

LEE GAMELSKY ARCHITECTS P.C.

6 December 2016

Ms. Racquel Michel
City of Albuquerque
Transportation Development
P.O. Box 1293
600 2nd Street NW
Albuquerque, NM 87103

RE: Albuquerque School of Excellence – Remodel
13201 Lomas Blvd NE, Albuquerque, NM 87112

Building Permit NO. 201691547

Final Certificate of Occupancy: Traffic Circulation Layout

Dear Ms. Michel:

The Owner of the project referenced above has decided to not perform some of the Site Improvements on the project as described and illustrated in the Drawings and TCL. The playground/recreation areas on the west side of the building (within the parking lot) and on the east side of the building will not be constructed at this time. The asphalt areas will remain as is.

These items were redlined in the City and General Contractor's Permit Sets.

Therefore, as suggested by Monica Ortiz, we would like to withdraw the TCL from the Permit Set and not have that work as a condition of approval for a Final Certificate of Occupancy.

If you have any questions or additional concerns, please contact me.

Sincerely,


Lee Gamelsky AIA, Principal



CITY OF ALBUQUERQUE



July 12, 2016

Lee Gamelsky
Lee Gamelsky Architects
2412 Miles Rd., SE
Albuquerque, NM

Re: ABQ School of Excellence
13201 Lomas Blvd., NE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 7-7-16 (J22-D050)

Dear Mr. Gamelsky,

The TCL submittal received 7-11-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

FASTRAX

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: ABQ School of Excellence Building Permit #: T201691547 City Drainage #: J22 D050

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: PARCEL E-1-A PANORAMA HEIGHTS ADDN

City Address: 13201 LOMAS BLVD NE 97112

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

X Architect: LEE GAMBLESKY ARCHITECTS Contact: LEE GAMBLESKY

Address: 2412 MILES RD. SE

Phone#: 842-8865 Fax#: 842-1693 E-mail: LEE@LGANFI.COM

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ By: _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
- ☐ OTHER (SPECIFY) _____



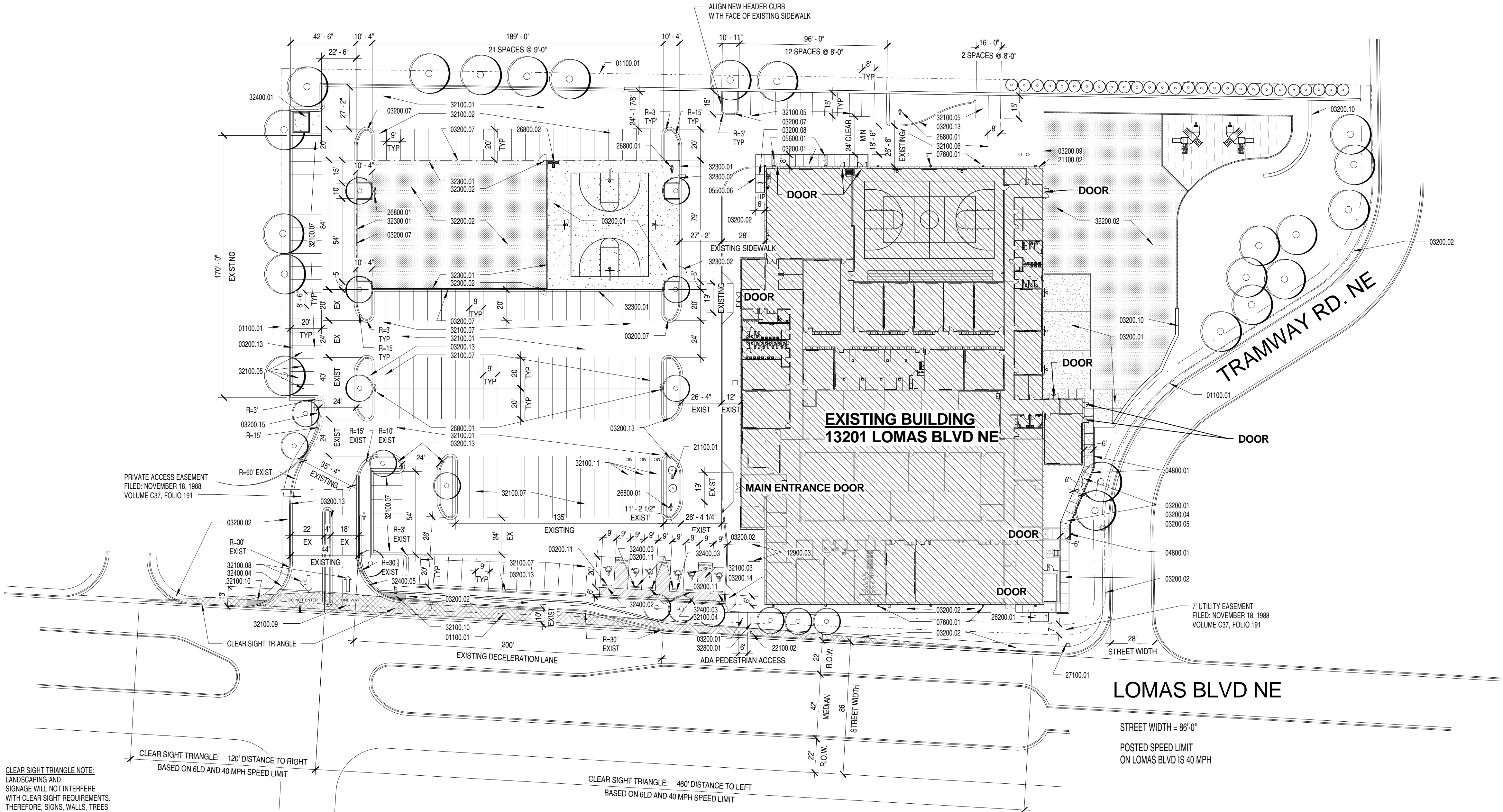
COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

