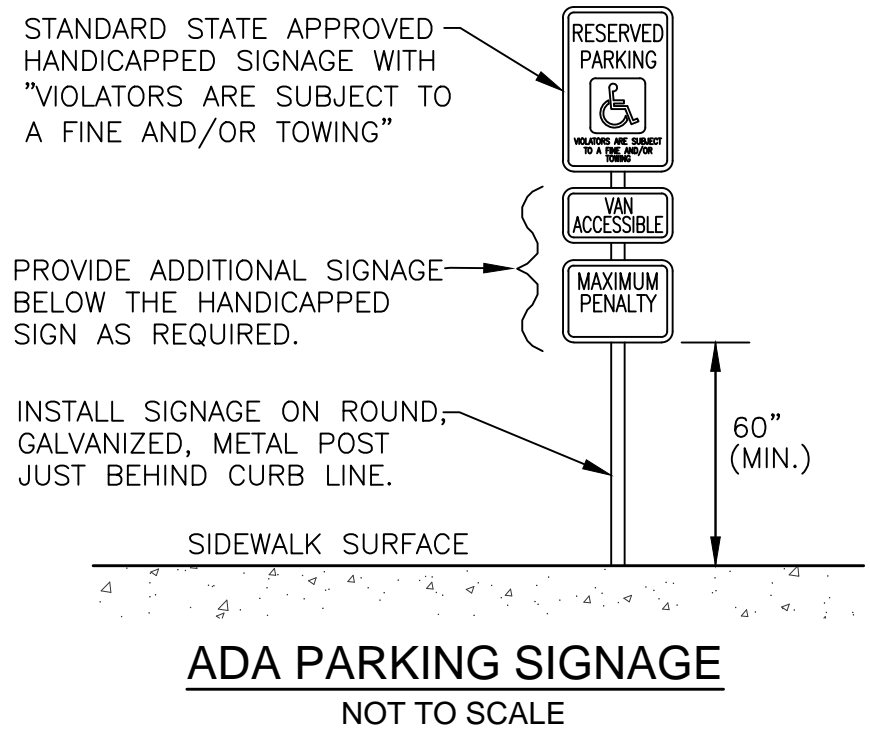
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UTILITY PLAN

Sheet No.:

