

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

August 18, 2023

Ryan J. Morrissey, P.E.  
Burkhardt  
28 North Cherry St.  
Germantown, OH 45327

**Re: Champion Xpress Car Wash**  
**1520 Juan Tabo Blvd. NE**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's Stamp dated 01-28-22 (J22-D031)  
Certification dated 08-08-23

Dear Mr. Morrissey,

Based upon the information provided in your submittal received 08-09-23, Transportation Development cannot approve the release of Certificate of Occupancy for the above referenced project.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Site access off Juan Tabo Blvd. must be built per the approved plan.
- Per site visit, the running slope for the east leg ramp of the site access off Princess Jeanne Ave. was 9.2%. Maximum running slope should be 8.2%. please fix this issue.
- The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.

Once construction is complete resubmit

1. The approved and stamped TCL, Administrative Amendment, or Site Plan for Building Permit with changes drawn in red.
2. Transportation Certification letter on either the plan or applicant's letterhead.
3. A Drainage Transportation Information Sheet (DTIS)
4. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
5. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

*Marwa Al-najjar*

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services  
\\ma via: email  
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department  
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Champion Xpress Car Wash **Building Permit #:** BP-2022-10392 **Hydrology File #:** J22D031  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** Tract Lettered B-1, Block 11 Dale J. Bellamah's Eastridge Unit 4  
**City Address:** 1520 Juan Tabo Blvd NE

**Applicant:** Burkhardt Engineering **Contact:** Ryan Martini  
**Address:** 28 North Cherry Street Germantown, OH 45327  
**Phone#:** 937-895-4488 **Fax#:** \_\_\_\_\_ **E-mail:** rmartini@burkhardtinc.com

**Other Contact:** Modulus Architects **Contact:** Regina Okoye  
**Address:** 100 Sun Ave. NE, suite 600, Albuquerque, NM 87109  
**Phone#:** 505-267-7686 **Fax#:** \_\_\_\_\_ **E-mail:** rokoye@modulusarchitects.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

- TYPE OF SUBMITTAL:**  
☒ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- \_\_\_\_ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** August 8, 2023 **By:** Ryan Martini

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



August 8, 2023

Planning Department – Transportation & Hydrology  
City of Albuquerque  
600 2nd Street NW, Suite 201  
Albuquerque, NM 87102  
925.965.4475

RE: Traffic Certification for Champion Xpress 1520 Juan Tabo Blvd NE (BP-2022-10392)

To whom it may concern,

I, Ryan Joseph Morrissey, NMPE 25323, of the firm Burkhardt Engineering Company, hereby certify that this project is in substantial compliance and in accordance with the design intent of the Traffic Circulation Layout Plan (TCL), dated 1/28/2023.

I further certify that I have personally reviewed photography and have determined by visual inspection that the survey data (obtained by Steven John Sandoval, NMPS 12351, of the Firm Construction Surveying Services) provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

This certification is submitted in support of a request for a permanent certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

A handwritten signature in blue ink, appearing to read "Ryan J. Morrissey", with a stylized flourish at the end.

Ryan J. Morrissey, P.E.  
*Project Team Leader*



PARKING AND STACKING SUMMARY

CHAMPION XPRESS CAR WASH

Building Area = 2,927 sq-ft (683 sq-ft of non-wash bay/mechanical room)  
Wash Bay Stacking Provided: 15 vehicles  
Vacuum Parking Provided: 15 spaces (18'x12')  
Employee/Standard Parking Provided: 4 spaces (18'x8.5')  
Motorcycle Parking Provided: 1 Space (18'x9')  
Bicycle Parking Provided: 4 Spaces (2 Racks)  
ADA Parking Provided: 1 Space (18'x8.5")  
ADA Vacuum Parking Provided: 1 Space (18'x12')

REQUIRED STANDARD PARKING = 2 Stalls

Use = Car Wash

2 spaces / 1,000 sq-ft GFA of retail, office, and waiting area (683 sq-ft / 1000)  
per IDO Table 5-5-1: Off-street Parking Requirements