GENERAL NOTES

- A. AT NEW ASPHALT OVERLAY, MAXIMUM GRADES NOT TO EXCEED 8% IN PARKING AREAS. AT MAJOR CIRCULATION AISLES AND AT AISLES ADJACENT TO MAJOR PEDESTRIAN ENTRANCES, GRADES NOT TO EXCEED 6%.
- B. REFUSE ENCLOSURE. SOLID WASTE HAS SIGNED OFF ON PERMIT SET.
- C. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN THE WORK ORDER.
- D. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER. INSTALL PER THE COA STANDARD SPECIFICATIONS.

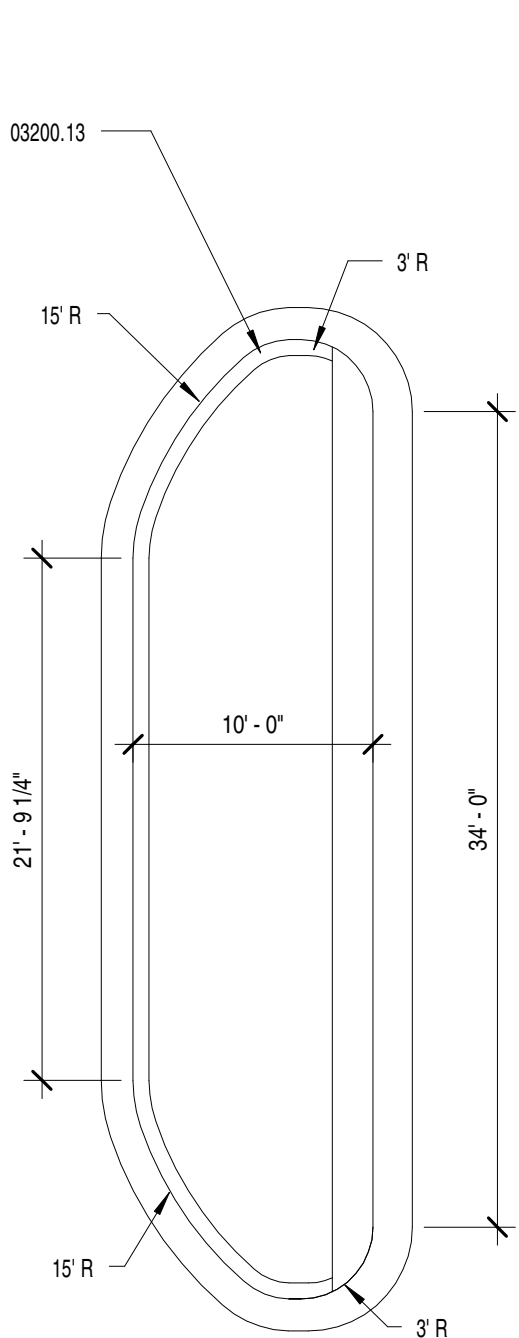
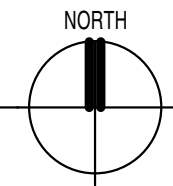
KEYED NOTES