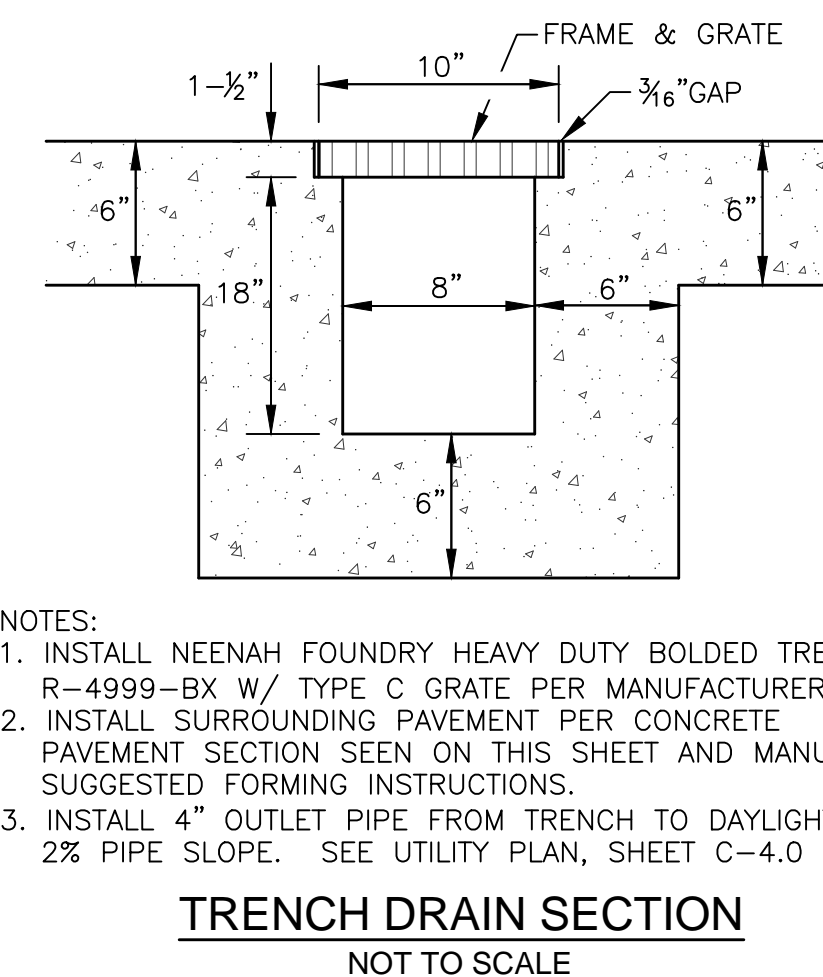
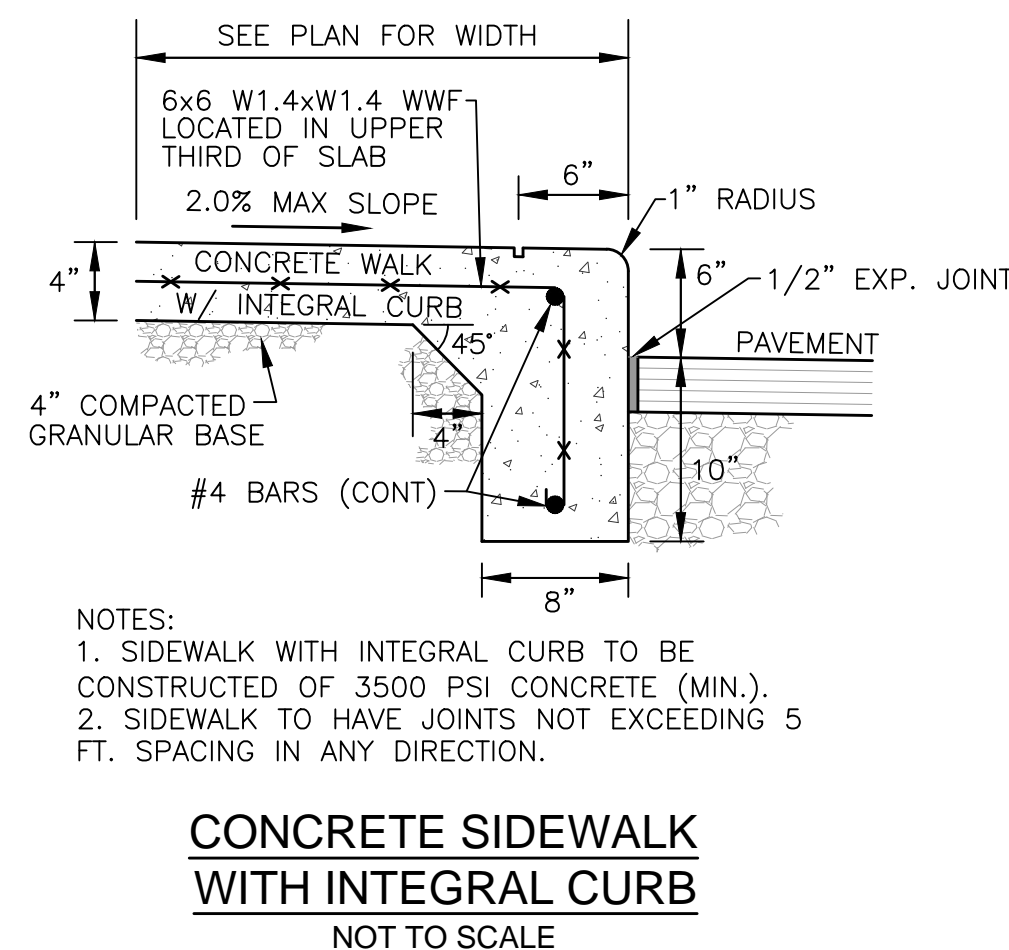
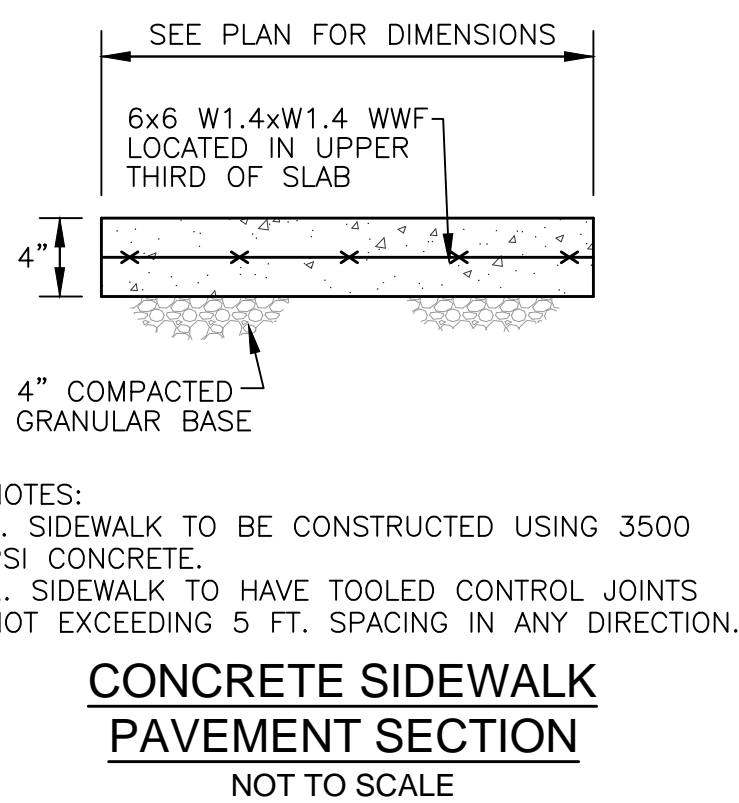
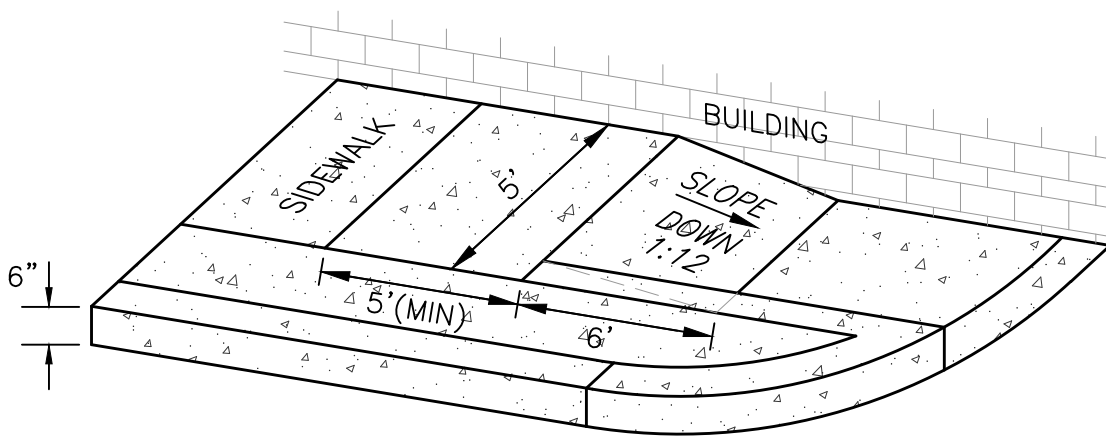