REQUIRED STACKING SPACES = 3 (three) 20' spaces from end of washing bay

Activity = Car Wash

per IDO Table 5-5-8: Required Stacking Spaces

REQUIRED MOTORCYCLE PARKING = 1 Space

per IDO Table 5-5-4: Motorcycle Parking Requirements

REQUIRED BICYCLE PARKING = 3 Spaces

per IDO Table 5-5-5: Bicycle Parking Requirements

REQUIRED ADA PARKING = 1 Space

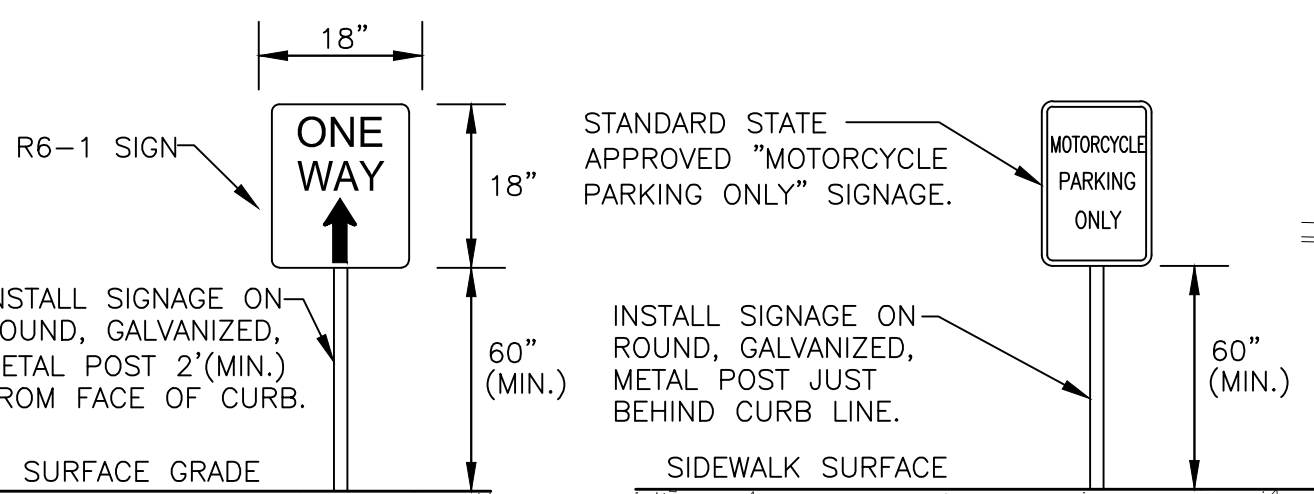
per ADA Table 208.2: Minimum Number of Accessible Parking Spaces

STANDARD STATE APPROVED  
HANDICAPPED SIGNAGE WITH  
"VIOLATORS ARE SUBJECT TO  
A FINE AND/OR TOWING"