- 01100.01 PROPERTY LINE.
- 03200.01 4" THICK REINFORCED CONCRETE SIDEWALK/SLAB. 3000 PSI MIN. AIR ENTRAINED. REINFORCE WITH 6X6 / 10X10 WWM. FLAT SHEETS, CENTERED IN SLAB.
- 03200.02 EXISTING CONCRETE SIDEWALK TO REMAIN.
- 03200.04 1/2" THICK EXPANSION JOINT MATERIAL AT 20'-0" OC MAX. ASPHALT IMPREGNATED OR EQUAL. SET TOP OF MATERIAL 1/2" BELOW TOP OF CONCRETE. INSTALL POURABLE POLYURETHANE SEALANT OVER JOINT AND FLUSH WITH TOP OF CONCRETE.
- 03200.05 1" DEEP CONCRETE CONTROL JOINT AT +/- 5'-0" O.C.
- 03200.07 NEW CONCRETE HEADER CURB, 6" HIGH.
- 03200.08 NEW CONCRETE ADA RAMP.
- 03200.09 NEW CONCRETE RETAINING CURB.
- 03200.10 EXISTING CONCRETE RETAINING WALL TO REMAIN.
- 03200.11 INSTALL SALVAGED CONCRETE WHEEL STOP.
- 03200.13 EXISTING 8" HIGH CONCRETE CURB LANDSCAPE ISLAND TO REMAIN.
- 03200.14 CONCRETE CURB RAMP. SLOPE IN DIRECTION OF TRAVEL 1:12 MAX. CROSS SLOPE 1:48 MAX. FLARED SIDES 1:10 MAX.
- 03200.15 REMOVE PORTION OF EXISTING CURB/GUTTER/SIDEWALK. INSTALL NEW CURB/GUTTER/SIDEWALK TO CREATE A 24' WIDE DRIVE ACCESS.
- 04800.01 CMU RETAINING WALL.
- 05500.06 1-1/4" DIA. STEEL PIPE HANDRAIL.
- 05600.01 STEEL TRENCH COVER OVER CONCRETE TRENCH DRAIN.
- 07600.01 EXISTING DOWNLEADER TO REMAIN. TYPICAL OF (6) ON THE NORTH END OF THE BUILDING AND (6) ON THE SOUTH END OF THE BUILDING.
- 12900.03 EXISTING BIKE RACK TO REMAIN.
- 21100.01 EXISTING FIRE HYDRANT TO REMAIN.
- 21100.02 EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN.
- 22100.02 EXISTING WATER METER TO REMAIN.
- 26200.01 EXISTING TRANSFORMER TO REMAIN.
- 26800.01 EXISTING POLE MOUNTED LIGHT FIXTURE ON CONCRETE BASE TO REMAIN.
- 26800.02 NEW POLE MOUNTED LIGHT FIXTURE ON CONCRETE BASE.
- 27100.01 EXISTING TELEPHONE BOX TO REMAIN.
- 32100.01 1-1/2" ASPHALT OVERLAY.
- 32100.02 NEW WHITE PAINTED PARKING STRIPING. TYPICAL PARKING SPACE DIMENSION = 9'-0" WIDE X 20'-0" LONG.
