

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

August 6, 2024

Jonathan D. Niski, PE  
Tierra West, LLC  
5571 Midway Park Pl. NE  
Albuquerque, NM 87109

**Re: Albuquerque School of Excellence/ 13201 Lomas Blvd. NE**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's Stamp dated 07-20-20 (J22-D050)  
Certification dated 04-18-24

Dear Mr. Niski,

Based upon the information provided in your submittal received 04-18-24, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

\EA via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: \_\_\_\_\_ Hydrology File # \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address, UPC, OR Parcel: \_\_\_\_\_

Applicant/Agent: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Applicant/Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

**TYPE OF DEVELOPMENT:** Plat (# of lots) \_\_\_\_\_ Single Family Home  
All other Developments

RE-SUBMITTAL: YES NO

**DEPARTMENT:** TRANSPORTATION HYDROLOGY/DRAINAGE

**Check all that apply under Both the Type of Submittal and the Type of Approval Sought:**

### TYPE OF SUBMITTAL:

Engineering / Architect Certification  
Conceptual Grading & Drainage Plan  
Grading & Drainage Plan, and/or Drainage Report  
Drainage Report (Work Order)  
Drainage Master Plan  
Conditional Letter of Map Revision (CLOMR)  
Letter of Map Revision (LOMR)  
Floodplain Development Permit  
Traffic Circulation Layout (TCL) – Administrative  
Traffic Circulation Layout (TCL) – DFT Approval  
Traffic Impact Study (TIS)  
Street Light Layout  
OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL SOUGHT:

Pad Certification  
Building Permit  
Grading Permit  
Paving Permit  
SO-19 Permit  
Foundation Permit  
Certificate of Occupancy - Temp Perm  
Preliminary / Final Plat  
Site Plan for Building Permit - DFT  
Work Order (DRC)  
Release of Financial Guarantee (ROFG)  
CLOMR / LOMR  
Conceptual TCL - DFT  
OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: \_\_\_\_\_



# TIERRA WEST, LLC

April 18, 2024

Marwa Al-najjar  
Development Review Services  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: AA APPROVED TRAFFIC CIRCULATION LAYOUT  
REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY  
ABQ SCHOOL OF EXCELLENCE, 13201 LOMAS BLVD. NE, ALBUQUERQUE, NM 87112**

I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the as-built Approved Traffic Circulation Layout for issuance of a Permanent Certificate of Occupancy for the project referenced above. This project area as highlighted on the attached site plan is in substantial compliance as inspected on April 8<sup>th</sup>, 2024, and is in general accordance with the design intent of the Approved Site Plan dated 07/20/20.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet and the as-built AA Traffic Circulation Layout. Therefore, we request approval of the as-built AA Traffic Circulation Layout and issuance of the Permanent Certificate of Occupancy.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannon, P.E.