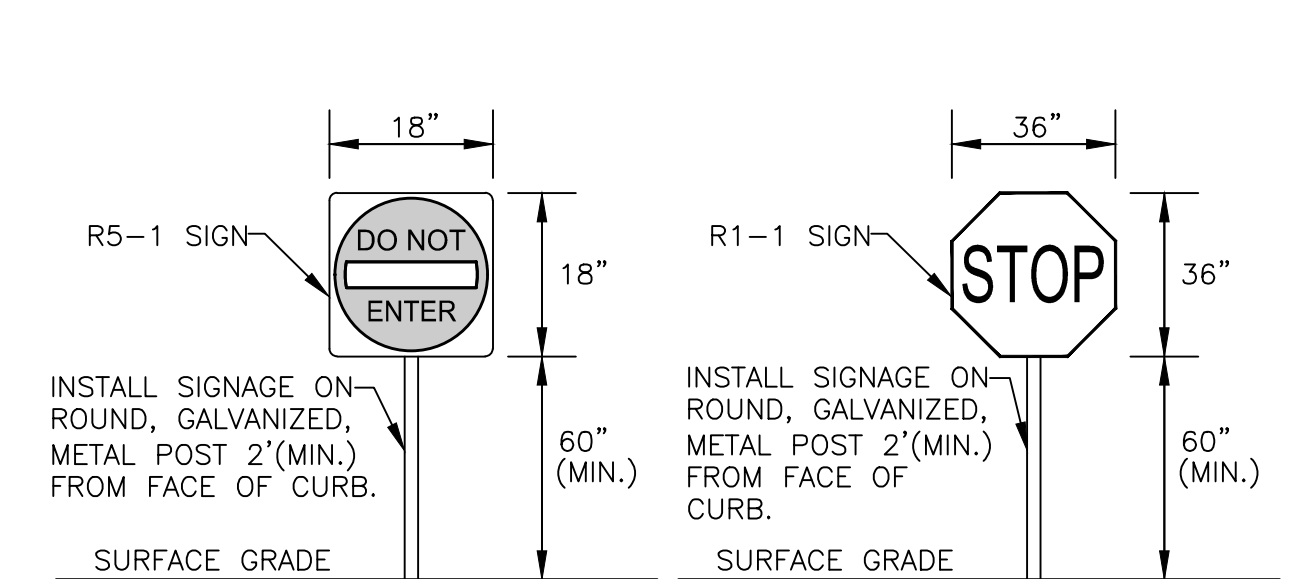
PROVIDE ADDITIONAL SIGNAGE  
BELOW THE HANDICAPPED  
SIGN AS REQUIRED.

INSTALL SIGNAGE ON ROUND,  
GALVANIZED, METAL POST  
JUST BEHIND CURB LINE.

