



SCOTT M MCGEE PE, LLC
CIVIL ENGINEER

FROM PROJECT INCEPTION TO CONSTRUCTION COMPLETION

December 6, 2016

Mr. Abiel Carrillo, PE
City of Albuquerque
Hydrology Department
P.O. Box 1293
600 2nd Street NW
Albuquerque, NM 87103

RE: Albuquerque School of Excellence – Remodel
13201 Lomas Blvd NE, Albuquerque, NM 87112
(J-22/D050)
Building Permit NO. 201691547

Final Certificate of Occupancy

Dear Mr. Carrillo:

The Owner of the project referenced above has decided to not perform some of the Site Improvements on the project as described and illustrated in the Drawings and on the Grading and Drainage Plan, Sheet C-101.

The playground/recreation areas on the west side of the building (within the parking lot) and on the east side of the building will not be constructed at this time. The asphalt areas will remain as is.

These items were redlined in the City and General Contractor's Permit Sets.

Therefore, as suggested by Monica Ortiz, we are requesting to withdraw the Grading and Drainage Plan from the Permit Set for a Final Certificate of Occupancy, and therefore request the withdrawal of Hydrology Review as a condition of approval for Final Certificate of Occupancy.

If you have any questions or additional concerns, please contact me.

Scott M McGee PE

9700 Tanoan Dr NE • ABQ, NM 87111 • 505.263.2905 • scottmmcgee@gmail.com

CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

June 29, 2016

Scott McGee, PE
Scott M. McGee PE, LLC
9700 Tanoan Dr. NE
Albuquerque, NM 87111

**RE: Albuquerque School of Excellence
13201 Lomas Blvd NE
Grading and Drainage Plan
Engineers Stamp Date 6/28/16 (J22D050)**

Dear Mr. McGee,

Based upon the information provided in your submittal received 6/29/16, this plan is approved for Grading Permit and Paving Permit.

Please attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Hydrology
Planning Department

RR/AC
C: File



DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

FASTRAK

J22 D050

Project Title: ABQ SCHOOL OF EXCELLENCE

Building Permit #:

City Drainage #: K-22

DRB#:

EPC#:

Work Order#:

Legal Description:

City Address: 13201 LOMAS BLVD NEEngineering Firm: SMMPE, LLCContact: SCOTT MCGEEAddress: 9700 TANDAN DR NEPhone#: 263-2905

Fax#:

E-mail:

Owner: ABQ SCHOOL OF EXCELLENCE

Contact:

Address: 13201 LOMAS BLVD NE

Phone#:

Fax#:

E-mail:

Architect: LEE GAMELSKYContact: LEE GAMELSKYAddress: 2412 MILES RD SEPhone#: 239-8368

Fax#:

E-mail:

Other Contact:

Contact:

Address:

Phone#:

Fax#:

E-mail:

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

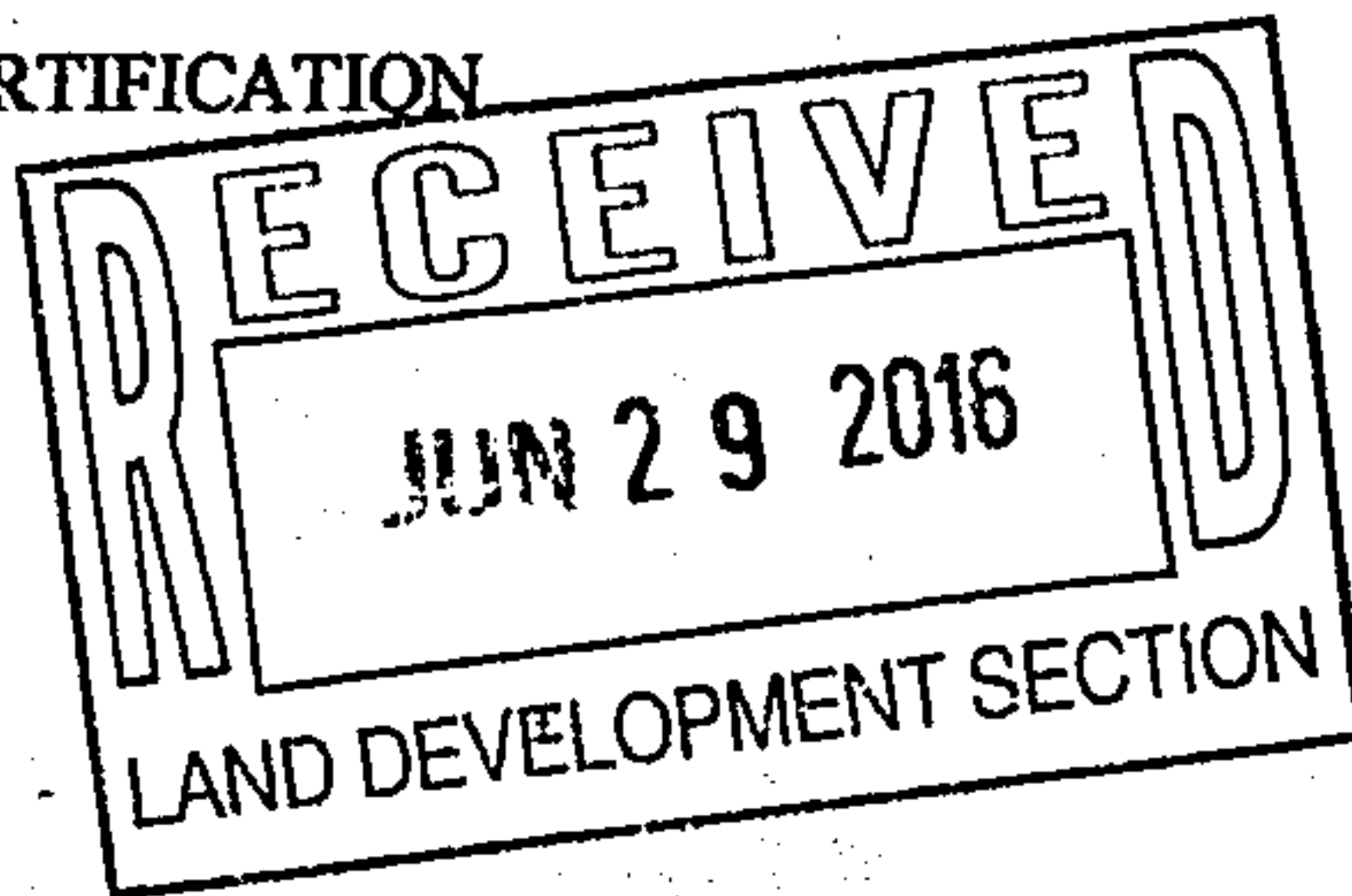
- ☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ NoDATE SUBMITTED: 6-29-16 By: SCOTT MCGEE