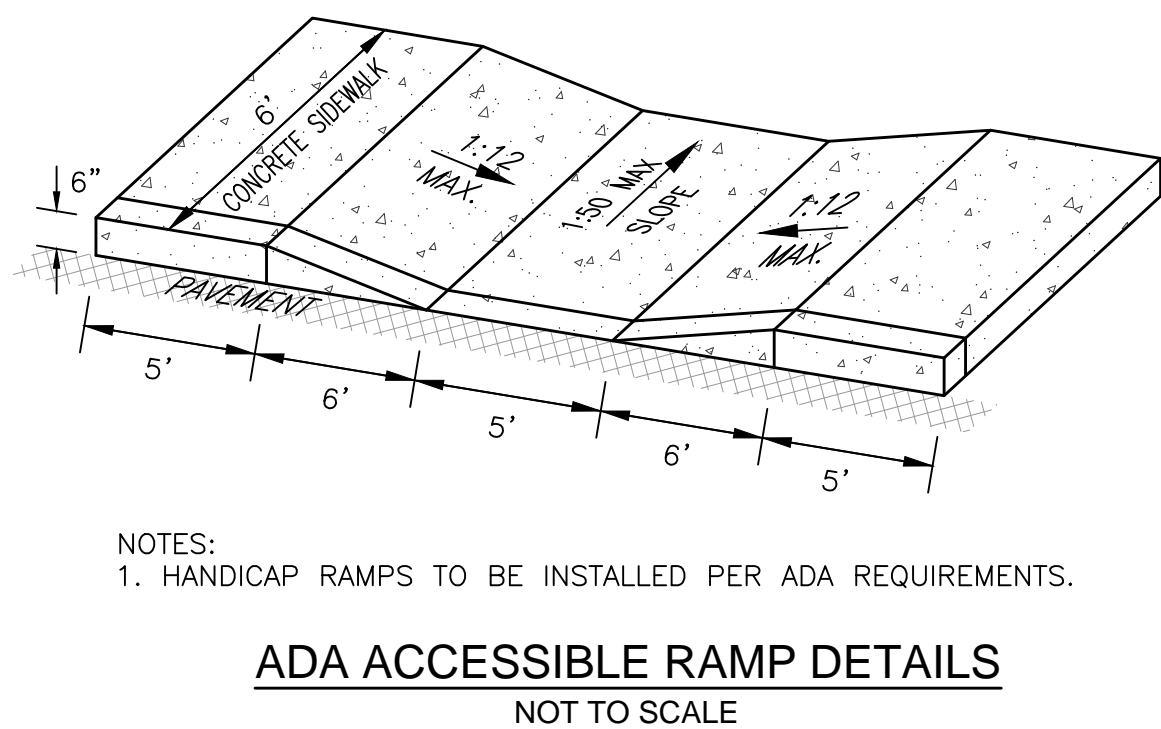
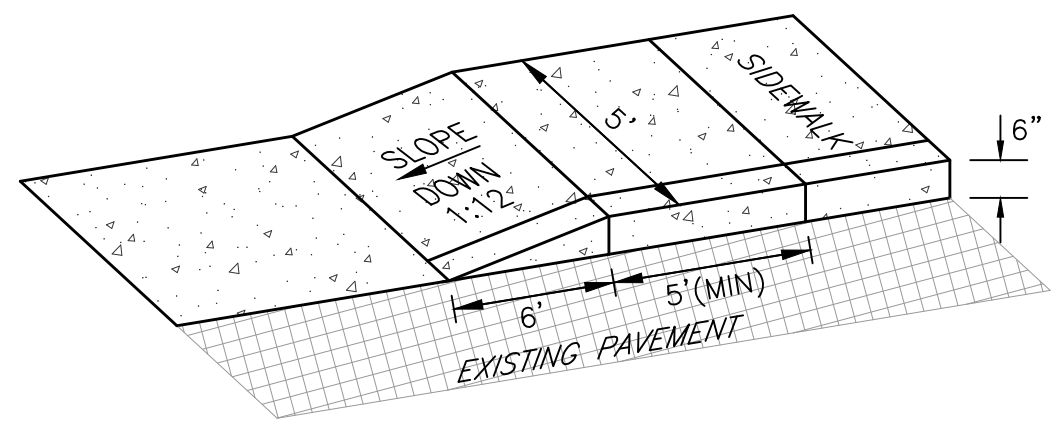
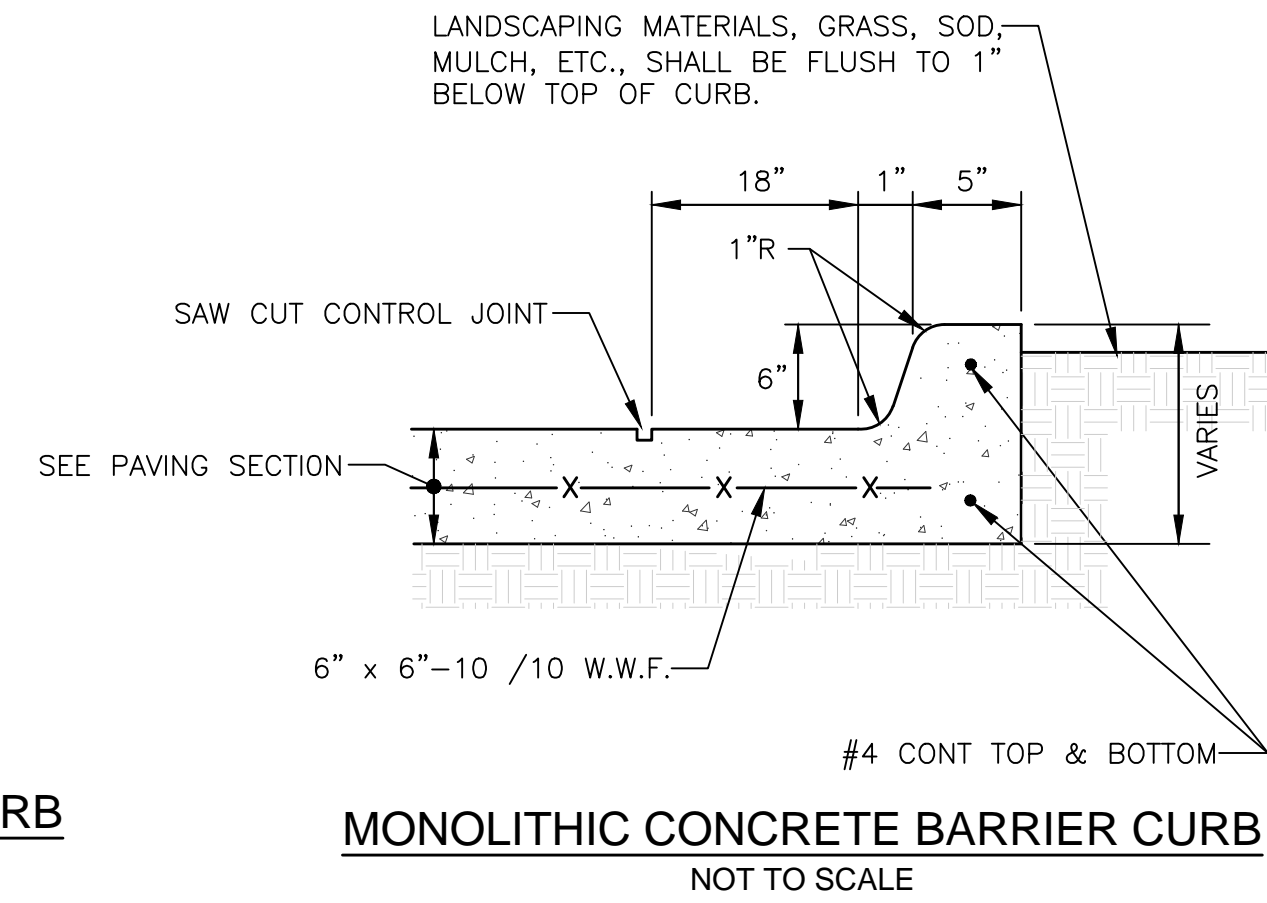
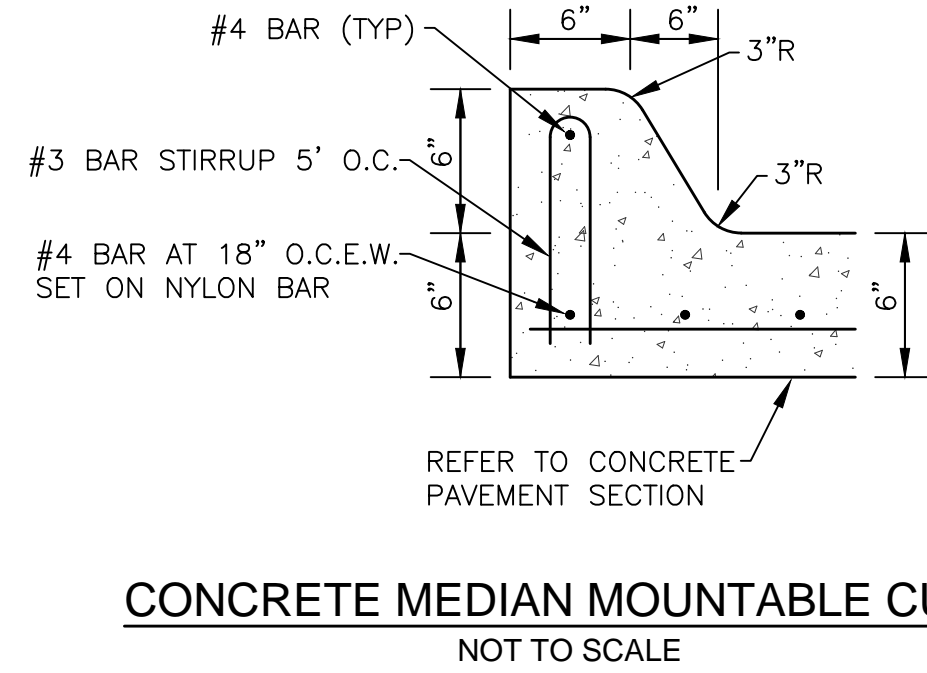