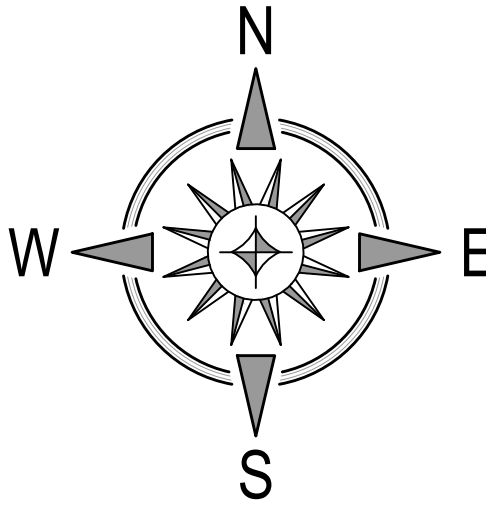
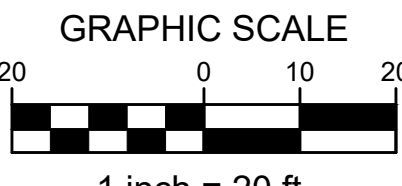
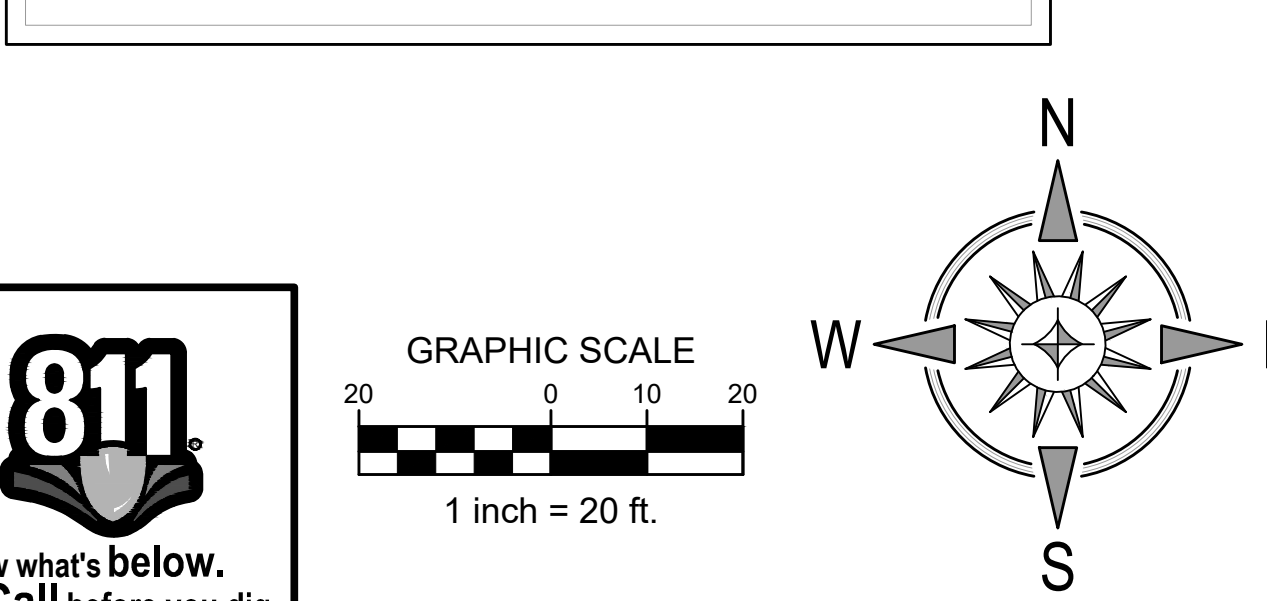
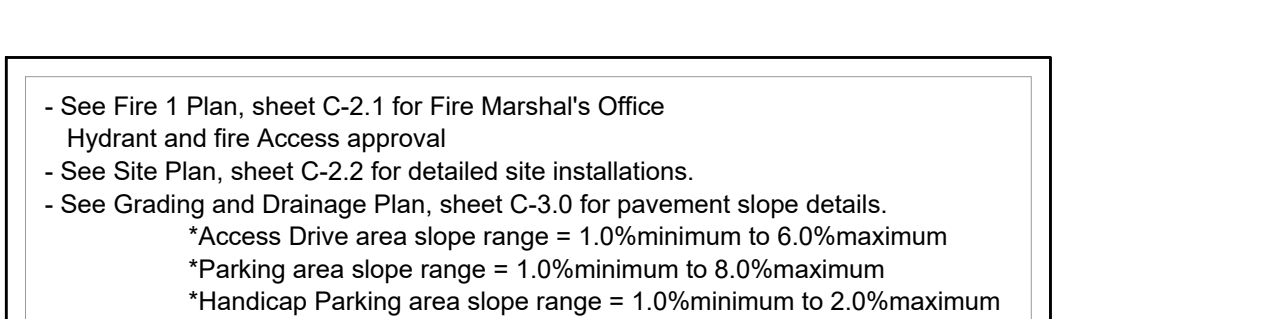
ADA PARKING SIGNAGE  
NOT TO SCALE



