

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

November 19, 2019

Ron Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place, NE
Albuquerque, NM 87109

RE: **Albuquerque School of Excellence Expansion**
13201 Lomas NE
Grading and Drainage Plan Stamp Date: 11/7/19
Hydrology File: J22D050

Dear Mr. Bohannon,

Based on the submittal received on 11/8/19, the grading and drainage plan cannot be approved until the following corrections are made:

PO Box 1293

Prior to Building Permit:

Albuquerque

NM 87103

www.cabq.gov

1. Please number the ponds and include sections and labels on each with the Stormwater Quality Volume (SWQV) and elevation, the 100-year volume and elevation, the peak 100 year inflow, top of pond elevation. Provide pond volume calculations by contour area; correct the volume on the western pond.
2. Please include the SWQV calculations. This site qualifies as redevelopment and is only required to retain runoff from the 80th percentile storm ($\text{Vol.} = 0.26'' * \text{Imp. Area}$).
3. The eastern (and western) pond cannot encroach on the ROW.
4. Provide a section through the proposed building and Lomas. Provide stabilization of slopes exceeding 3:1. There's one stem wall elevation called out as $\text{TW} = 43.00$ that probably should be 49.66.
5. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

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Prior to Certificate of Occupancy (For Information):

6. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.
7. A Bernalillo County Recorded [Drainage Covenant \(No Public Easement\)](#) is required for the stormwater control ponds. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) regarding the routing and recording process for covenants. The routing and recording process for covenants can take a month or longer; Hydrology recommends beginning this process as soon as possible as to not delay approval for certificate of occupancy.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: ABQ School Excellence **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Parcel E-1-A Land Div Plat Parcels D-1-A & E-1-A Formerly Parcel D-1 & E-1 Panorama Heights ADDN
City Address: 13201 Lomas Blvd NE Albuquerque NM 87112

Applicant: Tierra West, LLC **Contact:** Jonathan Niski
Address: 5571 Midway Park Place NE Albuquerque NM 87109
Phone#: 505-858-3100 **Fax#:** 505-858-1118 **E-mail:** jniski@tierrawestllc.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

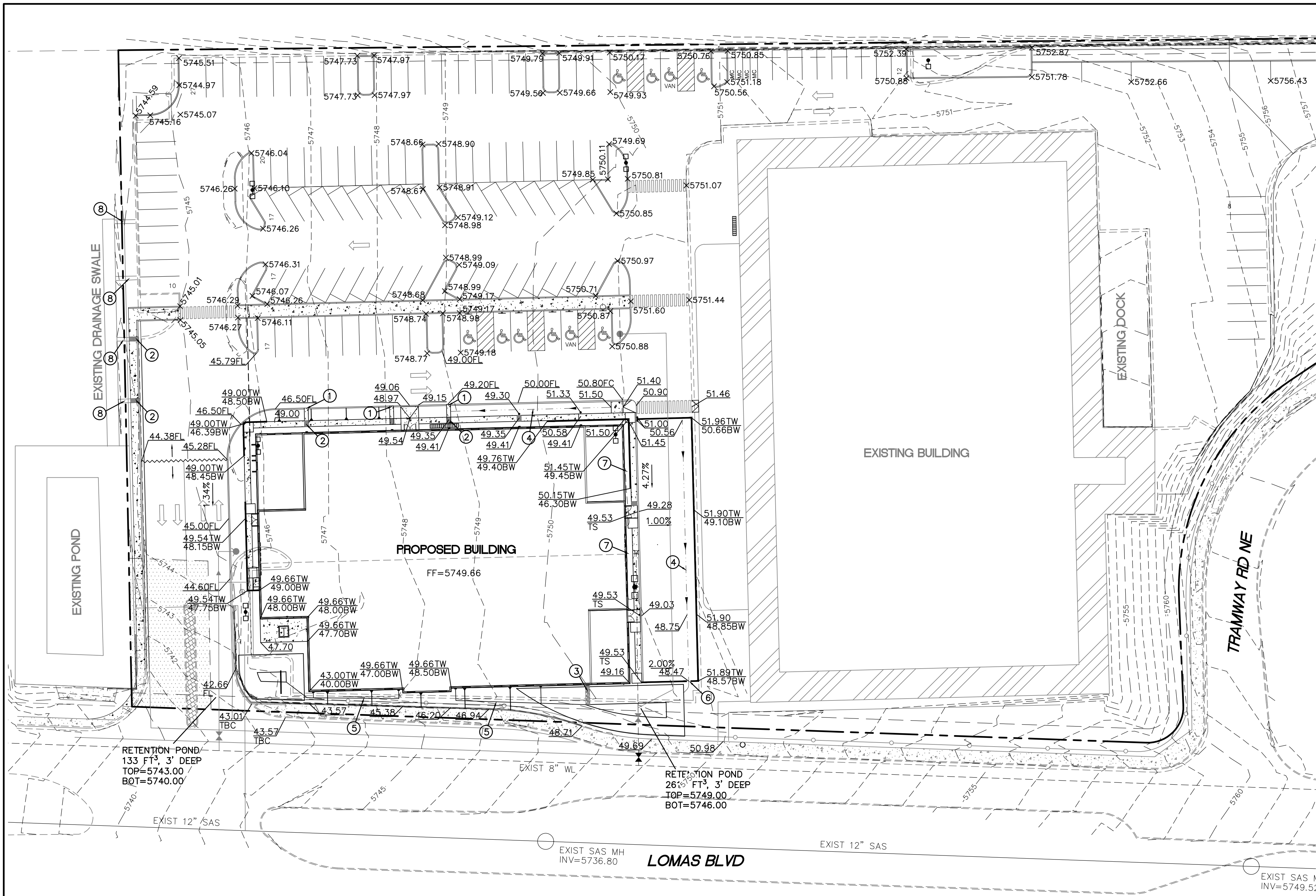
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 11/8/2019 **By:** Jonathan Niski

