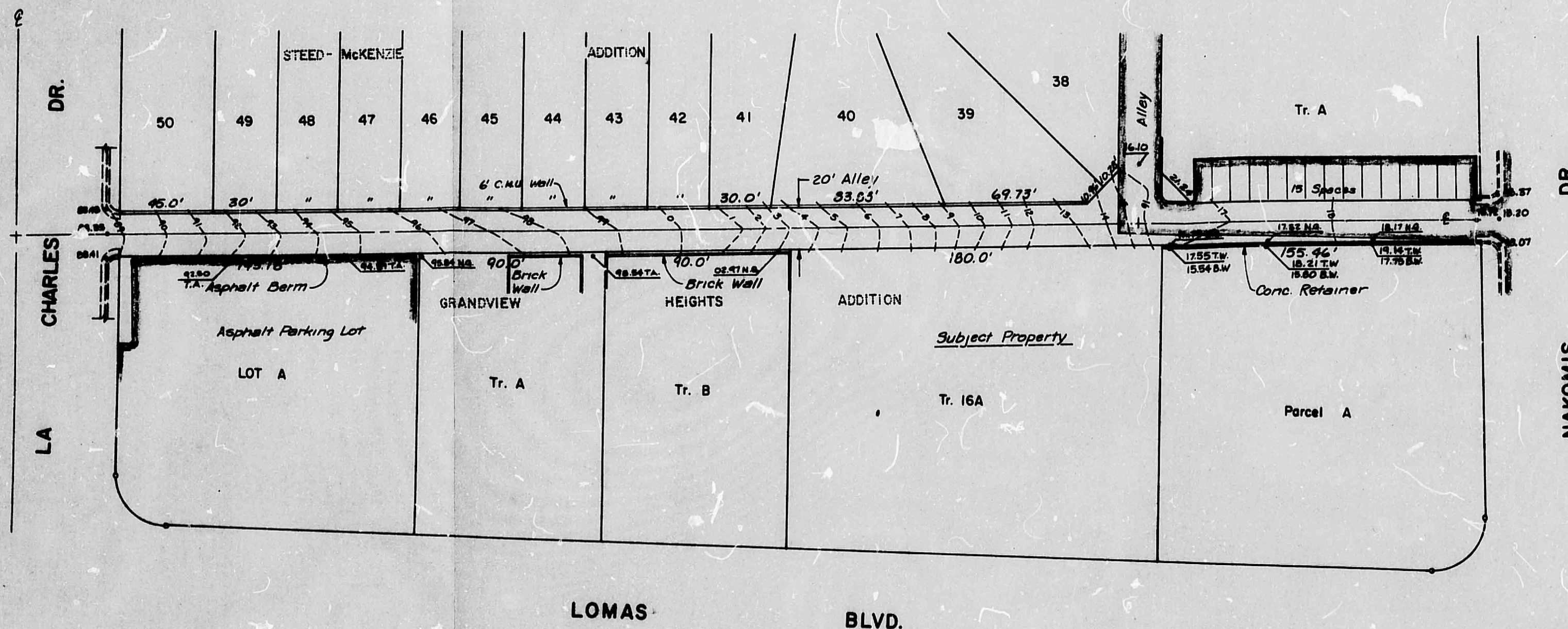


AP 151878

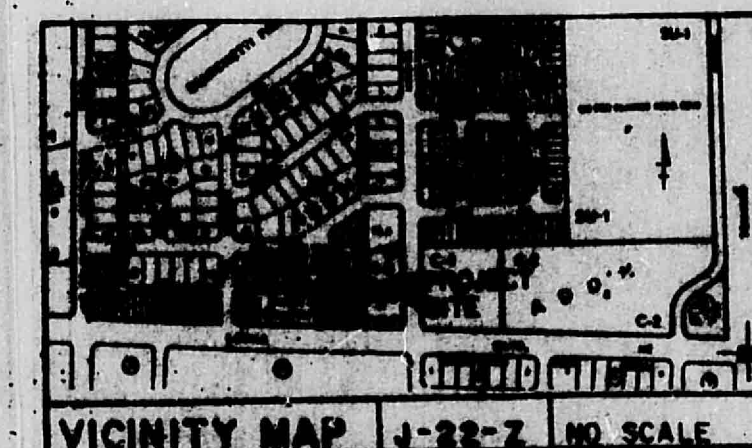


NOTICE TO CONTRACTORS

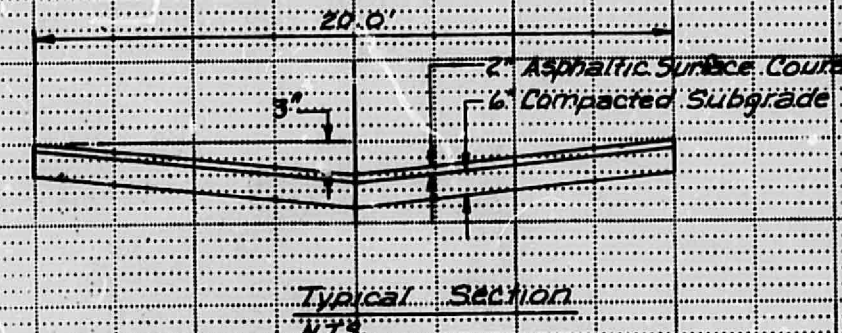
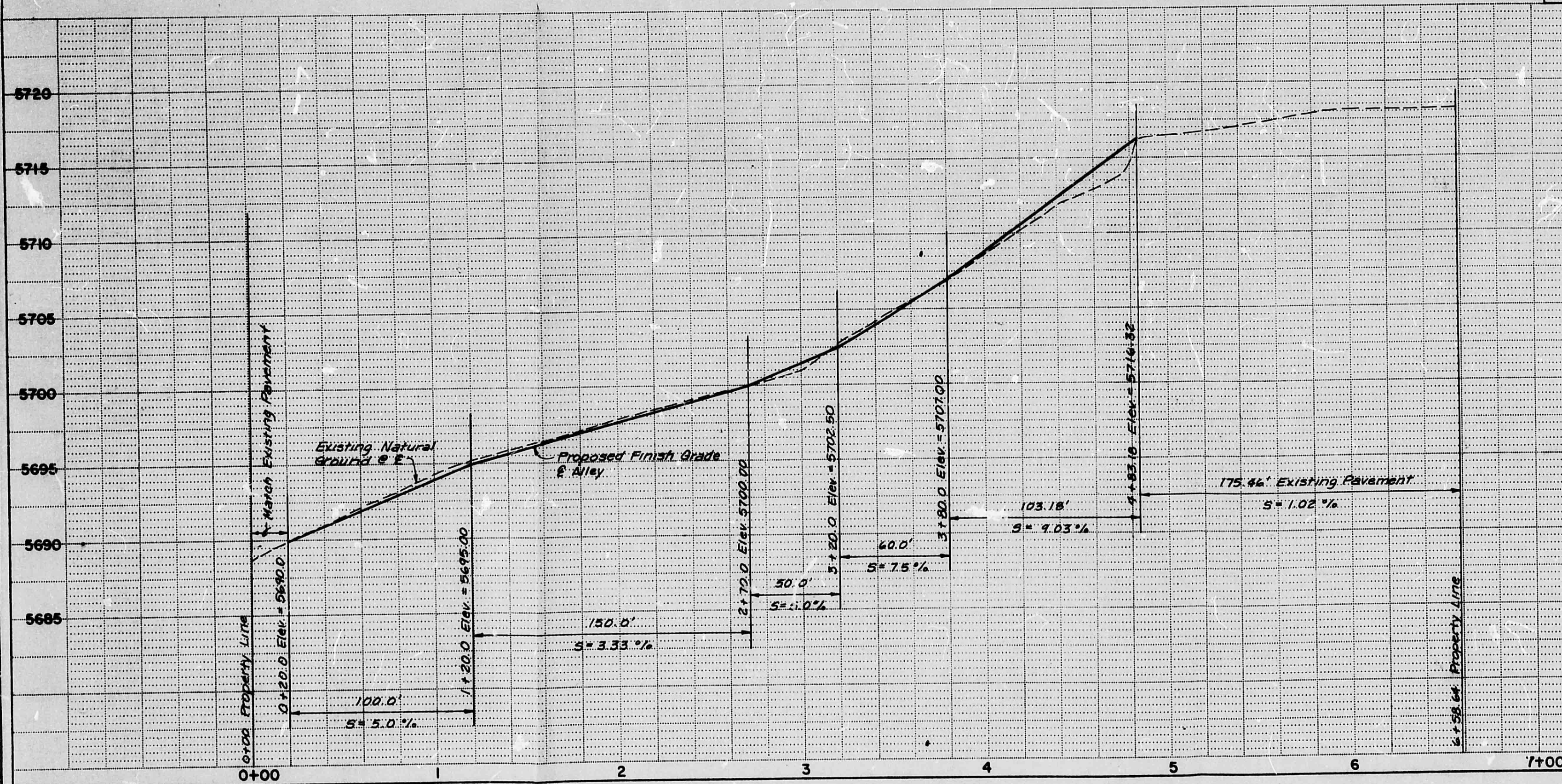
- All work detailed on these plans to be performed under contract shall, except as otherwise stated or provided for herein, be constructed in accordance with the New Mexico Standard Specifications for Public Works Construction 1979 Edition (referred to herein as the Standard Specifications) and the Contract Documents for Public Works Contract 85.
- Two (2) working days prior to any excavation, contractor must contact Line Locating Service, 785-1234, for location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all obstructions. Should a conflict exist, the contractor shall notify the engineer or surveyor so that the conflict can be resolved with a minimum amount of delay.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☐ All utilities and utility service lines shall be installed prior to paving.
- ☐ Backfill compaction shall be according to specified street use.
- ☐ Tack coat requirements shall be determined by the City Engineer.
- ☐ Sidewalk and wheelchair ramps within the curb returns shall be constructed wherever a new curb return is constructed.
- ☐ If curb is depressed for a driveway or a handicap ramp, the driveway or ramp shall be constructed prior to acceptance of the curb and gutter.
- ☐ All storm drainage facilities shall be completed prior to final acceptance.