- 32100.03 HC PARKING AND SYMBOLS. TYPICAL HC PARKING SPACE IS 9'-0" WIDE X 20'-0" LONG. TYPICAL OF (6) HC PARKING SPACES. TYPICAL VAN ACCESS AISLE IS 9'-0" WIDE. TYPICAL OF (3) ACCESS AISLES. PAINT ACCESSIBLE PARKING STRIPING AND SYMBOLS AFTER ASPHALT OVERLAY. ASPHALT OVERLAY ON ALL ACCESSIBLE PARKING SPACES AND ACCESS AISLES TO ATTAIN 2% SLOPE MAXIMUM. THE ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS. EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE PLACED. PER 66-1-4.1.B NMSA, 1978.
- 32100.04 6'-0" WIDE ACCESSIBLE PEDESTRIAN PATHWAY STRIPING.
- 32100.05 NEW WHITE PAINTED PARKING STRIPING - SMALL CAR. TYPICAL SMALL CAR PARKING SPACE DIMENSION = 8'-0" WIDE X 15'-0" LONG. PAINT "COMPACT" ON ASPHALT SURFACE AT EACH SPACE.
- 32100.06 EXISTING ASPHALT TO REMAIN.
- 32100.07 EXISTING PARKING. RE-STRIPE AFTER NEW ASPHALT OVERLAY. REFER TO NOTE 32100.02 ABOVE.
- 32100.08 DIRECTIONAL ARROW PAINTED ON DRIVE SURFACE.
- 32100.09 "DO NOT ENTER" AND "ONE WAY" PAINTED ON DRIVE SURFACE. MINIMUM 12" HIGH. TRUNCATED DOMES AT R.O.W. CURB CUT PER COA STANDARD SPECIFICATIONS.
- 32100.10 MOTORCYCLE PARKING. PAINT "MC" ON ASPHALT SURFACE AT EACH SPACE AND INSTALL A SIGN AT THE HEAD OF THE SPACE READING "MOTORCYCLE PARKING ONLY".
- 32200.02 NEW SYNTHETIC TURF OVER 4" CRUSHER FINES. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SEE CIVIL.
- 32300.01 NEW CHAINLINK FENCE, 12'-0" HIGH. INSTALL FENCE POSTS AT 8'-0" O.C. MAX.
- 32300.02 CHAINLINK SWING GATE, 4'-0" WIDE X 8'-0" HIGH.
- 32400.01 NEW REFUSE ENCLOSURE.
- 32400.02 NEW HC PARKING SIGN. SEE DETAIL A2/TCL.
- 32400.03 NEW VAN ACCESSIBLE HC PARKING SIGN. SEE DETAIL A2/TCL.
- 32400.04 SIGNAGE WITH THE LETTERS "WRONG WAY" AND "DO NOT ENTER".
- 32400.05 SIGNAGE WITH THE LETTERS "ONE WAY".
- 32800.01 NEW HOTBOX.