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

Rael, Rudy E.

From: Rael, Rudy E.
Sent: Tuesday, June 28, 2016 1:48 PM
To: 'Scott McGee (scottmmcgee@gmail.com)'
Cc: Abiel X. Carrillo
Subject: ABQ School of Excellence

Mr. McGee;

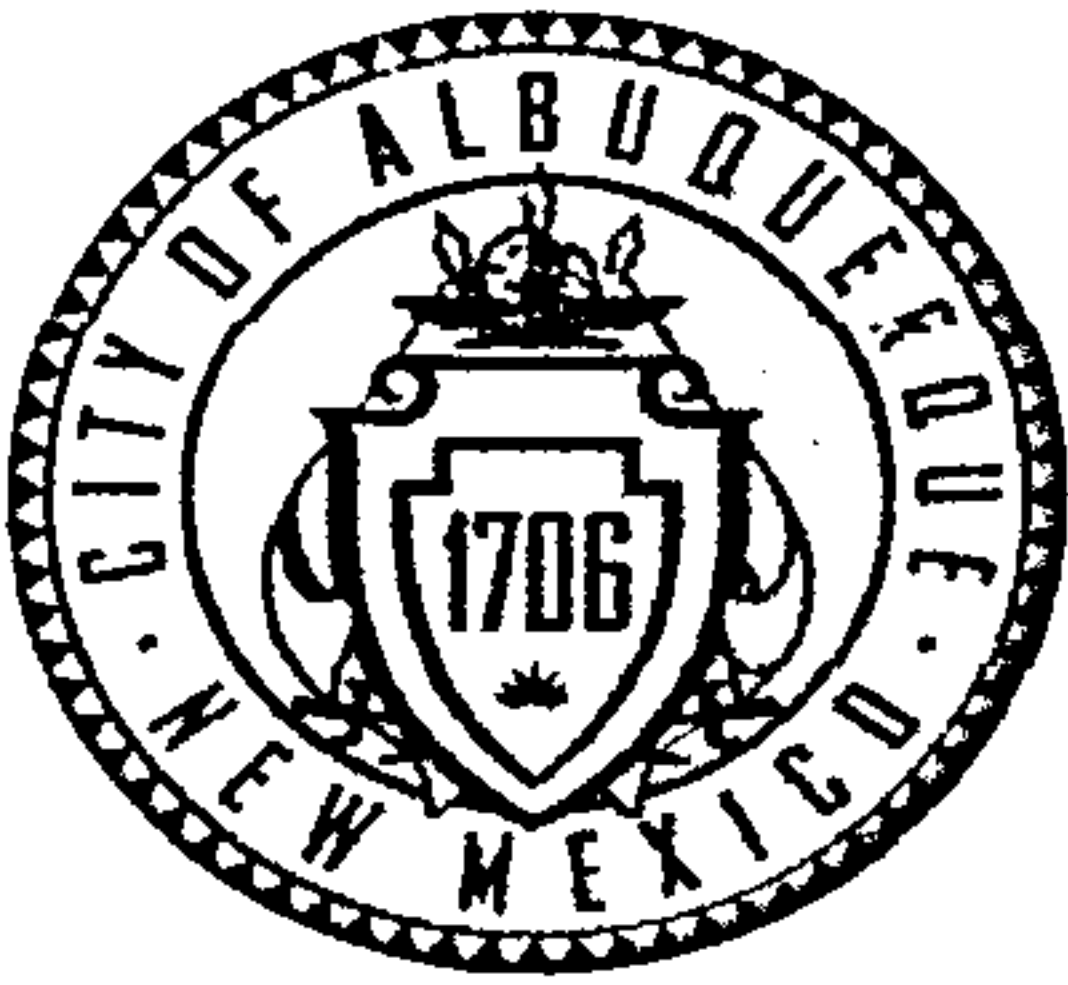
This email is being sent in lieu of an attached comment letter in order to expedite our response to previous comments. Response to comments should continue to be included in the resubmittal. A reply to these comments via email will not be considered a resubmittal.