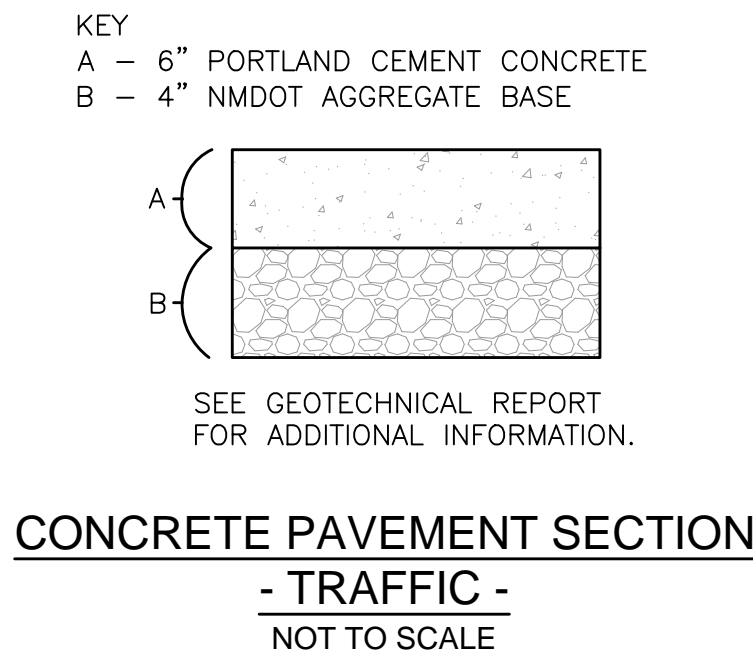
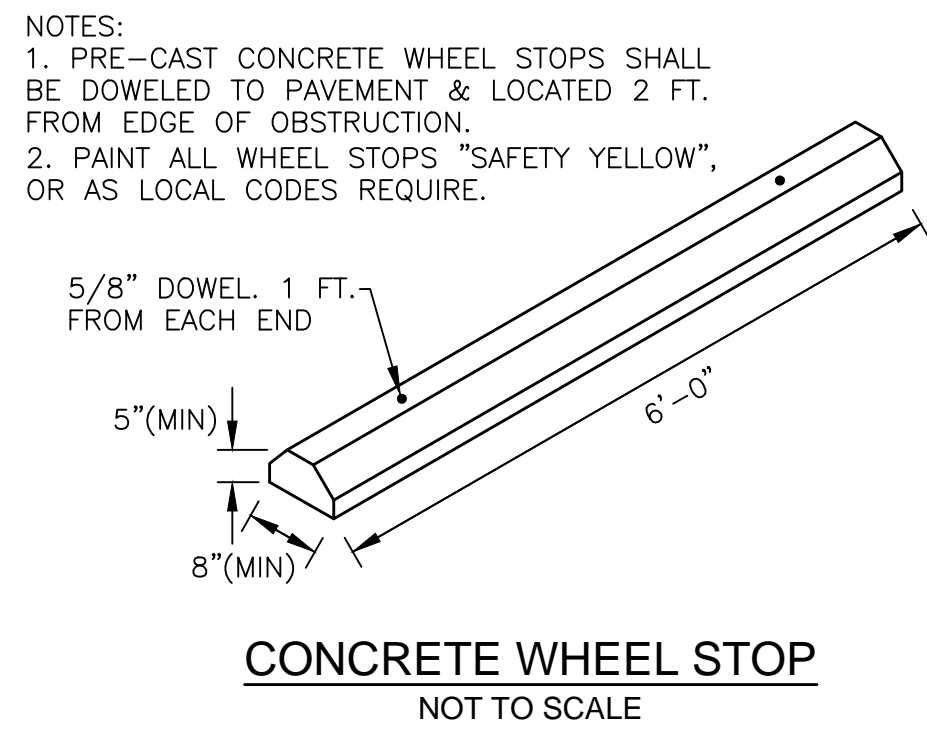
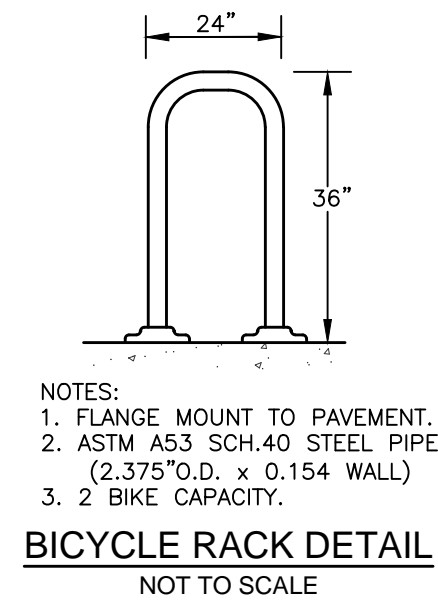
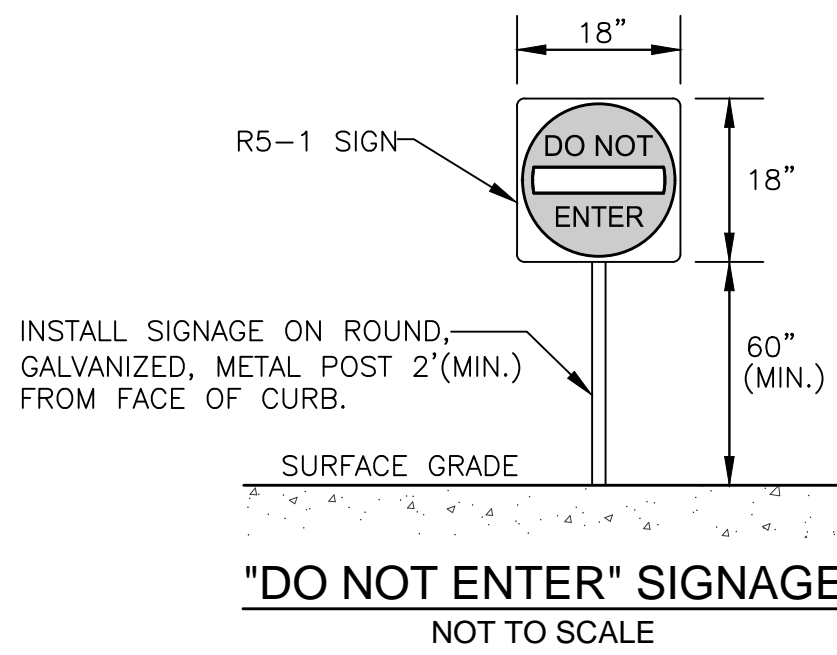
C-4.0