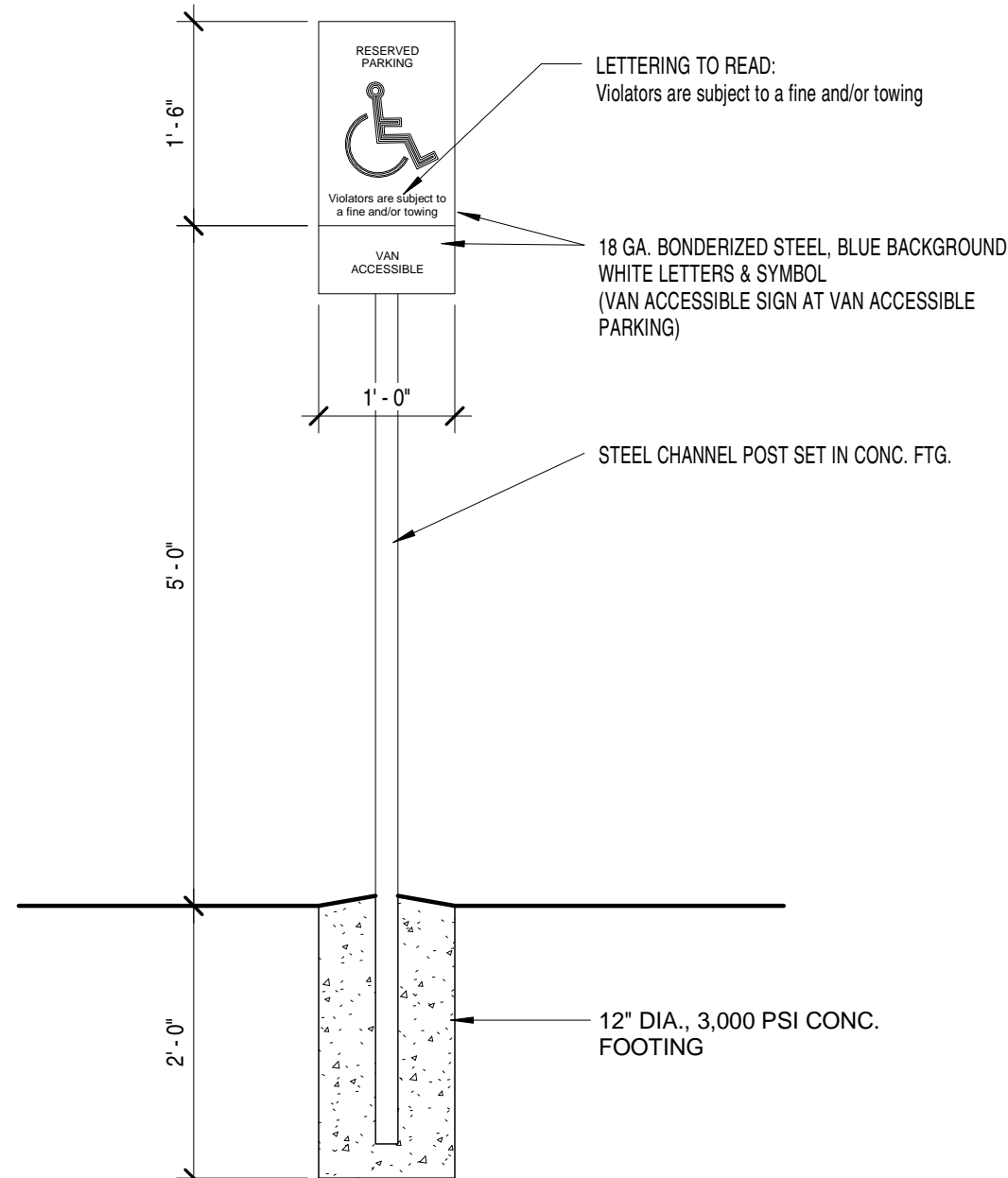


CLEAR SIGHT TRIANGLE NOTE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 6 TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

B1 TRAFFIC CIRCULATION LAYOUT PLAN
1" = 40'-0"



A1 TYPICAL EXISTING ISLAND DETAIL
NTS



A2 HC Parking Sign Detail
3/4" = 1'-0"

GENERAL INFORMATION

A. PLANNING HISTORY:

- THIS PROJECT IS FOR THE INTERIOR BUILD-OUT OF THE REMAINING VACANT PORTION OF THE EXISTING BUILDING, AND SOME SITE IMPROVEMENTS, NOT SUBJECT TO A MASTER PLAN OR SECTOR DEVELOPMENT PLAN. THERE IS NO NEW BUILDING ADDITION(S) ASSOCIATED WITH THE PROJECT.
- THERE WILL BE NO CHANGE IN GROSS SQUARE FEET OF THE BUILDING.
- THE EXISTING LANDSCAPE AREAS WILL BE MAINTAINED.
- THE EXISTING NUMBER OF HANDICAPPED PARKING SPACES WILL REMAIN.