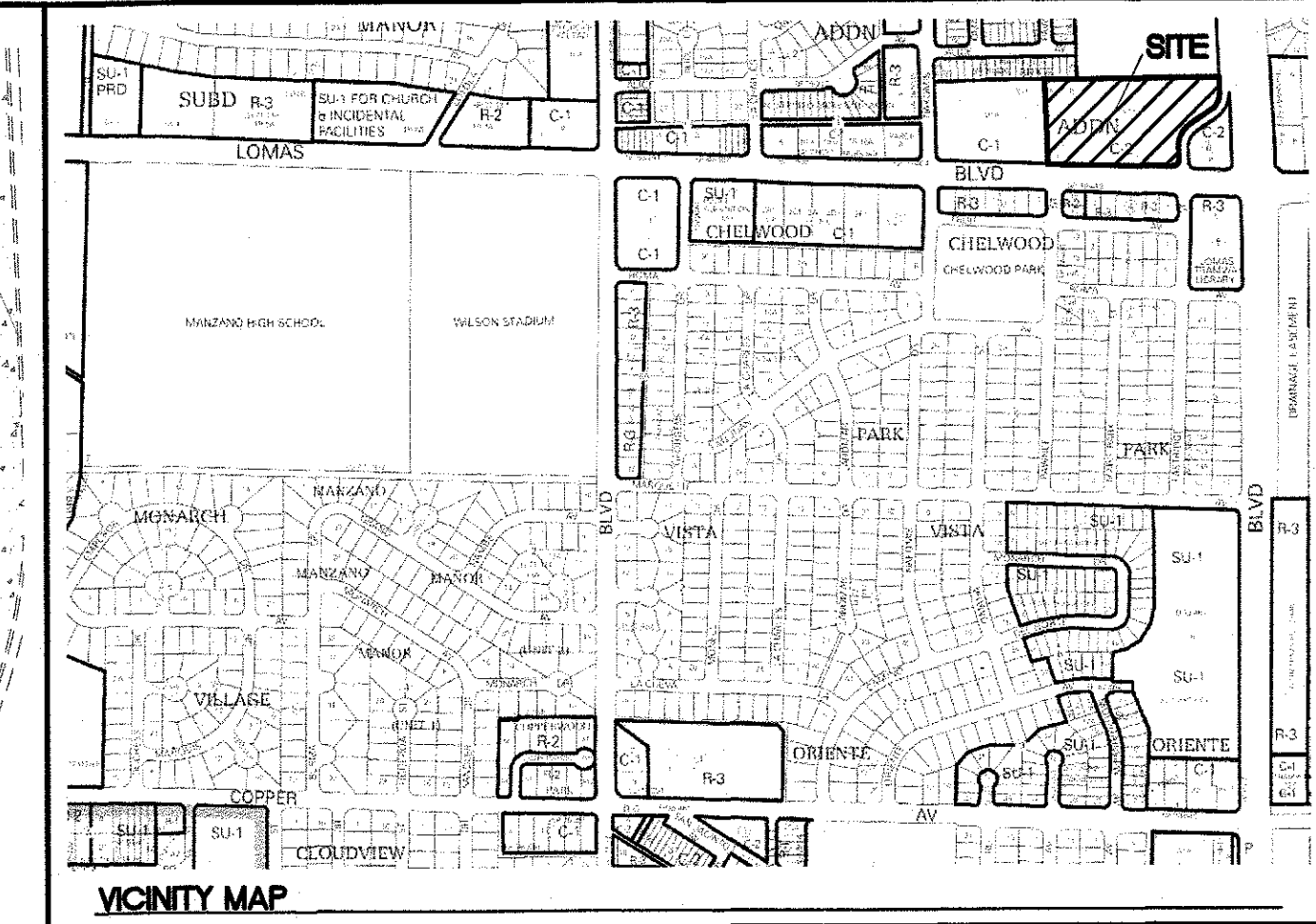
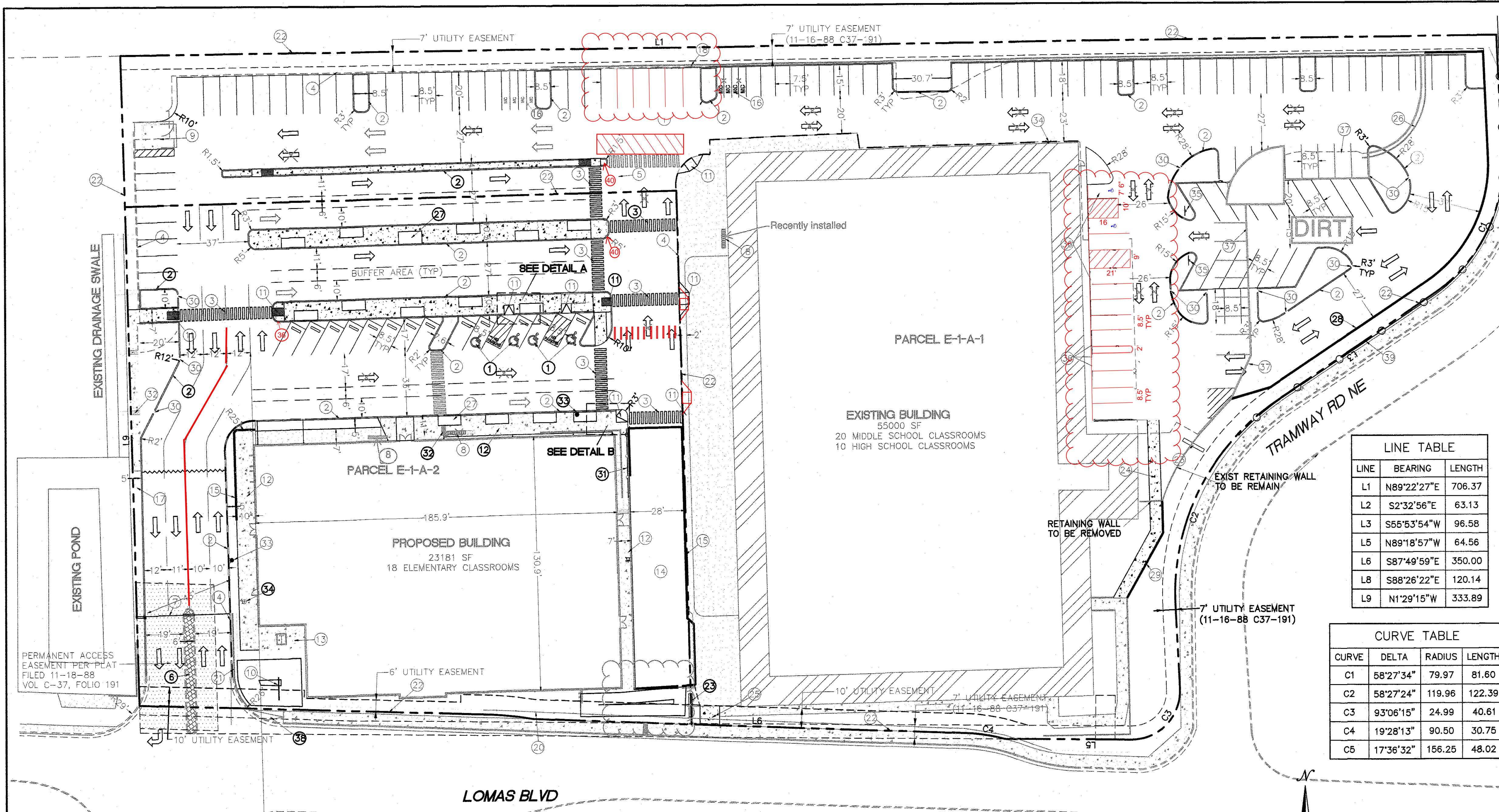
Enclosure/s