SCALE:
1" = 40' HORIZONTAL
1" = 5' VERTICAL

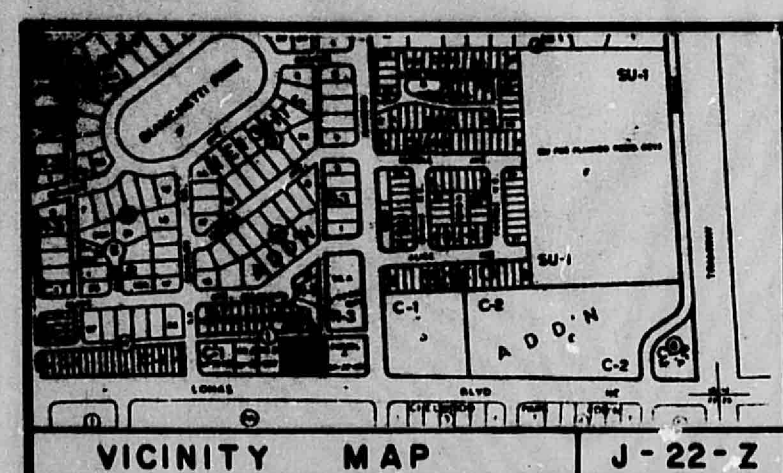


APPROVED FOR CONSTRUCTION
CITY ENGINEER DATE

CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION			
TITLE: ALLEY GRADES FOR ALLEY B/W LA CHARLES & NAKOMIS N. OF LOMAS			
APPROVALS	ENGINEER	DATE	APPROVALS
City Engineer			Liquid Waste
A.C.E.-Design			Traffic
A.C.E.-Hydrology			Water
DRAWING NO.	J-22	SHEET	1 OF 1

CITY OF ALBUQUERQUE
THIS MICROFILM IS THE BEST
POSSIBLE REPRODUCTION DUE
TO THE POOR QUALITY OF THE
ORIGINAL DOCUMENT

CITY OF ALBUQUERQUE



BENCHMARK
The Benchmark is located 1.3 miles north of the intersection of Tramway Blvd. and Lomas Blvd. in the median. The station mark is a standard ACS Brass cable stamped "2-355; 1982" set 0.4 feet below the ground within an 11 inch dia. steel monument box. The elevation of said benchmark is 5769.252 feet.