Based upon the information provided in your resubmittal received 6/10/16, the above referenced Grading and Drainage plan cannot be approved for Building Permit until the following comments are addressed:

- Provide a detail for the 4" perforated pipe. Show how it will be kept from clogging.
- Show the pond the plan. Provide inlets and outlets.
- If the pond is being used for the First Flush, it must be cleaned, free of weeds and what not.
- Is it possible to provide curb openings in the landscape Islands for first flush ponding?
- Label the double line on the east side of the building. What is it, wall, curb, etc.?

If you should have any questions feel free to contact me or Abiel Carrillo at 924-3986

Rudy E. Rael, CE, CFM
Engineer Associate, Hydrology
Planning Department
600 2nd St. NW Suite 201
Albuquerque NM 87102
(505) 924-3977



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

FASTRAK

J22D050

Project Title: ABQ SCHOOL OF EXCELLENCE Building Permit #: _____ City Drainage #: 1632
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: _____
City Address: 13201 LOMAS BLVD NE
Engineering Firm: SMMPE, LLC Contact: SCOTT MCGEE
Address: 9700 TANDAN DR NE
Phone#: 263-2905 Fax#: _____ E-mail: _____
Owner: ABQ SCHOOL OF EXCELLENCE Contact: _____
Address: 13201 LOMAS BLVD NE
Phone#: _____ Fax#: _____ E-mail: _____
Architect: LEE GAMELSKY Contact: LEE GAMELSKY
Address: 2412 MILES RD SE
Phone#: 239-8368 Fax#: _____ E-mail: _____
Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

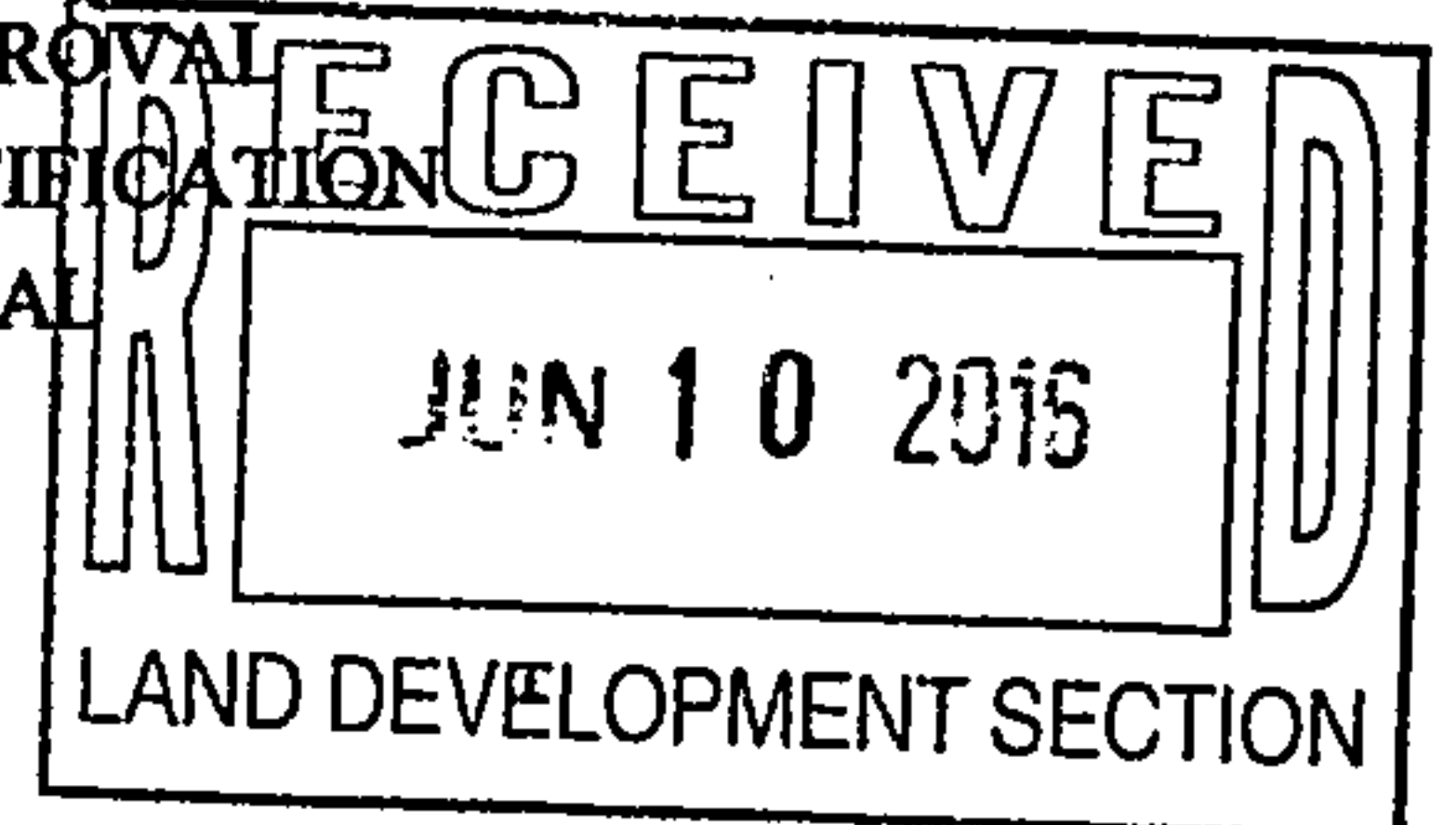
TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