JN: 2019068  
RRB/JN/DB/AC

2019068 Perm AA Approved Traffic Circulation Submittal Letter-.docx

5571 Midway Park Pl. NE  
Albuquerque, NM 87109  
(505) 858-3100 fax (505) 858-1118 1-800-245-3102  
tierrawestllc.com





**LEGAL DESCRIPTION**  
 PARCEL E-1-A, PANORAMA HEIGHTS ADDITION  
 UPC NO: 102205847502241515

**SITE DATA**  
 ZONING: MX-M  
 PROPOSED USAGE: EDUCATIONAL  
 TOTAL LOT AREA: 214146 SF (4.91 ACRES)

**PARKING PARCEL E-1-A-2**  
 LOT AREA: 75002 SF (1.72 AC)  
 PROPOSED BUILDING AREA: 43500 SF  
 TOTAL PARKING REQUIRED: 18 ELEMENTARY SCHOOL CLASSROOMS (2 SPACES PER CLASSROOM)  
 36 SPACES REQUIRED  
 TOTAL BICYCLE SPACES REQUIRED: 4 SPACES (10% OF REQUIRED SPACES)  
 TOTAL MOTORCYCLE SPACES REQUIRED: 2 SPACES  
 PROVIDED:  
 PARKING PROVIDED: 132 SPACES  
 HC PARKING REQUIRED: 2 SPACES  
 HC SPACES PROVIDED: 4 SPACES (1 VAN ACCESSIBLE)  
 MOTORCYCLE SPACES PROVIDED: 2 SPACES  
 BICYCLE SPACES PROVIDED: 15 SPACES  
 LANDSCAPE REQUIRED: 6300 SF (20% NET AREA)  
 LANDSCAPE PROVIDED: 10010 SF