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	BUILDING
	SIDEWALK
	RETAINING WALL
	SPOT ELEVATION (FLOWLINE)
	SPOT ELEVATION (+5700)
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR

KEYED NOTES

- 1' 2" CURB CUT
- 2' SIDEWALK CULVERT PER COA STD DWG 2236 (TYP)
- COBBLE SWALE INTO POND
- 2' SWALE
- CAPTURE ROOF DRAINS IN 6" PIPE AND DAYLIGHT INTO POND
- 2' OPENING IN WALL FOR DRAINAGE
- LANDSCAPE AREA TO DRAIN THROUGH SIDEWALK CULVERT
- EXISTING RUNDOWN

NOTICE TO CONTRACTORS

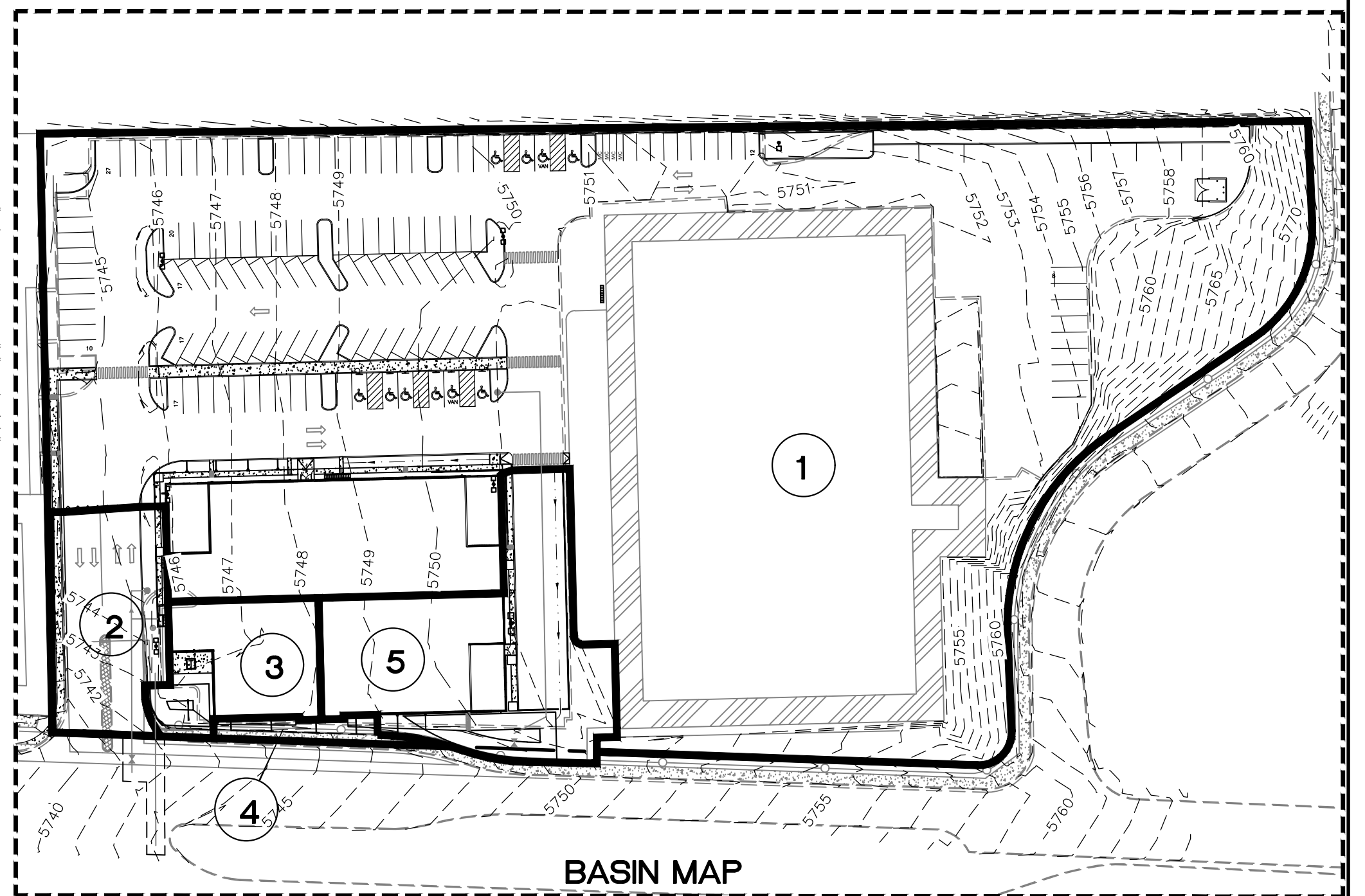