\$50,000

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 6-10-16 By: SCOTT MCGEE

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

LEE GAMELSKY ARCHITECTS P.C.

6 December 2016

Ms. Racquel Michel
City of Albuquerque
Transportation Development
P.O. Box 1293
600 2nd Street NW
Albuquerque, NM 87103

RE: Albuquerque School of Excellence -- Remodel
13201 Lomas Blvd NE, Albuquerque, NM 87112

Building Permit NO. 201691547

Final Certificate of Occupancy: Traffic Circulation Layout

Dear Ms. Michel:

The Owner of the project referenced above has decided to not perform some of the Site Improvements on the project as described and illustrated in the Drawings and TCL. The playground/recreation areas on the west side of the building (within the parking lot) and on the east side of the building will not be constructed at this time. The asphalt areas will remain as is.

These items were redlined in the City and General Contractor's Permit Sets.

Therefore, as suggested by Monica Ortiz, we would like to withdraw the TCL from the Permit Set and not have that work as a condition of approval for a Final Certificate of Occupancy.

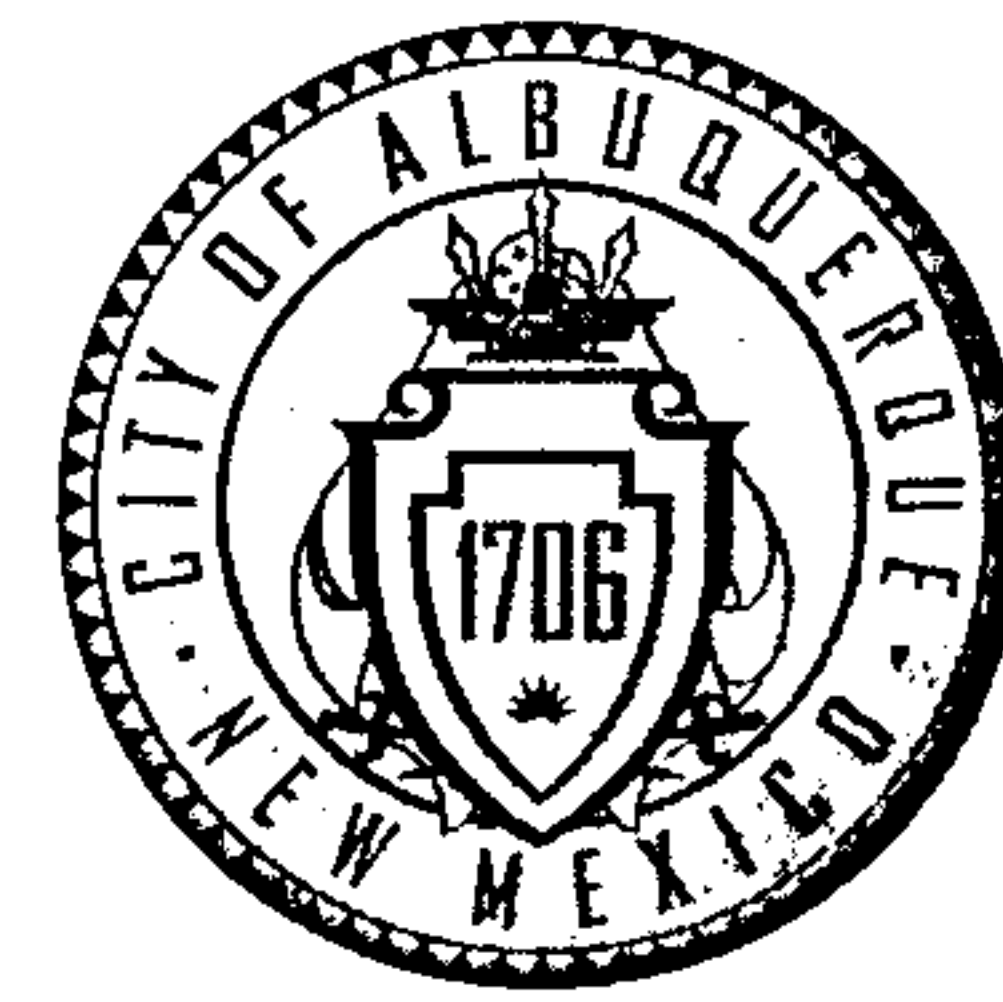
If you have any questions or additional concerns, please contact me.