APPROVAL FOR
TRAFFIC CIRCULATION LAYOUT
03/10/2022

Jeanna Wolfenbarger



Date	
Description	
Item	

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS
1520 JUAN TABO BLVD NE
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO



Design: AFD	Proj: 21.215
Draw: AFD	Dwg: 21.215.dwg
Check: RJM	Tab: C5.0-DET
Scale: N/A	

Date: 02.23.2022

Sheet: SITE DETAILS

Sheet No.: C-5.0



FIRE PLAN NOTES

- Existing fire hydrant south of the site meets spacing requirements as determined by IFC Table C102.1 -- hose lay from hydrant to fire apparatus road does not exceed 250'. The fire hydrant is assumed to meet fire flow requirements as determined by IFC Table B105.1.
- Fire apparatus route shown per IFC 503.2.1 requirements -- 20' wide & 28' radii. Route is within 150' of all portions of the building. Route is less than 150' -- no turn around required.
- The Fire Apparatus Access Road shall have a minimum of 13'-6" unobstructed height clearance.
- Public water main sizes not shown on plans due to lack of information provided from ALTA survey and City of Albuquerque GIS.
- Contractor / Geotechnical Engineer shall confirm pavement installation within the Fire Apparatus Access Road to support imposed load of fire apparatus weighing at least 75,000 lbs.
- Pavement grades do not exceed 10% along Fire Apparatus Route.
- Fire lane to be designated by curb painted red with "NO PARKING" and "FIRE LANE" text spaced per City of Albuquerque standards.
- See Fire 2 Plan for information regarding building address location and Knox Box.
- Premise ID: Building shall have approved address numbers or building identification placed in a position plainly legible and visible from the street or road fronting the property.

CODE CRITERIA

BUILDING AREA: 2,927 sq. ft.
BUILDING HEIGHT: 2 Story 30'-0" (2nd Story Floor Height = 15'-6" A.F.F.)
OCCUPANCY TYPE: Business - Car Wash
CONSTRUCTION TYPE: V-B
OCCUPANT LOAD: 11 people
EXITS PROVIDED(REQUIRED): 4
ZONING ORDINANCE: City of Albuquerque Integrated Zoning Code
ZONE: "MX-L" - Low Intensity Zone District
USE CATEGORY: Car Wash
SPRINKLER SYSTEM: Non-sprinklered
REQUIRED FIRE FLOW: 1,500 GPM