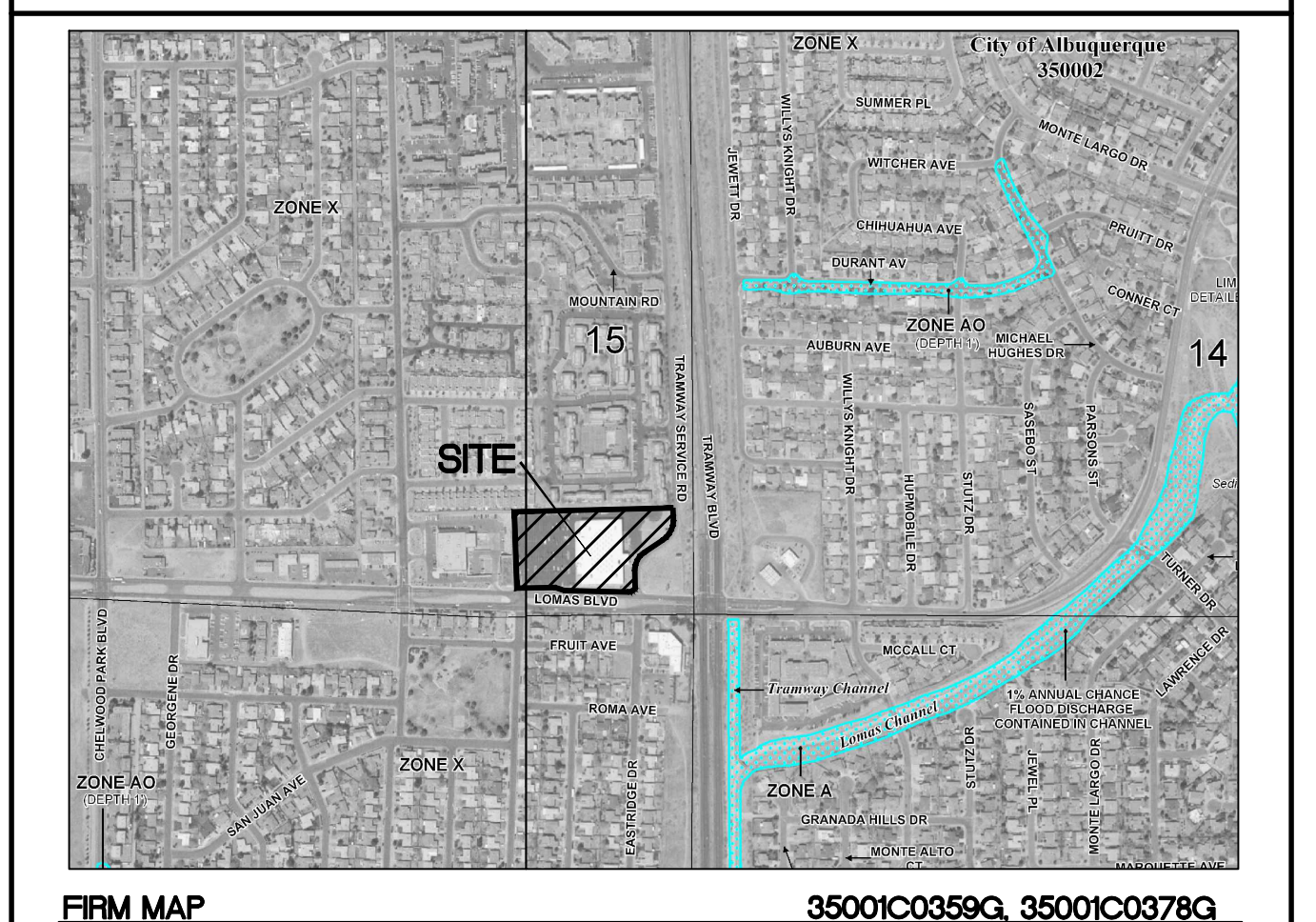
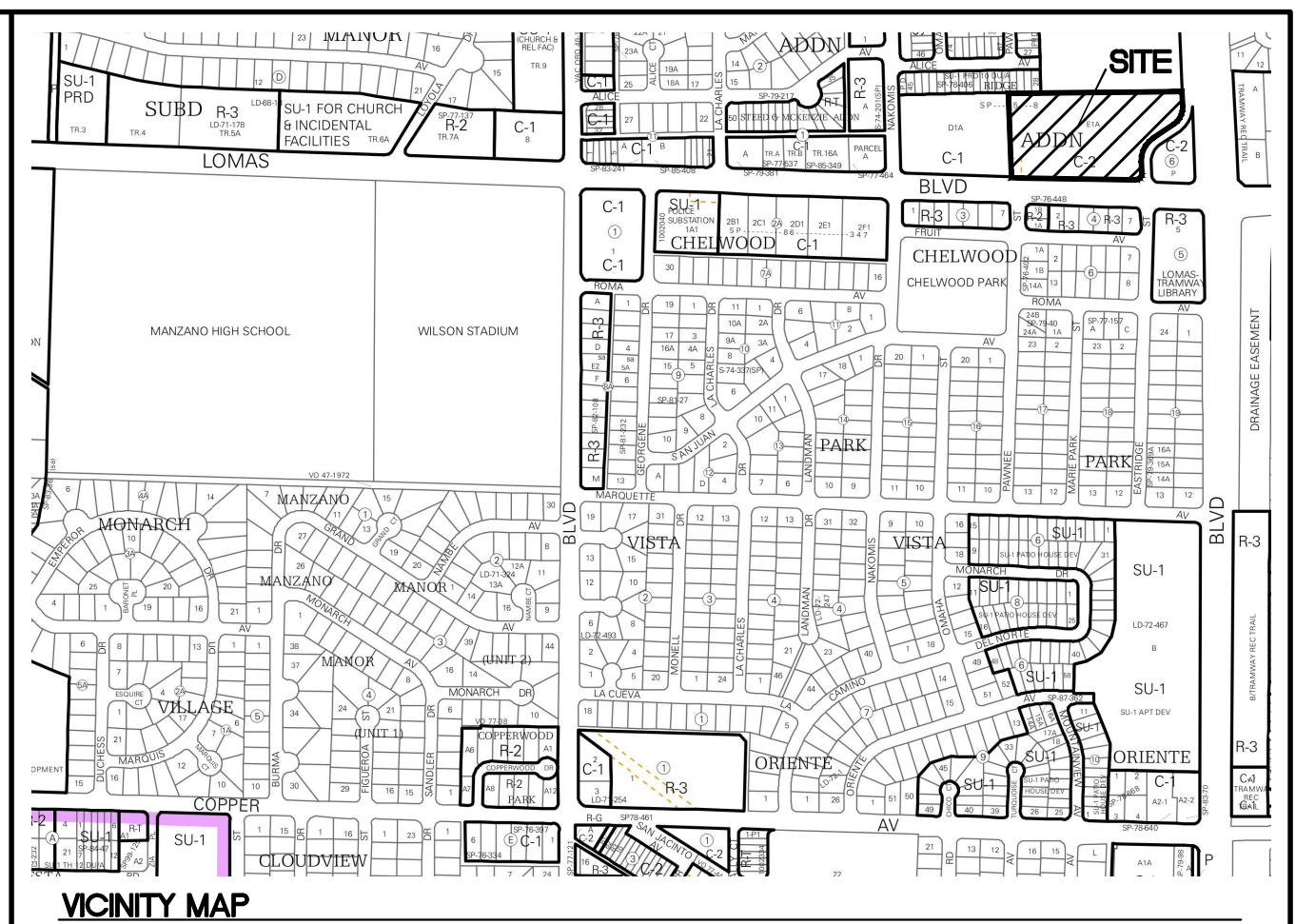
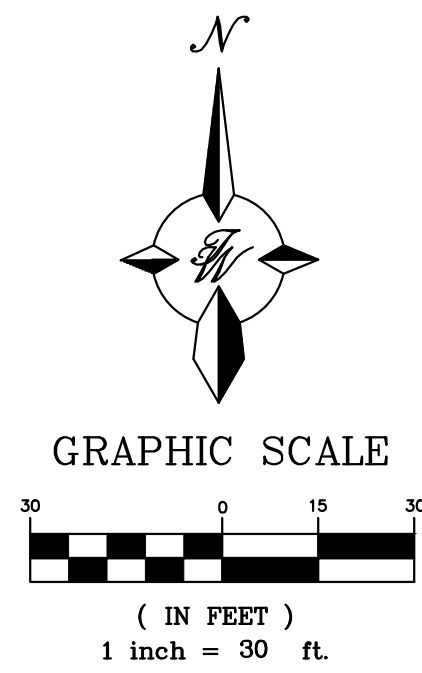
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- PRIOR TO WORK WITHIN THE PASEO DEL NORTE RIGHT-OF-WAY, A NMDOT PERMIT WILL BE REQUIRED