Sincerely,


Lee Gamelsky AIA, Principal



CITY OF ALBUQUERQUE



July 12, 2016

Lee Gamelsky
Lee Gamelsky Architects
2412 Miles Rd., SE
Albuquerque, NM

Re: ABQ School of Excellence
13201 Lomas Blvd., NE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 7-7-16 (J22-D050)

Dear Mr. Gamelsky,

The TCL submittal received 7-11-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

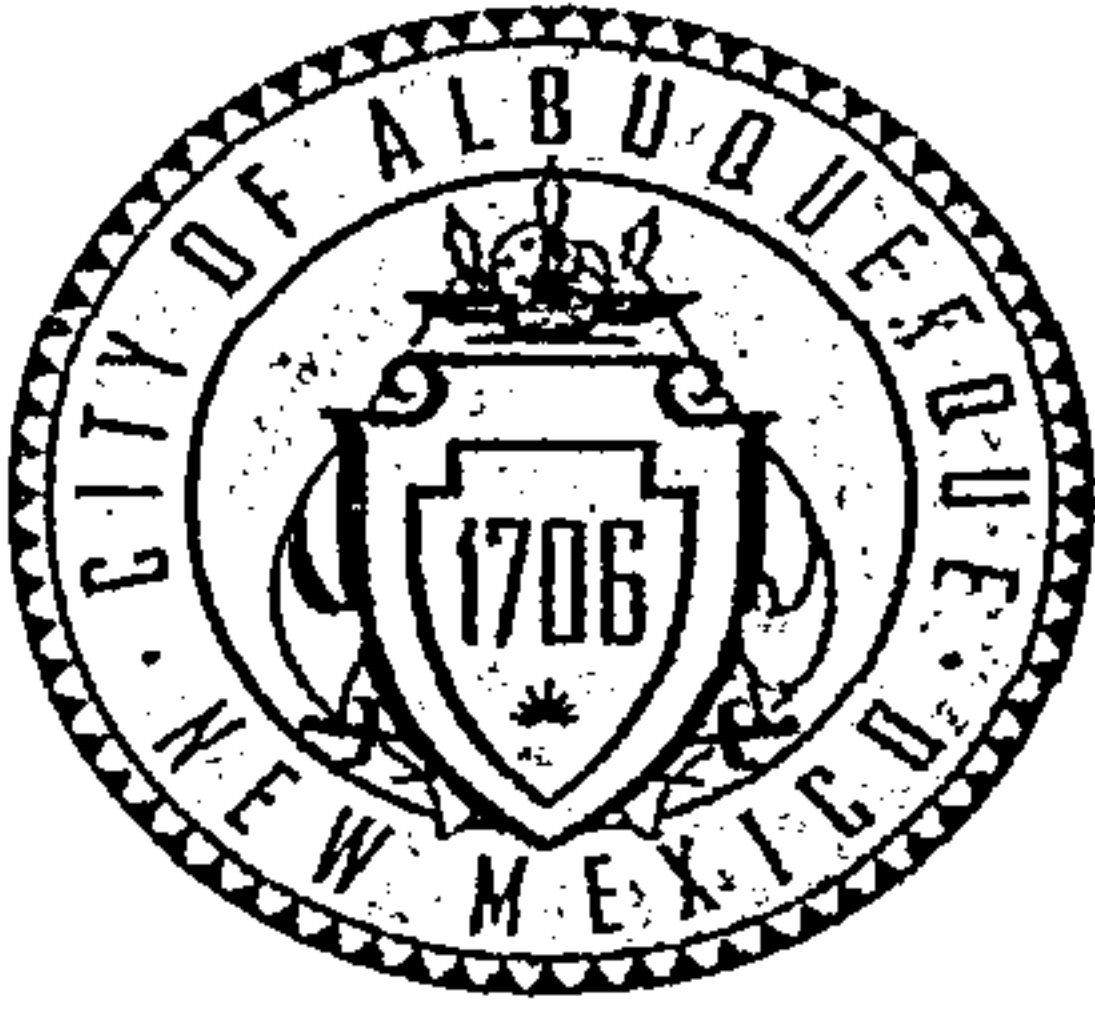
When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