GRADING AND DRAINAGE PLAN OF LOTS 11-16 INCLUSIVE BLOCK I GRANDVIEW HEIGHTS ALBUQUERQUE, NEW MEXICO

I, JOHN F. ESQUIBEL, UNDER THE LAWS OF NEW MEXICO, CERTIFY THAT I AM A REGISTERED LAND SURVEYOR AND THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS OF RECORD, MEETS MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JOHN F. ESQUIBEL, N.M.L.S. NO. 5949

SITE DRAINAGE CRITERIA

This is a grading and drainage plan for the Hightower Car Wash, Albuquerque, New Mexico. This report consists of a hydrologic study of the probable 100-year storm affecting the site. The purpose of this plan is to route the generated runoff developed by this project and design free discharge into Lomas Blvd. N.E. The following are required by the City of Albuquerque Drainage Section concerning this drainage plan:

- Vicinity Map
- Grading and Drainage Plan
- Site Drainage Criteria

The plan shows:

- Existing contours at one foot intervals.
- Proposed grades indicated by contours and spot elevations.
- Swales and ponds as indicated by the legend shown.
- Grading and drainage plan.

This site does not lie within a designated flood hazard zone.

DRAINAGE NOTES AND CALCULATIONS

- Legal Description: Lots 11 through 16 inclusive, Block I of the Grandview Heights Subdivision, Albuquerque, New Mexico.
- Zoning: C-1, Zone Atlas No. J-22-2.
- Soil Type: As per the USDA Soil Conservation Report on Soils of Bernalillo County, this is defined as a sandy loam of the Hydrolic Group B. Hence, the C value as per the D.F.M. for use in the rational equation = 0.34.
- Offsite Flows: There are no offsite flows affecting this site.
- Undeveloped Conditions: This site is a vacant undeveloped lot. The terrain slopes from east to west and its generated flow is in short flow mode. The total area of this tract is 26,466.388 S.F. or 0.6075 Ac. contributing runoff. The total flow amount under an undeveloped condition is shown heretofore:

$$I = P(0.84) \cdot C = 0.51 \cdot 4.88 \text{ in./hr.} \cdot t_r = 10 \text{ min.}$$

$$Q_{undeveloped} = CIA = 0.34(4.88)(0.6075) = 1.007 \text{ cfs.}$$

- Developed Drainage Plan: According to the pre-design meeting with the Hydrologist at the City Engineers Office on 7-19-85, the site will require free discharge through the driveway into Lomas Blvd. The site will also require city approved grades for the alley to the north of the site.

Roof and Pavement Area = 21,144.658 S.F. or 0.4788 Ac.
Landscape Area = 1,251.750 S.F. or 0.0287 Ac.
Total area contributing to runoff = 22,406.388 S.F. or 0.6075 Ac.

$$C_{comp} = 0.90(0.5788) + 0.34(0.0287) = 0.6075$$

$$C_{comp} = 0.6075 \quad I = 4.88 \quad A = 0.6075$$

$$Q_{peak} 100 = CIA = 0.876(4.88)(0.6075) = 2.59 \text{ cfs.}$$

The total runoff from the site will be a maximum developed Q of 2.59 cfs distributed into 3 drainage areas as follows:

Area I: Runoff Calculations for Roof, Paved and Landscape Areas

Roof and Paved Area = 0.1831 Ac.

Landscape Area = 0.0291 Ac.

Total Area I = 0.2122 Ac.

$$C_{comp} = 0.90(0.1831) + 0.34(0.0291) = 0.7797 \text{ cfs}$$

$$I = 4.88 \quad A = 0.2122$$

$$Q_{peak} 100 = CIA = 0.7797(4.88)(0.2122) = 0.8073 \text{ cfs}$$

Area II: Runoff Calculations for Roof, Paved and Landscape Areas

Roof and Paved Area = 0.3455 Ac.

Landscape Area = 0.0288 Ac.

Total Area II = 0.3743 Ac.