EROSION CONTROL NOTES:

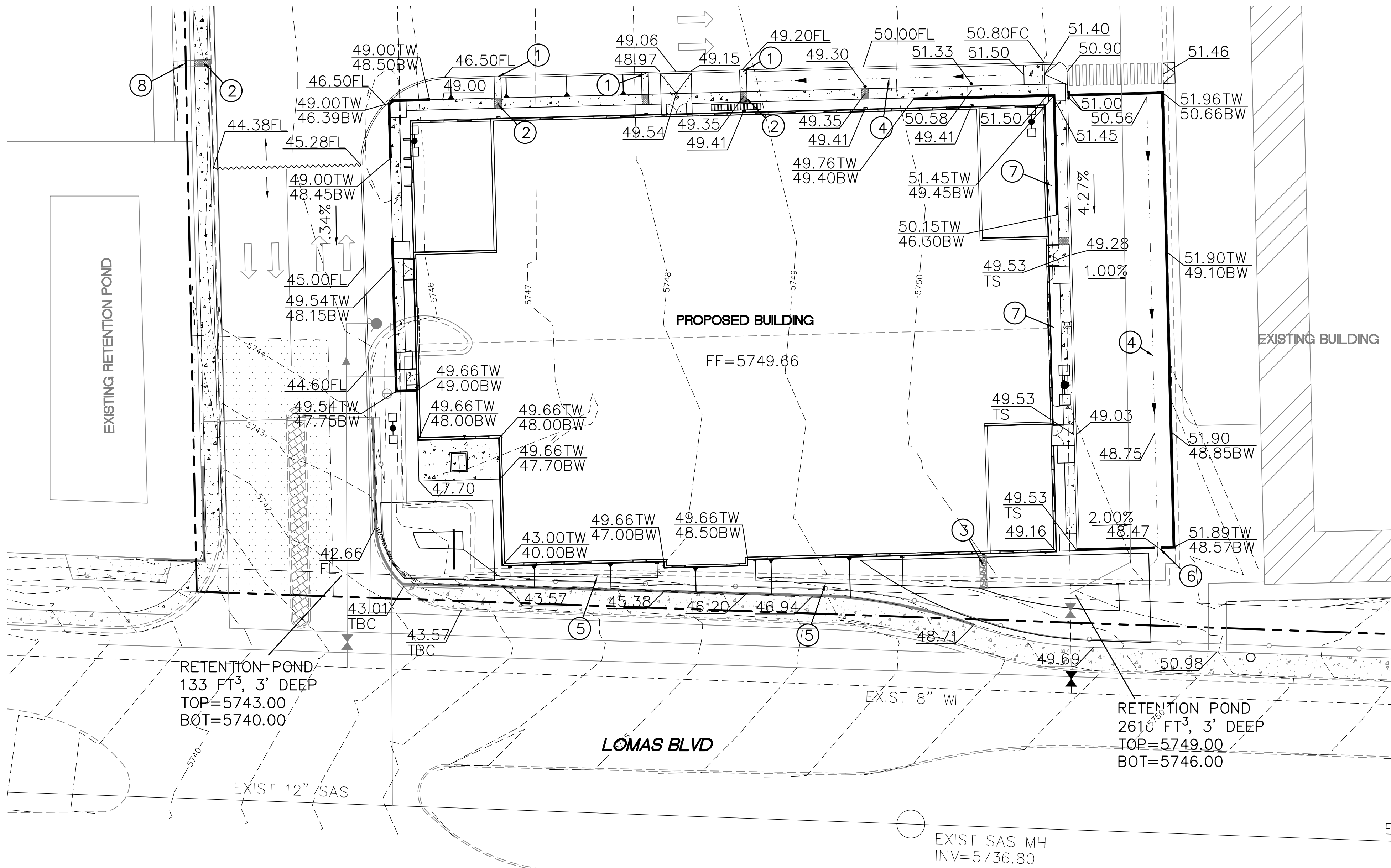
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



	ENGINEER'S SEAL	DRAWN BY pm
	ABQ SCHOOL OF EXCELLENCE	DATE 11-5-19
	OVERALL GRADING AND DRAINAGE PLAN	DRAWING 2019068-GR
	 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-1 JOB # 2019068



- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - BUILDING
 - SIDEWALK
 - RETAINING WALL
 - SPOT ELEVATION (FLOWLINE)
 - SPOT ELEVATION (+5700)
 - FLOW ARROW
 - EXISTING CURB & GUTTER
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- KEYED NOTES**
- 1 2' CURB CUT
 - 2 2' SIDEWALK CULVERT PER COA STD DWG 2236 (TYP)
 - 3 COBBLE SWALE INTO POND
 - 4 2' SWALE
 - 5 CAPTURE ROOF DRAINS IN 6" PIPE AND DAYLIGHT INTO POND
 - 6 2' OPENING IN WALL FOR DRAINAGE
 - 7 LANDSCAPE AREA TO DRAIN THROUGH SIDEWALK CULVERT
 - 8 EXISTING RUNDOWN