DEVELOPMENT / DESIGN TEAM

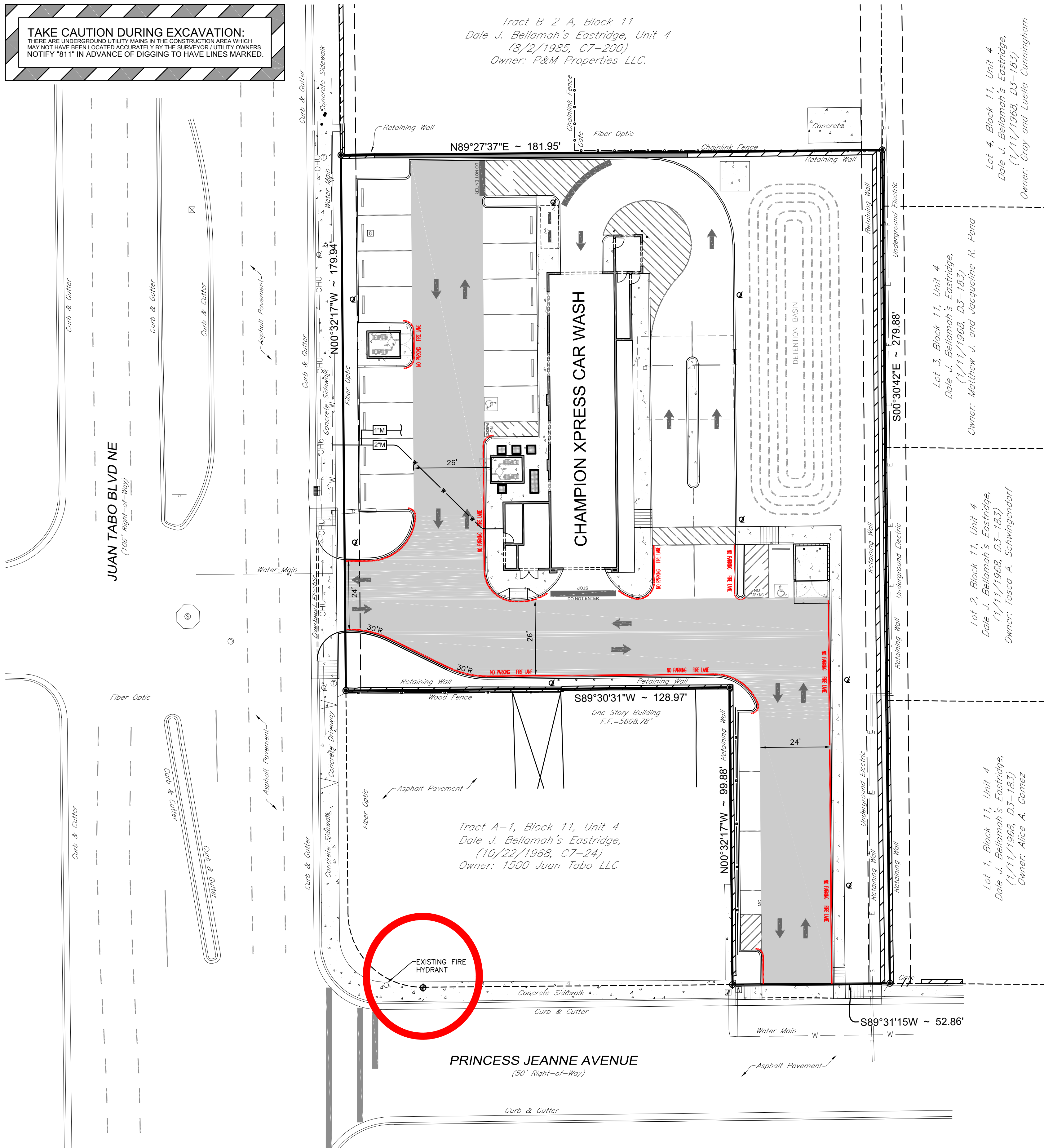
OWNER / DEVELOPER
7B Building and Development
Contact: Derrick Merchant
Phone: 806.368.7843
Email: derrick@7bdev.com

CIVIL ENGINEER / CONSULTANT
Burkhardt Engineering
Contact: Ryan Morrissey
Phone: 937.388.0060
Email: rmorrissey@burkhardtinc.com

ARCHITECT / STRUCTURAL / MEP
C.L. Helt Architect
Contact: Diana Myers
Phone: 704.342.1686
Email: dianam@clhelt.com

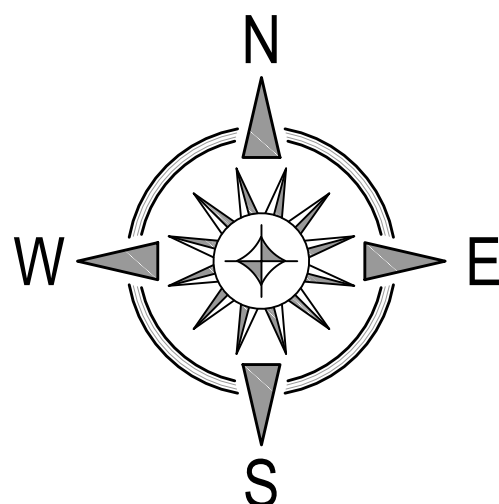
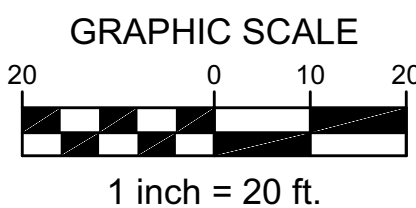
LANDSCAPE ARCHITECTURE
Yellow Springs Design
Contact: Roger Beal
Phone: 937.767.8199
Email: yellowspringsdesign@bizwoh.rr.com

TAKE CAUTION DURING EXCAVATION:
THERE ARE UNDERGROUND UTILITY MAINS IN THE CONSTRUCTION AREA WHICH MAY NOT HAVE BEEN LOCATED ACCURATELY BY THE SURVEYOR/UTILITY OWNERS. NOTIFY "811" IN ADVANCE OF DIGGING TO HAVE LINES MARKED.



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER:FP-21-008402
APPROVED DATE: 02/04/22
APPROVED
THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 2927 SF V-B 1500 GPM 1 HYDRANT

CURBED ISLAND FOR TRAFFIC CONTROL
- FOR RIGHT OUT TRAFFIC CONTROL
- INSTALL PER CONCRETE MOUNTABLE MEDIAN CURB AND CONCRETE SIDEWALK, PER DETAIL / SHEET C-5.0
- FACE OF CURB TO BE PAINTED YELLOW.

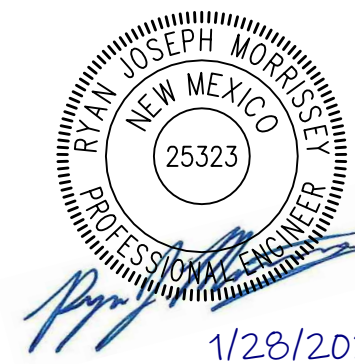


VERTICAL & HORIZONTAL CONTROL:

BM#1: Description: Chiseled 'X' in Sidewalk
Elevation: 5605.91'
BM#2: Description: Chiseled 'X' in Sidewalk
Elevation: 5610.51'



Know what's below.
Call before you dig.