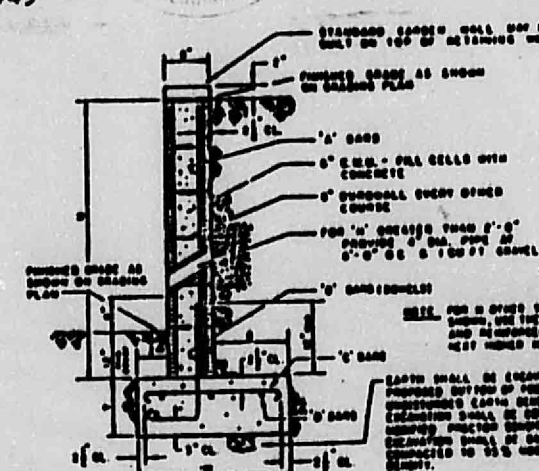
$$C_{comp} = 0.90(0.3455) + 0.34(0.0288) = 0.8569 \text{ cfs}$$

$$I = 4.88 \quad A = 0.3743$$

$$Q_{peak} 100 = CIA = 0.8569(4.88)(0.3743) = 1.5652 \text{ cfs}$$

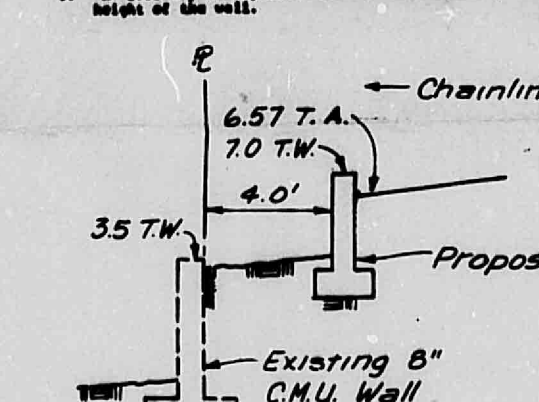
Total cfs Area I and Area II = 2.452 cfs

Note: The lot lines will be removed pending approval of replat now in process.



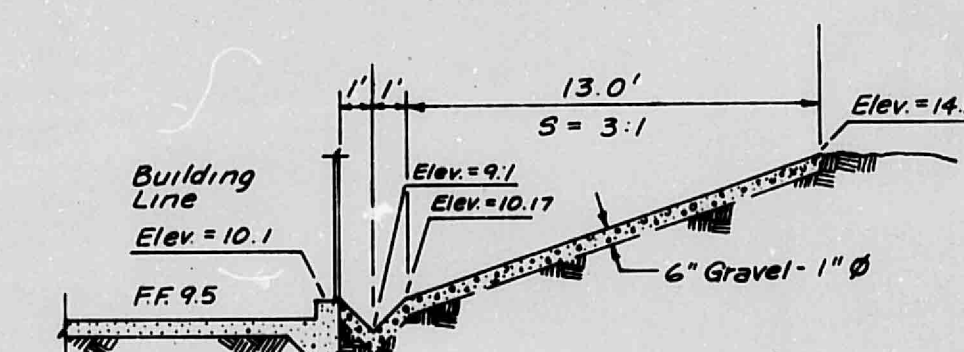
CONCRETE BLOCK RETAINING WALL	
1. Design and construct retaining wall to meet the following criteria:	
2. Retaining wall height shall not exceed 10 feet.	
3. Retaining wall shall be constructed of concrete blocks.	
4. All retaining walls shall be constructed with a minimum 12 inch wide base.	
5. All retaining walls shall be constructed with a minimum 12 inch wide top.	
6. Retaining walls shall be constructed with a minimum 12 inch wide base.	
7. Retaining walls shall be constructed with a minimum 12 inch wide top.	

- Design and construct retaining wall to meet the following criteria:
- Retaining wall height shall not exceed 10 feet.
- Retaining wall shall be constructed of concrete blocks.
- All retaining walls shall be constructed with a minimum 12 inch wide base.
- All retaining walls shall be constructed with a minimum 12 inch wide top.
- Retaining walls shall be constructed with a minimum 12 inch wide base.
- Retaining walls shall be constructed with a minimum 12 inch wide top.



DETAIL A-A

N.T.S.



DETAIL B-B

N.T.S.