"ONE WAY" SIGNAGE  
NOT TO SCALE



"DO NOT ENTER" SIGNAGE  
NOT TO SCALE

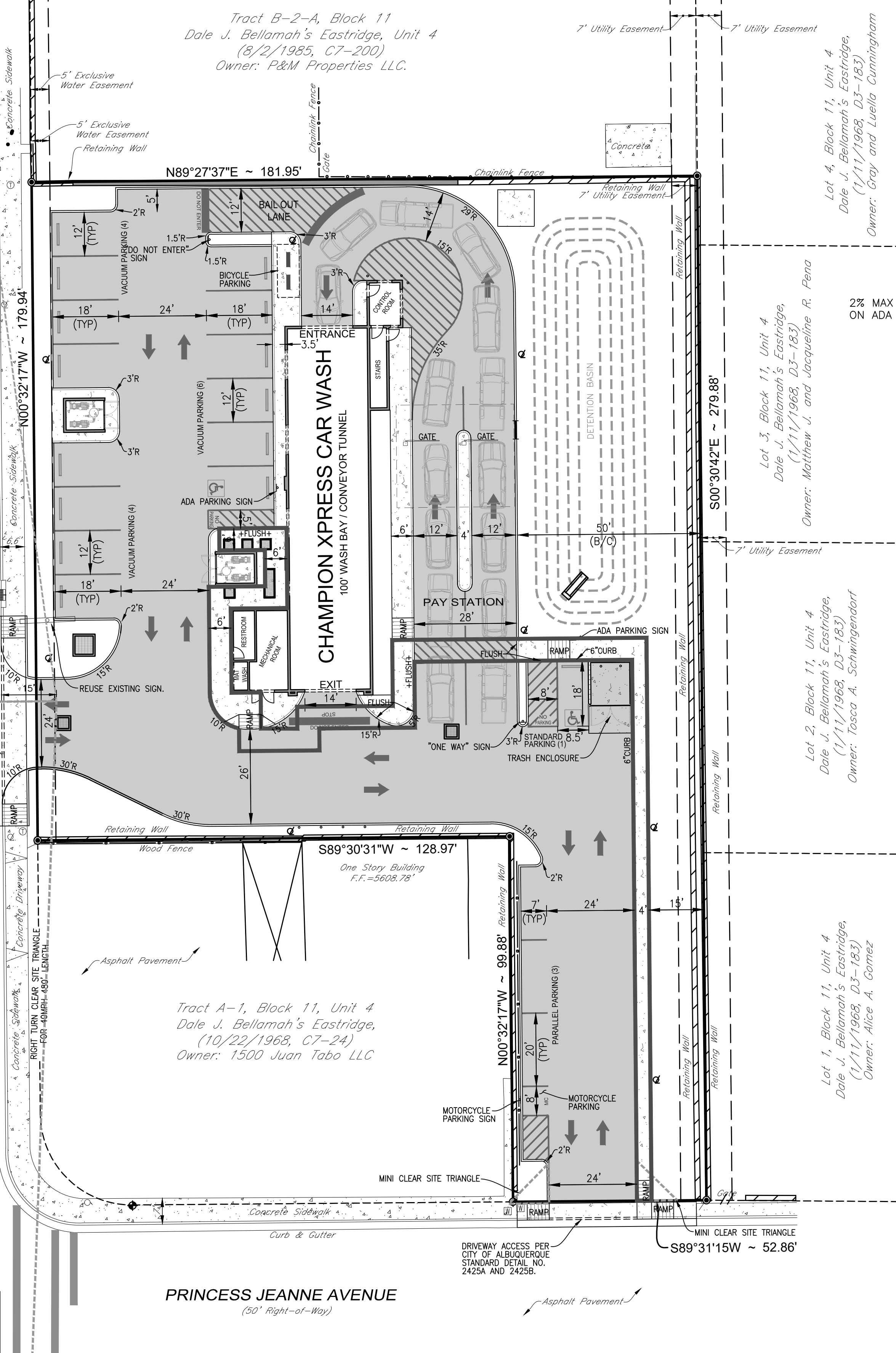


NOTES:  
1. FLANGE MOUNT TO PAVEMENT.  
2. ASTM A53 SCH.40 STEEL PIPE  
(2.375" O.D. x 0.154 WALL)  
3. 2 BIKE CAPACITY.

BICYCLE RACK DETAIL  
NOT TO SCALE

BICYCLE PARKING  
NOT TO SCALE

TAKE CAUTION DURING EXCAVATION:  
THERE ARE UNDERGROUND UTILITY MAINS IN THE CONSTRUCTION AREA WHICH  
MAY NOT HAVE BEEN LOCATED ACCURATELY BY THE SURVEYOR/UTILITY OWNERS.  
NOTIFY "811" IN ADVANCE OF DIGGING TO HAVE LINES MARKED.