Date	
Description	
Item	

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
1520 JUAN TABO BLVD NE
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO



Design: AFD Proj: 21.215
Draw: AFD Dwg: 21.215.dwg
Check: RJM Tab: C2.0-SP
Scale: 1" = 20'

Date: 01.28.2022

Sheet: FIRE 1 PLAN

Sheet No.:

C-2.1

FIRE 1 LEGEND

- DIRECTIONAL PARKING LOT ARROW
- EXISTING FIRE HYDRANT
- FIRE ACCESS ROUTE
- RED FIRE LANE PAINT ON CURB FACE

PARKING AND STACKING SUMMARY

CHAMPION XPRESS CAR WASH

Building Area = 2,927 sq-ft (683 sq-ft of non-wash bay/mechanical room)
Wash Bay Stacking Provided: 15 vehicles
Vacuum Parking Provided: 15 spaces (18'x12')
Employee/Standard Parking Provided: 4 spaces (18'x8.5')
Motorcycle Parking Provided: 1 Space (18'x9')
Bicycle Parking Provided: 4 Spaces (2 Racks)
ADA Parking Provided: 1 Space (18'x8.5")
ADA Vacuum Parking Provided: 1 Space (18'x12')

REQUIRED STANDARD PARKING = 2 Stalls

Use = Car Wash

2 spaces / 1,000 sq-ft GFA of retail, office, and waiting area (683 sq-ft / 1000)
per IDO Table 5-5-1: Off-street Parking Requirements

REQUIRED STACKING SPACES = 3 (three) 20' spaces from end of washing bay

Activity = Car Wash

per IDO Table 5-5-8: Required Stacking Spaces

REQUIRED MOTORCYCLE PARKING = 1 Space

per IDO Table 5-5-4: Motorcycle Parking Requirements

REQUIRED BICYCLE PARKING = 3 Spaces

per IDO Table 5-5-5: Bicycle Parking Requirements

REQUIRED ADA PARKING = 1 Space

per ADA Table 208.2: Minimum Number of Accessible Parking Spaces

STANDARD STATE APPROVED
HANDICAPPED SIGNAGE WITH
"VIOLATORS ARE SUBJECT TO
A FINE AND/OR TOWING"

PROVIDE ADDITIONAL SIGNAGE
BELOW THE HANDICAPPED
SIGN AS REQUIRED.

INSTALL SIGNAGE ON ROUND,
GALVANIZED, METAL POST
JUST BEHIND CURB LINE.

ADA PARKING SIGNAGE
NOT TO SCALE

R6-1 SIGN
INSTALL SIGNAGE ON ROUND,
GALVANIZED, METAL POST 2'(MIN.)
FROM FACE OF CURB.

"ONE WAY" SIGNAGE
NOT TO SCALE

R5-1 SIGN
INSTALL SIGNAGE ON ROUND,
GALVANIZED, METAL POST 2'(MIN.)
FROM FACE OF CURB.

"DO NOT ENTER" SIGNAGE
NOT TO SCALE

- See Fire 1 Plan, sheet C-2.1 for Fire Marshal's Office Hydrant and fire Access approval
- See Site Plan, sheet C-2.2 for detailed site installations.
- See Grading and Drainage Plan, sheet C-3.0 for pavement slope details.
 - *Access Drive area slope range = 1.0%minimum to 6.0%maximum
 - *Parking area slope range = 1.0%minimum to 8.0%maximum
 - *Handicap Parking area slope range = 1.0%minimum to 2.0%maximum

STANDARD STATE APPROVED "MOTORCYCLE PARKING ONLY" SIGNAGE.

INSTALL SIGNAGE ON ROUND,
GALVANIZED, METAL POST JUST
BEHIND CURB LINE.

MOTORCYCLE PARKING SIGNAGE
NOT TO SCALE

R1-1 SIGN
INSTALL SIGNAGE ON ROUND,
GALVANIZED, METAL POST 2'(MIN.)
FROM FACE OF CURB.

"STOP" SIGNAGE
NOT TO SCALE

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APPROVAL FOR

TRAFFIC CIRCULATION LAYOUT
03/10/2022

Jeanne Wolfenbarger

JUAN TABO BLVD NE
(106' Right-of-Way)

Tract A-1, Block 11, Unit 4
Dale J. Bellamah's Eastridge,
(10/22/1968, C7-24)
Owner: 1500 Juan Tabo LLC

PRINCESS JEANNE AVENUE
(50' Right-of-Way)

PARKING STRIPE / HATCH
- 4" WIDE PAINTED STRIPES / 24" FOR STOP BAR.
- HATCHING TO BE AT 45 DEGREE AND 2'-0" O.C.
- STRIPING ON CONCRETE PAVEMENT TO BE PAINTED YELLOW.

ACCESSIBLE PARKING SYMBOL & MARKING NOTES
A paved accessible parking space must include:
- The International Symbol of Accessibility conspicuously on the surface in a color that contrasts the pavement.
- The words "NO PARKING" painted on any access aisle adjacent to the parking space.
Words must be painted in all capital letters with a letter height of at least twelve inches, a stroke width of at least two inches, and centered within each access aisle adjacent to the parking space.

WORK WITHIN PUBLIC RIGHT-OF-WAY
REQUIRES DRC-APPROVED PLANS.