LEGEND

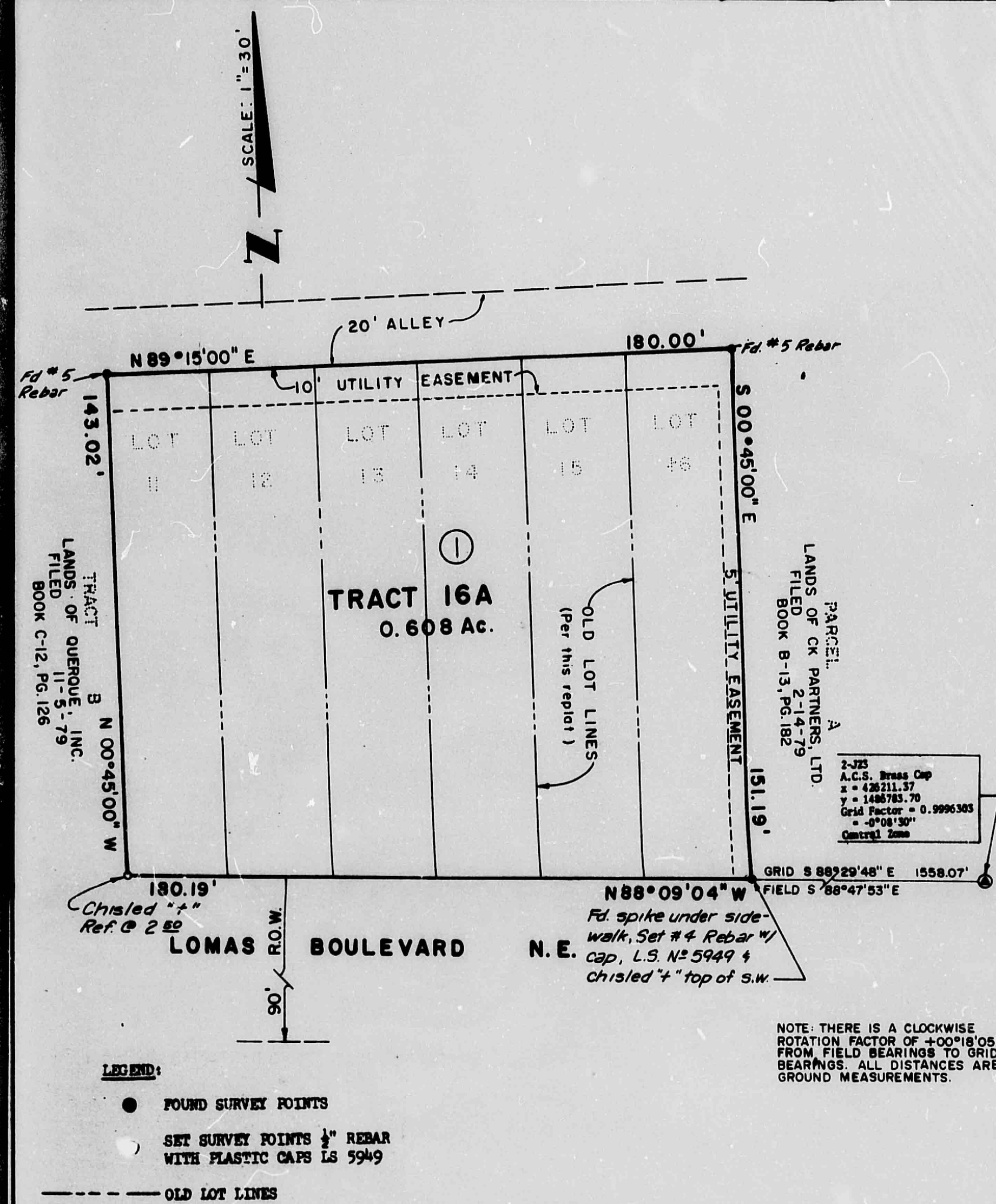
- ADJUSTED ELEVATION
- LANDSCAPE AREA
- PROPERTY LINE
- SEWERING CURB & GUTTER W/REINFORCEMENT
- SEWERING SLOPE ELIMINATION
- SEWERING CURB
- SEWERING SLOPE ELIMINATION
- PROPOSED FLOOD CONTROL
- PROPOSED FLOOD CONTROL
- TOP OF ASPHALT
- SEWERING SLOPE ELIMINATION
- TOP OF CURB