B. DESCRIPTION:

- VICINITY MAP (SEE ZONE LOCATION MAP TO THE LEFT).
- ADDRESS: 13201 LOMAS BLVD NE, ALBUQUERQUE, NM 87112
LEGAL DESCRIPTION:
PARCEL E-1-A PANORAMA HEIGHTS ADDITION (SEE SHEET V-101 FOR SURVEY)
- VARIANCE: NOT REQUIRED
- TYPE OF DEVELOPMENT:
INTERIOR BUILD-OUT OF THE VACANT PORTION OF AN EXISTING BUILDING FOR A CHARTER SCHOOL.
- SIZE OF DEVELOPMENT:
LOT SIZE: 5.04 ACRE
BUILDING GROSS AREA: 55,000 SF
- PARKING REQUIRED:
ELEMENTARY/MIDDLE SCHOOL AREA: (23,069 GROSS SF)
1 SPACE PER EMPLOYEE.
30 EMPLOYEES = 30 PARKING SPACES
HIGH SCHOOL: (31,931 GROSS SF)
3 SPACES PER CLASSROOM
15 CLASSROOMS = 45 PARKING SPACES
TOTAL NUMBER OF PARKING SPACES REQUIRED = 75

DISABLED PARKING:

TOTAL REQUIRED PARKING SPACES 51 TO 100 = 4 REQUIRED DISABLED

PARKING PROVIDED:

TOTAL NUMBER OF PARKING SPACES PROVIDED = 168
TOTAL NUMBER OF HANDICAP SPACES PROVIDED = 6

168 > 75, THEREFORE OK.
6 > 4, THEREFORE OK.

BICYCLE PARKING SPACES REQUIRED:

1 SPACE PER 20 REQUIRED PARKING SPACES.
75/20 = 3.75
BICYCLE PARKING SPACES PROVIDED = 5
5 > 3.75, THEREFORE OK.

EXECUTIVE SUMMARY:

A. PROJECT LOCATION:

THE PROJECT IS LOCATED AT 13201 LOMAS BLVD NE, ON THE NORTH SIDE OF LOMAS BLVD NE JUST WEST OF TRAMWAY BLVD NE AND JUST EAST OF NAKOMIS DRIVE NE.

B. DEVELOPMENT CONCEPT:

THE PROJECT IS A INTERIOR BUILD-OUT OF THE REMAINING VACANT PORTION OF AN EXISTING BUILDING. THERE ARE ALSO SITE IMPROVEMENTS AS PART OF THIS PROJECT INCLUDING PLAY AREAS, TWO NEW CONCRETE SIDEWALKS AND A NEW CONCRETE RAMP.

C. TRAFFIC CIRCULATION CONCEPT:

THE TRAFFIC CIRCULATION PATTERN TO AND THROUGH THE SITE WILL REMAIN AS ORIGINALLY DEVELOPED. TRAFFIC CIRCULATION FOR THIS SITE WILL FLOW THROUGH THE EXISTING ENTRY FROM LOMAS BLVD NE AND CONTINUE THROUGH THE EXISTING DRIVE AISLES PROVIDED ON THE SITE WITH A DROP-OFF AREA ALONG THE WEST SIDEWALK OF THE EXISTING BUILDING. TRAFFIC THEN FLOWS TO THE NORTH END OF THE LOT, THEN WEST ALONG THE NORTH BOUNDARY AND THEN SOUTH TO THE EXISTING EXIT TO LOMAS BLVD NE. PARKING IS PROVIDED THROUGHOUT THE INTERIOR OF THE LOT, AS WELL AS PARKING ALONG THE SOUTH AND WEST BOUNDARY AND SMALL CAR PARKING ALONG THE NORTH BOUNDARY OPPOSITE THE NORTH FACADE OF THE EXISTING BUILDING.



PROJECT LOCATION

ZONE LOCATION MAP K-22-Z

LEE GAMESKY ARCHITECTS P.C.
2412 MILES ROAD SE
ALBUQUERQUE, NM 87106
505.842.8865 FAX 842.1693
lee@gigam.com

STATE OF NEW MEXICO
LEE D. GAMESKY
No. 1931
REGISTERED ARCHITECT

ALBUQUERQUE SCHOOL OF EXCELLENCE

13201 Lomas Blvd, NE Albuquerque, New Mexico	
PROJECT ARCHITECT: LEE GAMESKY, AIA	Project #: 16-04-P
	Date: 28 JUNE 2016

TRAFFIC CIRCULATION
LAYOUT PLAN

REVISED JULY 2016

By: WTB	Sheet: Of:
File:	TCL