FASTRAK

Project Title: **ABQ SCHOOL X² EXCELLENCE** Building Permit #: **T201691547** City Drainage #: **J22D050**

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: **PARCEL E-1-A PANORAMA HEIGHTS ADDN**

City Address: **13201 LOMAS BLVD NE 97112**

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

X Architect: **LEE GAMBELSKY ARCHITECTS** Contact: **LEE GAMBELSKY**

Address: **2412 MILES RD. SE**

Phone#: **842-8865** Fax#: **842-1693** E-mail: **LEE@LGANFI.COM**

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/DRAINAGE
☒ TRAFFIC/TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

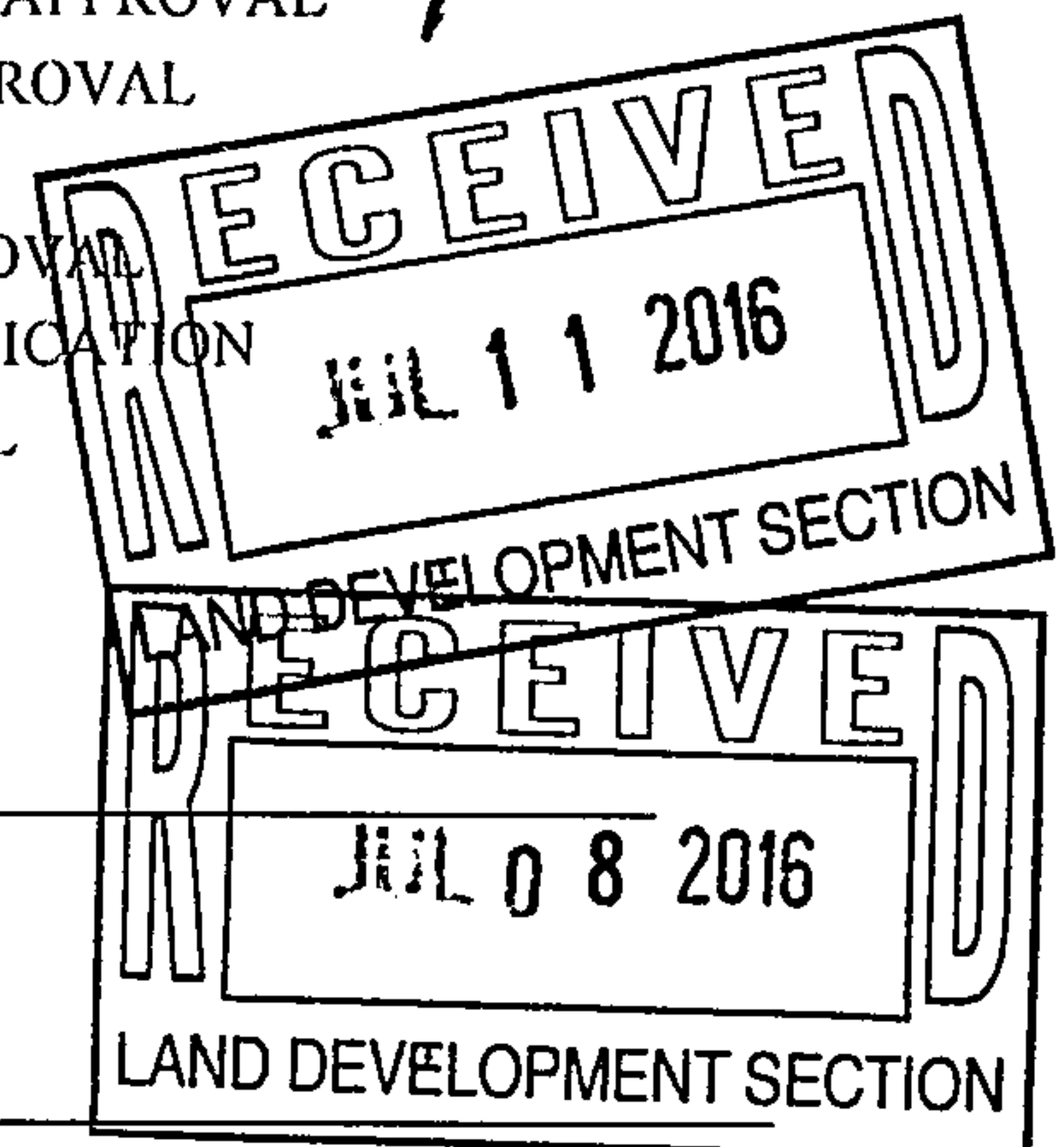
DATE SUBMITTED: _____ By: _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE



July 5, 2016

Lee Gamelsky
Lee Gamelsky Architects, PC
2412 Miles Rd., SE
Albuquerque, NM

Re: ABQ School of Excellence Charter School
13201 Lomas Blvd., NE
Traffic Circulation Layout
Engineer's/Architect's Stamp 6-28-16 (J22-D050)

Dear Mr. Gamelsky,

Based upon the information provided in your submittal received 7-1-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please identify all existing buildings, doors, sidewalks, ADA ramps, curbs, drive pads, wall and anything that influences the parking and circulation on the site.
2. Please call out ADA ramps and truncated domes on drive pad crossings, which are required at all public ROW crossings.
3. Identify all existing access easements and rights of way width dimensions.
4. Identify the right of way width, medians, curb cuts, and street widths on Lomas Blvd. and Tramway Service Rd. Please detail the drive pad width north of the entrance off of Lomas Blvd.,
5. The handicap accessible spaces must be a minimum of 8.5 ft. in width.
6. The handicap accessible spaces must include an 8 ft. wide van access aisle; all other aisles should be 5 ft. in width.
7. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs.
8. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
9. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details. In review of the submitted drawing, the proposed ADA access from the ROW is 5 ft. in width.

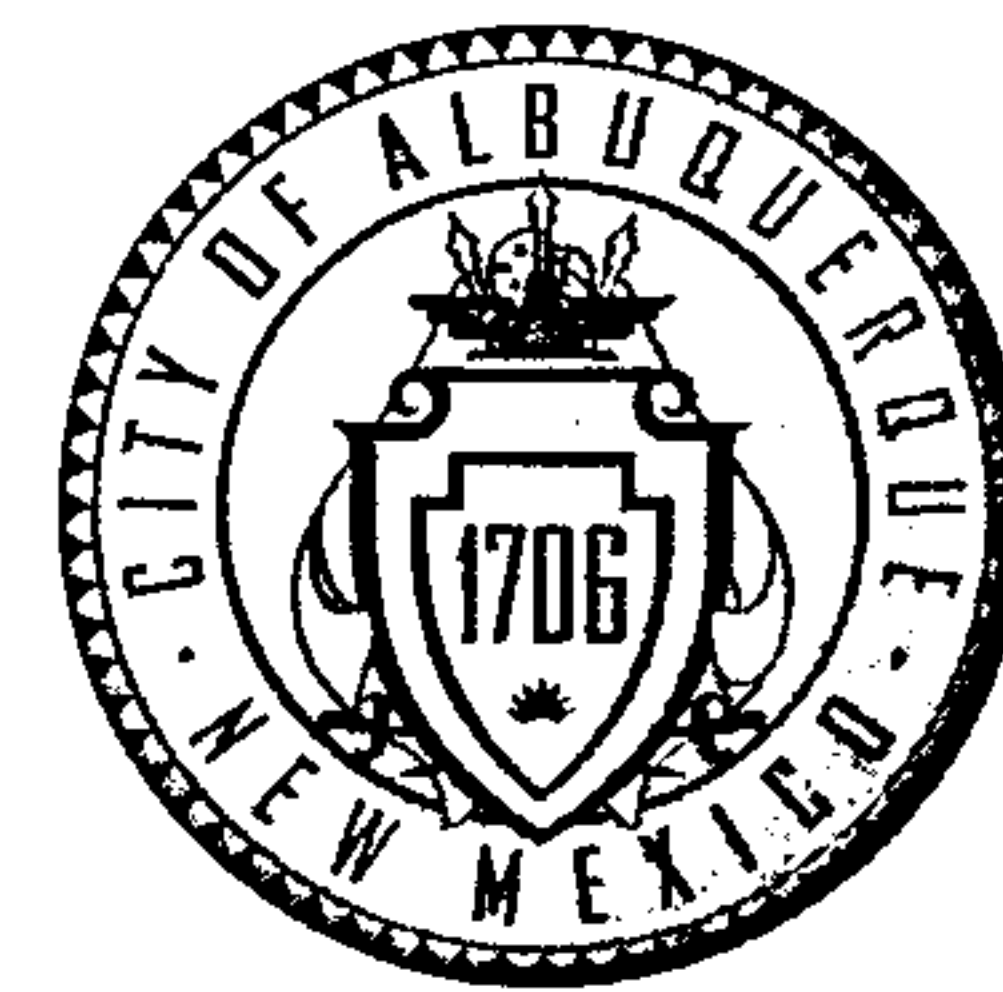
PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



10. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details. It not permissible to have the ADA access isle from the HC parking guide pedestrians behind parking spaces in order to enter building.
11. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb.
12. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
13. One-way vehicular paths require pavement directional signage and a posted "Do Not Enter" sign at the point of egress. Please show detail and location of
14. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3*). Please show this detail for the entrance/exit on Lomas Blvd.
15. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
16. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
17. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
18. Please include two copies of the traffic circulation layout at the next submittal.