REFINED
AUG 21 1985
HYDROLOGY SECTION

A & E ENGINEERING INC.
Civil, Mechanical, Land Planning, and Surveying
100 SAN PEDRO N.E. - SUITE 101
ALBUQUERQUE, NEW MEXICO 87102 (505) 291-1711

CITY OF ALBUQUERQUE
THIS MICROFILM IS THE BEST
POSSIBLE REPRODUCTION DUE
TO THE POOR QUALITY OF THE
ORIGINAL DOCUMENT

CITY OF ALBUQUERQUE

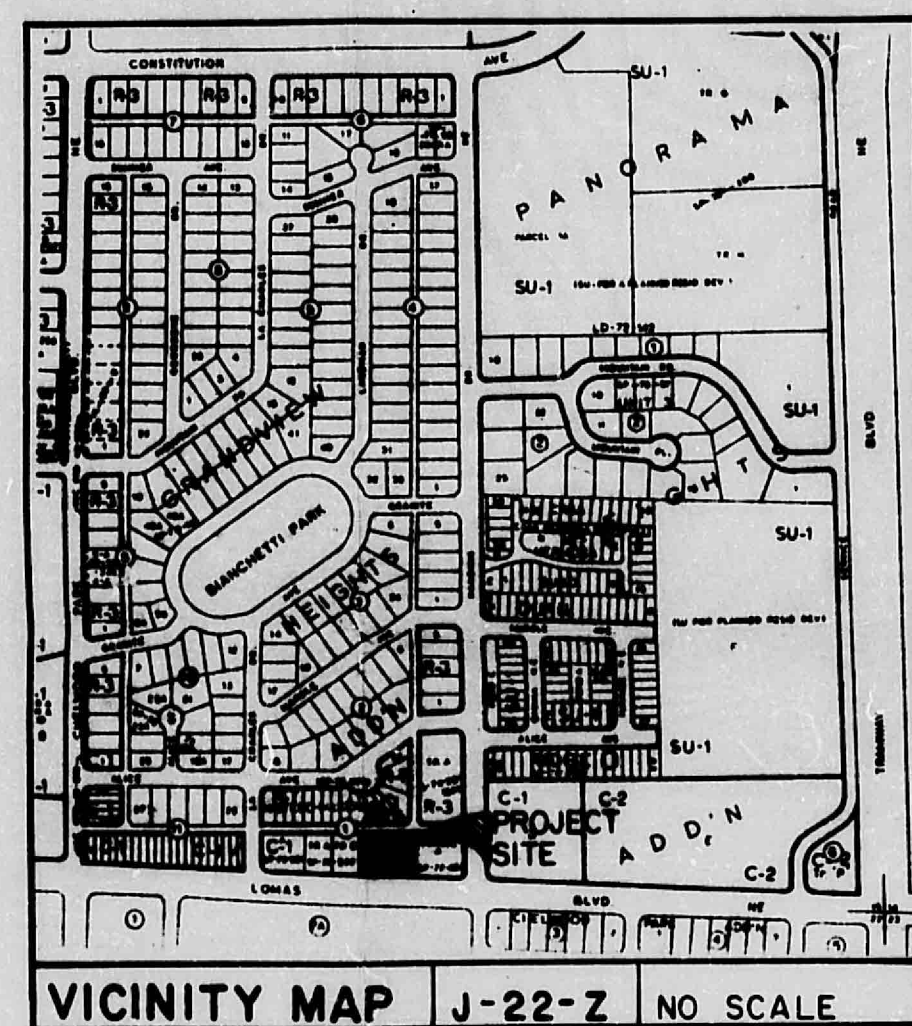


BENCHMARK

The Benchmark is located 1.3 miles north of the intersection of Tramway Blvd. and Lomas Blvd. in the median. The station mark is a standard ACS Brass tablet stamped '2-J23; 1982' set 0.4 feet below the ground within an 11 inch dia. steel monument box. The elevation of said benchmark is 5769.252 feet.