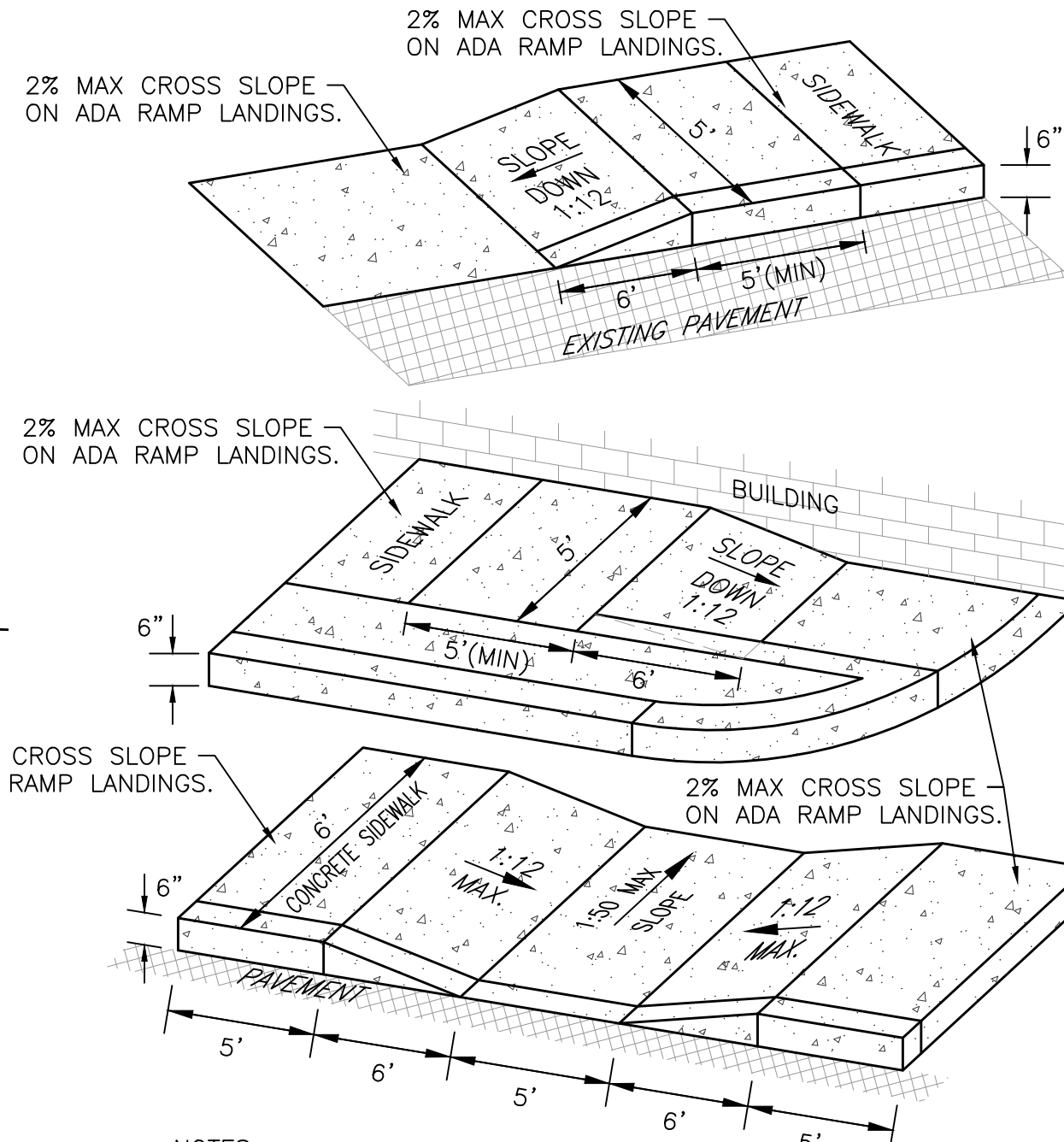


PARKING STRIPE / HATCH  
- 4" WIDE PAINTED STRIPES / 24" FOR STOP BAR.  
- HATCHING TO BE AT 45 DEGREE AND 2'-0" O.C.  
- STRIPING ON CONCRETE PAVEMENT TO BE PAINTED YELLOW.