PO Box 1293

Albuquerque

New Mexico 87103

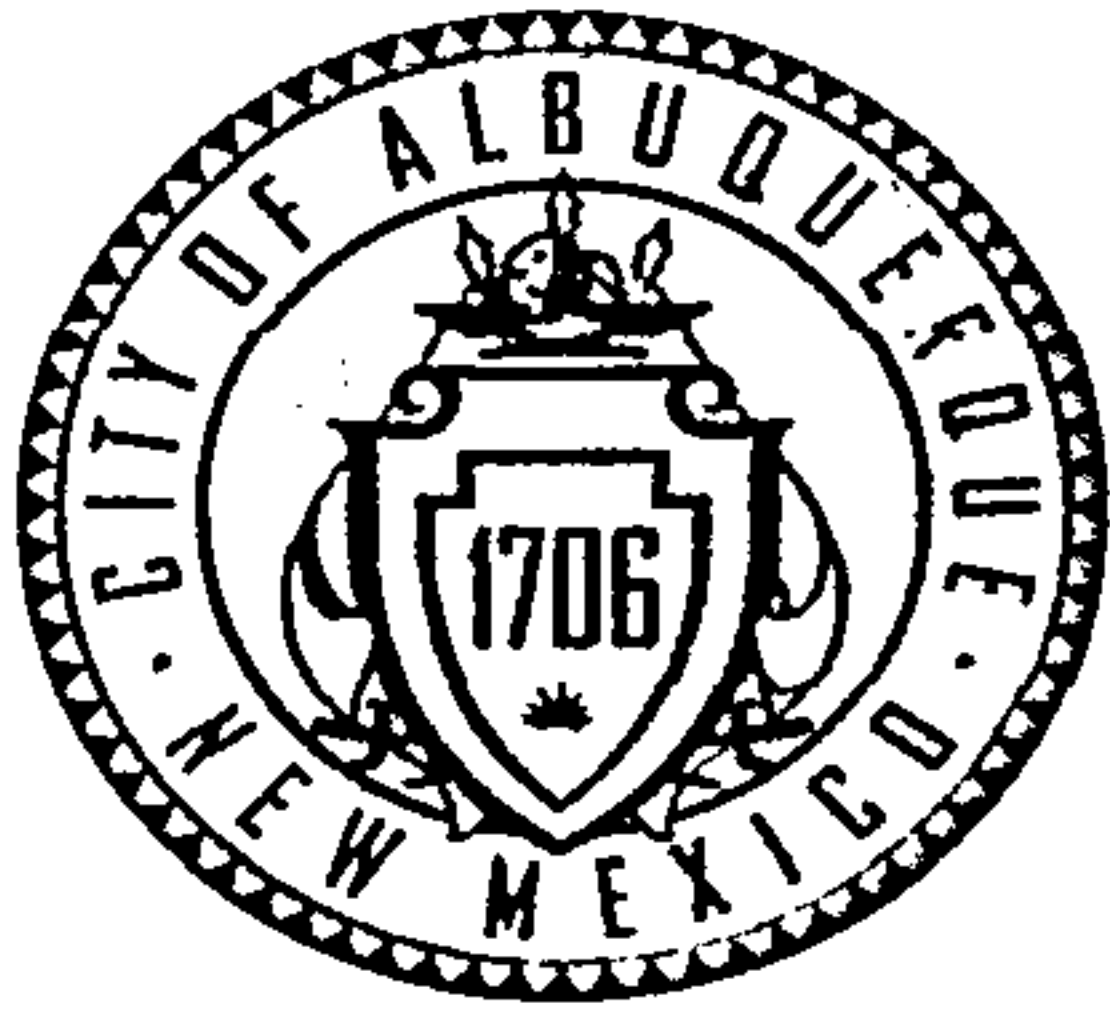
www.cabq.gov

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: ABQ School of Excellence Building Permit #: T201691547 Hydrology File #: J220050
DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Parcel E-1-A PANORAMA Heights ADDN.
City Address: 13201 LOMAS BLVD NE 87112

Applicant: LEE GAMELSKY Architects PC. Contact: LEE GAMELSKY
Address: 2412 Miles Rd SE
Phone#: 505 842-8865 Fax#: 842-1693 E-mail: lee@lganm.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

OTHER (SPECIFY) _____

DATE SUBMITTED: 1 July 2016 By: Lee Gamelsky

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



Legend

☐ Bernalillo County Parcels

Primary Streets

— Urban Principal Arterial

+ BN and SF Railroad

== Freeway

Urban Minor Arterial

Other Streets

Municipal Limits

Corrales

Edgewood

Los Ranchos

Rio Rancho

Tijeras

UNINCORPORATED

World Street Map

Notes

0.0 0 0.01 0.0 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
7/5/2016 © City of Albuquerque

This map is a user generated static output from www.cabq.gov/gis and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

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