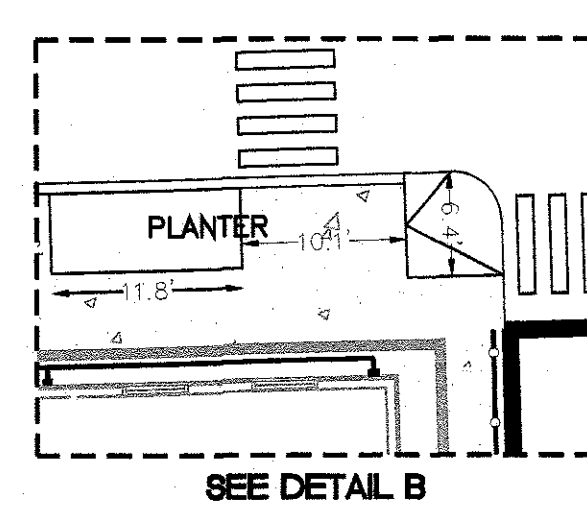
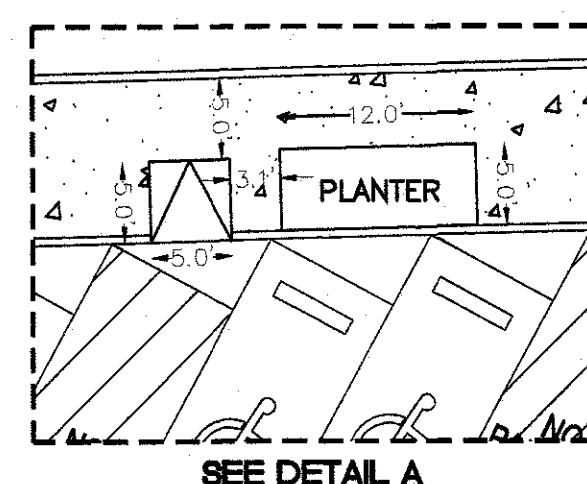
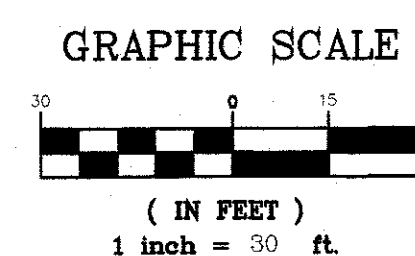
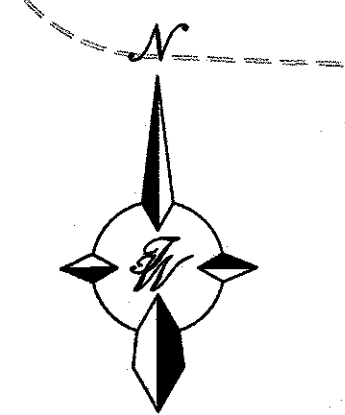
**PARCEL E-1-A-1**  
 LOT AREA: 139144 SF (3.19 AC)  
 EXISTING BUILDING AREA: 55000 SF  
 20 MIDDLE SCHOOL CLASSROOMS (2 SPACES PER CLASSROOM)  
 10 HIGH SCHOOL CLASSROOMS (3 SPACES PER CLASSROOM)  
 70 SPACES REQUIRED  
 TOTAL BICYCLE SPACES REQUIRED: 7 SPACES (10% OF REQUIRED SPACES)  
 TOTAL MOTORCYCLE SPACES REQUIRED: 2 SPACES  
 PROVIDED:  
 PARKING PROVIDED: 116 SPACES  
 HC PARKING REQUIRED: 2 SPACES  
 HC SPACES PROVIDED: 4 SPACES (1 VAN ACCESSIBLE)  
 MOTORCYCLE SPACES PROVIDED: 2 SPACES  
 BICYCLE SPACES PROVIDED: 10 SPACES  
 LANDSCAPE REQUIRED: 18828 SF (20% NET AREA)  
 LANDSCAPE PROVIDED: 20706 SF