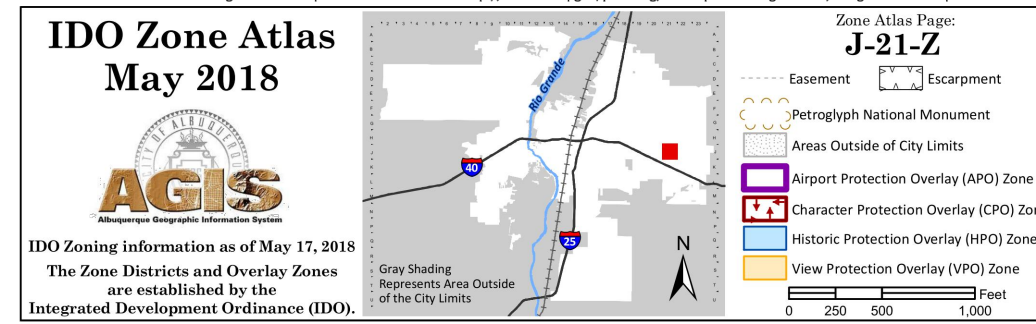
ACCESSIBLE PARKING SYMBOL & MARKING NOTES  
A paved accessible parking space must include:  
- The International Symbol of Access conspicuously on the surface in a color that contrasts the pavement.  
- The words "NO PARKING" painted on any access aisle adjacent to the parking space.  
Words must be painted in all capital letters with a letter height of at least twelve inches, a stroke width of at least two inches, and centered within each access aisle adjacent to the parking space.

WORK WITHIN PUBLIC RIGHT-OF-WAY  
REQUIRES DRC-APPROVED PLANS.

CLEAR SITE TRIANGLE NOTE:  
Landscaping, signage, walls, fences, trees,  
and shrubbery between 3 feet and 8 feet tall  
(as measured from the gutter pan) are not  
allowed within the clear site triangle.



NOTES:  
1. HANDICAP RAMPS TO BE INSTALLED PER ADA REQUIREMENTS AND  
PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING NO. 2440.  
ADA ACCESSIBLE RAMP DETAILS  
NOT TO SCALE



PROJECT SUMMARY  
Project will include the demolition and removal of existing structures, utilities, vegetation, pavement, etc. as necessary to construct a new Champions Xpress Car Wash and its associated pavement, parking facilities, utilities, landscaping, signage and any other proposed improvements which are needed to service the facility.

PROPERTY INFORMATION  
Address: 1520 Juan Tabo Blvd. NE, Albuquerque, NM 87112  
Legal Description: Tract lettered B-1, Block 11 Dale J. Bellamah's Eastridge Unit 4, City of Albuquerque, Bernalillo County, New Mexico.  
Area: 0.8730 Acres  
Zoning: MX-L, Mixed-Use-Low Intensity Zone District  
Flood Zone Designation: FIRM # 35001C0357H, effective date: August 16, 2012  
Zone "X": Areas determined to be outside the 0.2% annual chance floodplain

SITE AND PAVEMENT LEGEND

- CONCRETE WHEEL STOP
- ADA PARKING SYMBOL
- PROPOSED LIGHT POLE
- DIRECTIONAL PARKING LOT ARROW
- ADA ACCESSIBLE PEDESTRIAN PATHWAY
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT



Date	
Description	
Item	

SITE DEVELOPMENT PLANS FOR  
**CHAMPION XPRESS CAR WASH**  
1520 JUAN TABO BLVD NE  
CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO



Design: AFD	Proj: 21.215
Draw: AFD	Dwg: 21.215.dwg
Check: RJM	Tab: C2.0-SP
Scale: 1" = 20'	
Date: 01.28.2022	
Sheet: TRAFFIC CIRCULATION LAYOUT PLAN	
Sheet No.: C-2.0	