EXISTING DRAINAGE CONTIDION:
THE SITE IS AN EXISTING DEVELOPED LOT CONSISTING OF A SINGLE BUILDING AND PARKING LOT. THE SITE WAS ORIGINALLY APPROVED AS A GROCERY STORE IN 1995 AND THEN CONVERTED TO THE EXISTING SCHOOL IN 2016. THE SITE DRAINS FROM EAST TO WEST AND THE SURFACE RUNOFF IS CONTAINED IN A DRAINAGE CHANNEL JUST OFF-SITE ALONG THE WESTERN PROPERTY LINE. THE DRAINAGE CHANNEL DIRECTS THE FLOWS TO AN EXISTING RETENTION POND THAT HAS AN EMERGENCY OVERFLOW ONTO LOMAS BLVD. THERE IS AN EXISTING DRAINAGE EASEMENT IN PLACE FOR THE DRAINAGE CHANNEL AND RETENTION POND. THE SITE IS LOCATED IN ZONE X.

PROPOSED DRAINAGE CONDITION:
FOR THE MOST PART THE SITE WILL FOLLOW THE EXISTING DRAINAGE PATTERN. A NEW BUILDING IS BEING PROPOSED ON THE SOUTH PARKING LOT SO THE IMPERVIOUS AREA IS NOT INCREASED FROM WHEN THE SITE WAS ORIGINALLY DEVELOPED. THE EXISTING RETENTION POND WILL CONTAIN THE FIRST FLUSH FOR THE SITE AS IT IS SIZED TO CONTAIN THE 100YR FLOW. WITH THE CONSTRUCTION OF THE PROPOSED BUILDING THERE ARE TWO SMALL AREAS THAT WILL NOT BE ABLE TO DRAIN TO THE EXISTING RETENTION POND. FOR EACH OF THOSE BASINS PONDS ARE BEING CREATED TO CONTAIN THE 100 YR FLOW AND WILL THEREFORE CONTAIN THE FIRST FLUSH. BOTH POND WILL OVERFLOW ONTO LOMAS BLVD. IN THE EVENT A RAINFALL EXCEEDS THE 100 YR STORM.

Weighted E Method

Mountain Off-Site Basins

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
1	188,240	4.32	0%	0	25%	1.08	0%	0.00	75%	3.24	2.250	0.810	20.17	1.383	0.498	13.14
2	7,375	0.17	0%	0	15%	0.03	0%	0.00	85%	0.14	2.406	0.034	0.83	1.506	0.021	0.55
3	5,895	0.14	0%	0	22%	0.03	0%	0.00	78%	0.11	2.297	0.026	0.64	1.419	0.016	0.42
4	750	0.02	0%	0	0%	0.00	100%	0.02	0%	0.00	1.460	0.002	0.06	0.730	0.001	0.04
5	15,536	0.36	0%	0	42%	0.15	0%	0.00	58%	0.21	1.985	0.059	1.52	1.173	0.035	0.96
		5.00									0.931		23.23			