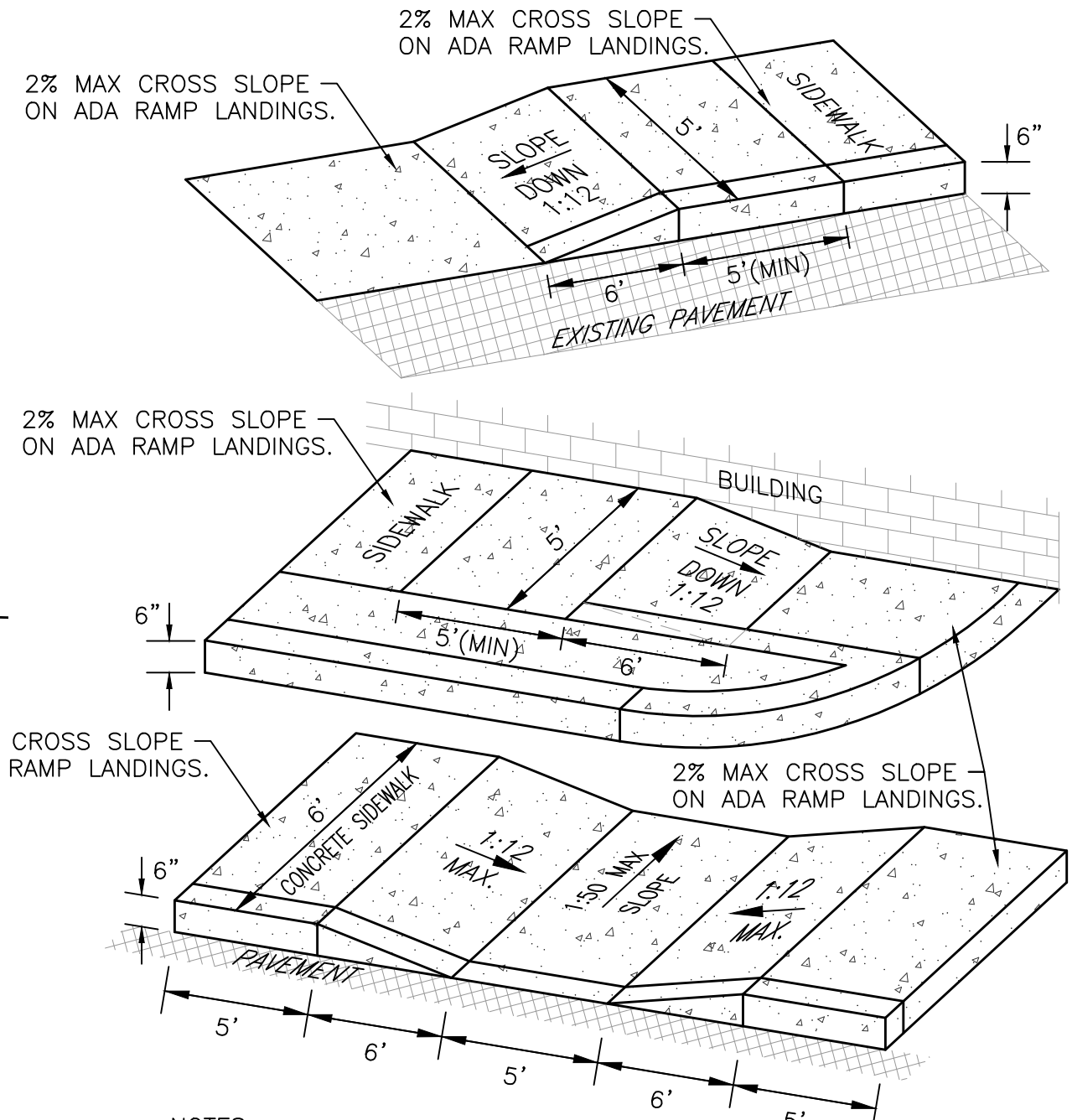
CLEAR SITE TRIANGLE NOTE:
Landscaping, signage, walls, fences, trees,
and shrubbery between 3 feet and 8 feet tall
(as measured from the gutter pan) are not
allowed within the clear site triangle.

All broken or cracked sidewalk must be
replaced with sidewalk and curb & gutter
per the City of Albuquerque Standard
Drawing No. 2415 and No. 2430.

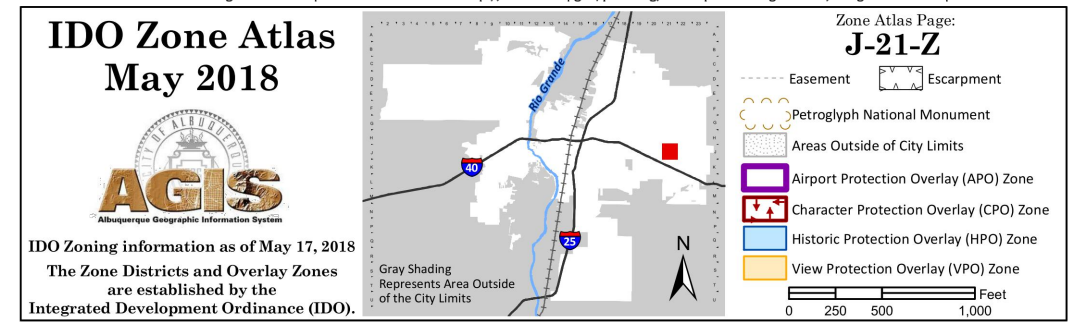
NOTES:
1. FLANGE MOUNT TO PAVEMENT.
2. ASTM A53 SCH.40 STEEL PIPE
(2.375"O.D. x 0.154 WALL)
3. 2 BIKE CAPACITY.

BICYCLE RACK DETAIL
NOT TO SCALE

BICYCLE PARKING
NOT TO SCALE



NOTES:
1. HANDICAP RAMPS TO BE INSTALLED PER ADA REQUIREMENTS AND
PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING NO. 2440.
ADA ACCESSIBLE RAMP DETAILS
NOT TO SCALE



PROJECT SUMMARY

Project will include the demolition and removal of existing structures, utilities, vegetation, pavement, etc. as necessary to construct a new Champions Xpress Car Wash and its associated pavement, parking facilities, utilities, landscaping, signage and any other proposed improvements which are needed to service the facility.

PROPERTY INFORMATION

Address: 1520 Juan Tabo Blvd. NE, Albuquerque, NM 87112
Legal Description: Tract lettered B-1, Block 11 Dale J. Bellamah's Eastridge Unit 4,
City of Albuquerque, Bernalillo County, New Mexico.
Area: 0.8730 Acres
Zoning: MX-L, Mixed-Use-Low Intensity Zone District
Flood Zone Designation: FIRM # 35001C0357H, effective date: August 16, 2012
Zone "X": Areas determined to be outside the 0.2% annual chance floodplain

SITE AND PAVEMENT LEGEND

- CONCRETE WHEEL STOP
- ADA PARKING SYMBOL
- PROPOSED LIGHT POLE
- DIRECTIONAL PARKING LOT ARROW
- ADA ACCESSIBLE PEDESTRIAN PATHWAY
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT



Date	
Description	
Item	

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
1520 JUAN TABO BLVD NE
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO



Design: AFD	Proj: 21.215
Draw: AFD	Dwg: 21.215.dwg
Check: RJM	Tab: C2.0-SP
Scale: 1" = 20'	
Date: 01.28.2022	
Sheet: TRAFFIC CIRCULATION LAYOUT PLAN	
Sheet No.:	

C-2.0