WATER AVAILABILITY STATEMENT

Prior to development, City of Albuquerque water and sanitary sewer service must be verified and coordinated with the Water Resource Department, City of Albuquerque via an availability statement.



Subdivision No. Approved and Accepted by
County Of Bernalillo
TALUS LOG NUMBER 08-07-523
ZONE ATLAS INDEX NUMBER J-22-Z
APPROVED *Robert D. ...* 8-14-85
CITY OF ALBUQUERQUE, BERNALILLO COUNTY
PLANNING DIVISION
DATE: 8-14-85
PLATE NO. SP-85-349
DRS-84-397-1
APPROVED: *...* 8/13/85
PROPERTY MANAGEMENT
APPROVED: *Na*
TRAFFIC ENGINEER
APPROVED: *Na*
CITY ENGINEER
APPROVED: *Na*
PARKS AND RECREATION DEPARTMENT
APPROVED: *Na*
WATER RESOURCES DEPARTMENT
APPROVED: *DeJ Chis* 081365
CITY SURVEYOR
APPROVED: *Na*
A.N.A.F.C.A.

85 69404 PLAT SHOWING TRACT 16A BEING AND COMPRISING LOTS 11-16, BLK. I, GRANDVIEW HEIGHTS ALBUQUERQUE, NEW MEXICO JULY 1985

State of New Mexico } SS
County of Bernalillo
This instrument was filed for record
ON 827 AUG 21 1985
At 10:00 clock P.M. Recorded in Vol. 1985
of records of said County Folio 129
Clerk & Recorder
Deputy Clerk

LEGAL DESCRIPTION

A certain tract of land, being and comprising lots 11 thru 16, Blk. I of Grandview Heights, and addition to the City of Albuquerque, New Mexico, plat of which has been filed in the office of the County clerk of Bernalillo County, New Mexico, on September 15, 1984, book B-1 and page 129, and being more particularly described by notes and bounds as follows:

Beginning at the South West corner and running on a bearing of N 00° 45' W, a distance of 143.02 feet to the North West corner of said tract; Thence N 89° 15' E, a distance of 180.00 feet to the North East corner of said tract; Thence S 00° 45' E, a distance of 151.19 feet to the South East corner of said tract; Thence N 88° 09' 04" W, a distance of 180.19 feet to the South West corner, being the point and place of beginning, containing an area of 0.608 acres more or less.

Surveyed, replatted, and now being identified as TRACT 16 A, Grandview Heights, Albuquerque, Bernalillo County, New Mexico, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof.

Mr. Ken Hightower

Date: 8-2-85

STATE OF NEW MEXICO } SS
COUNTY OF BERNALILLO

ON THIS 9th DAY OF AUGUST 1985
BEFORE ME, a Notary Public in and for said
COUNTY AND STATE, the foregoing instrument
WAS ACKNOWLEDGED BEFORE ME.

NOTARY PUBLIC: *John F. Esquivel*
MY COMMISSION EXPIRES: 1-21-89

I, JOHN F. ESQUIVEL, UNDER THE LAWS OF NEW MEXICO, CERTIFY THAT I AM A REGISTERED LAND SURVEYOR AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS OF RECORD, MEETS MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

STATE OF NEW MEXICO } SS
COUNTY OF BERNALILLO

ON THIS 9th DAY OF AUGUST 1985
BEFORE ME, a Notary Public in and for said
COUNTY AND STATE, the foregoing instrument
WAS ACKNOWLEDGED BEFORE ME.

NOTARY PUBLIC:
MY COMMISSION EXPIRES:

RECEIVED
AUG 21 1985
HYDROLOGY SEC.

JOHN F. ESQUIVEL, N.W.S., No. 5949
CITY OF ALBUQUERQUE, N.M.

A & E ENGINEERING INC.
1200 SAN PEDRO N.E. - SUITE 101
ALBUQUERQUE, NEW MEXICO 87110 (505) 268-8791

CITY OF ALBUQUERQUE
THIS MICROFILM IS THE BEST
POSSIBLE REPRODUCTION DUE
TO THE POOR QUALITY OF THE
ORIGINAL DOCUMENT

CITY OF ALBUQUERQUE