**LINE TABLE**

LINE	BEARING	LENGTH
L1	N89°22'27"E	706.37
L2	S2°32'56"E	63.13
L3	S55°53'54"W	96.58
L5	N89°18'57"W	64.56
L6	S87°49'59"E	350.00
L8	S88°26'22"E	120.14
L9	N1°29'15"W	333.89

**CURVE TABLE**

CURVE	DELTA	RADIUS	LENGTH
C1	58°27'34"	79.97	81.60
C2	58°27'24"	119.96	122.39
C3	93°06'15"	24.99	40.61
C4	19°28'13"	90.50	30.75
C5	17°36'32"	156.25	48.02



**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- BUILDING
- SIDEWALK
- CONCRETE WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING BLOCK WALL
- EXISTING WROUGHT IRON FENCE
- PARKING LOT LIGHT
- PEDESTRIAN HAND RAIL
- FIRE LANE STRIPING SEE SHEET SP-2

**KEYED NOTES**

- 1 ACCESSIBLE PARKING PER ADA STANDARDS (1.0% MIN - 2.0% MAX SLOPE) AISLE "NO PARKING" LETTERING SHALL BE CAPITAL LETTERS AT LEAST 1" HIGH AND AT LEAST 2" WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED (66-1-4.1.8 NMSA 1978)
- 2 CURB AND GUTTER PER COA STD DWG 2415A
- 3 6' PEDESTRIAN CROSSWALK
- 4 EXISTING CURB
- 5 PARKING LOT LIGHT (TYP)
- 6 EXISTING ISLAND
- 7 EXISTING GATE
- 8 BICYCLE RACK (15)
- 9 EXISTING DUMPSTER
- 10 EXISTING PYLON SIGN (TO BE REMOVED)
- 11 ACCESSIBLE RAMP
- 12 CONCRETE SIDEWALK
- 13 CONCRETE TRANSFORMER PAD
- 14 PLAYGROUND
- 15 CMU BLOCK WALL W/HANDRAIL
- 16 MOTORCYCLE PARKING W/SIGN (TYP)
- 17 NEW 5' SIDEWALK
- 18 ACCESSIBLE PARKING SIGN (TYP)
- 19 NOT USED
- 20 EXISTING WROUGHT IRON FENCE
- 21 EXISTING BLOCK WALL
- 22 BOUNDARY LINES
- 23 NEW DIGITAL SCHOOL SIGN
- 24 NEW 6' SIDEWALK
- 25 NEW 10' SIDEWALK
- 26 EXISTING RETAINING WALL TO BE REMOVED
- 27 PLANTER (TYP)
- 28 SHEET PILE RETAINING WALL
- 29 NEW RETAINING WALL
- 30 2' CURB CUT
- 31 PEDESTRIAN HAND RAIL
- 32 SIDEWALK CULVERT PER COA STD DWG 2236 (TYP)
- 33 NEW FIRE HYDRANT
- 34 FDC
- 35 SIGN "ONE WAY" R6-1
- 36 COMPACT CAR SPACE (12 TOTAL) SEE DETAIL SHEET SP-2
- 37 EXISTING CURB TO BE REMOVED
- 38 EXISTING ACCESSIBLE RAMP WITH DETECTABLE SURFACE
- 39 GUARD RAIL SEE SHEET SP-3 FOR DETAIL
- 40 "Do Not Enter" Signs

TRAFFIC CIRCULATION LAYOUT  
 APPROVED  
 M.A. P.E.  
 7/22/2020

ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>ABO SCHOOL OF EXCELLENCE</b>  <b>ADMINISTRATIVE AMENDMENT</b> <b>TRAFFIC CIRCULATION LAYOUT</b>	DRAWN BY pm DATE 7-20-2020 DRAWING 2019068-SP
	SHEET # <b>SP-1</b>  JOB # 2019068	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierwestllc.com