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted D * Total Area

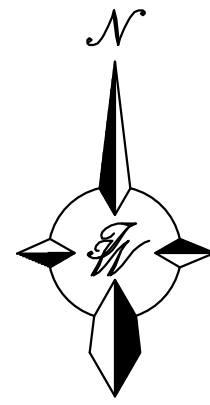
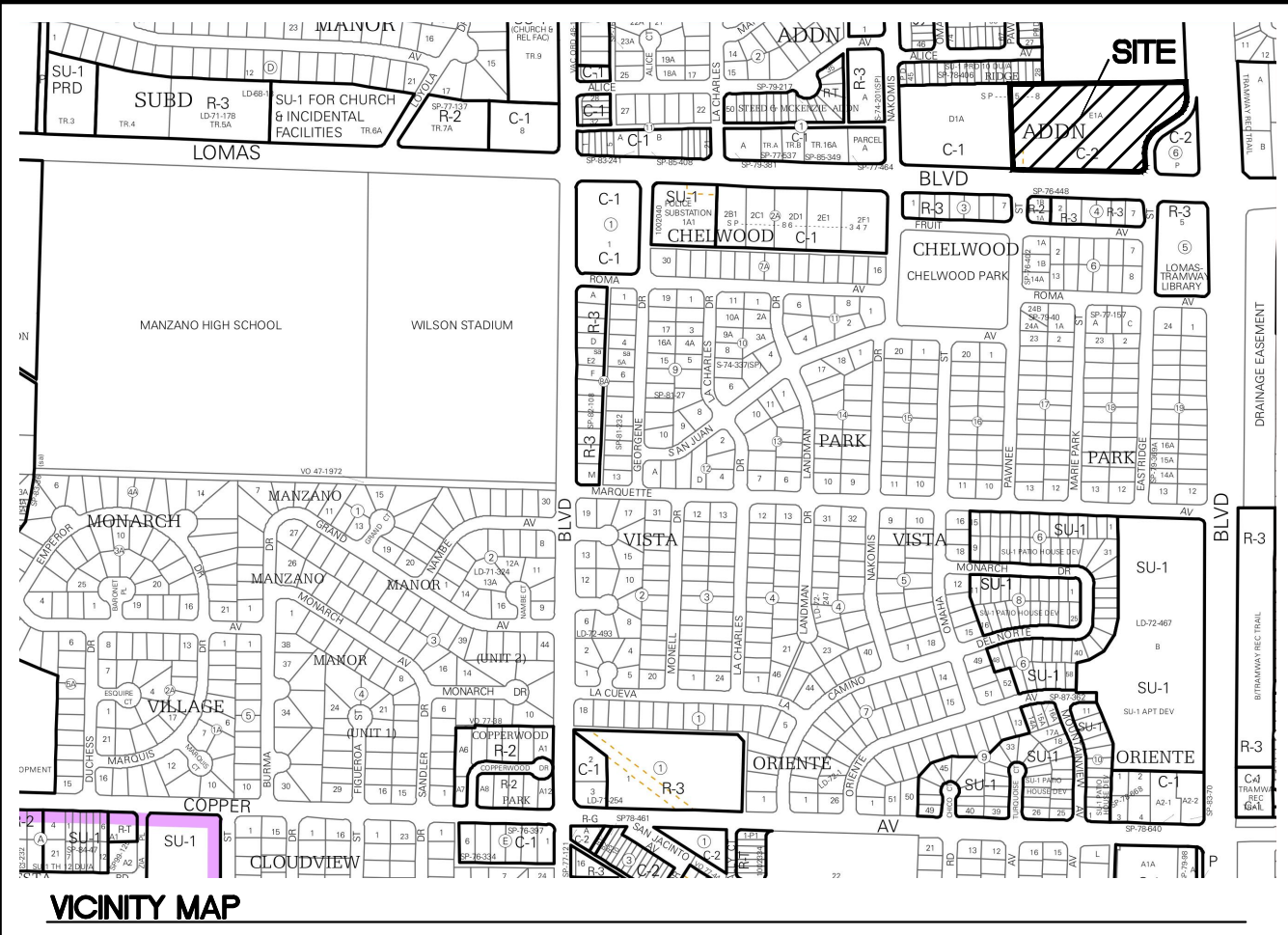
Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Excess Precipitation, E (inches)		
Zone 4	100-Year	10 - Year
E _a	0.8	0.28
E _b	1.08	0.46
E _c	1.46	0.73
E _d	2.64	1.69

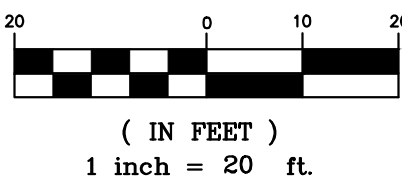
Peak Discharge (cfs/acre)		
Zone 4	100-Year	10 - Year
Q _a	2.2	0.87
Q _b	2.92	1.45
Q _c	3.73	2.26
Q _d	5.25	3.57

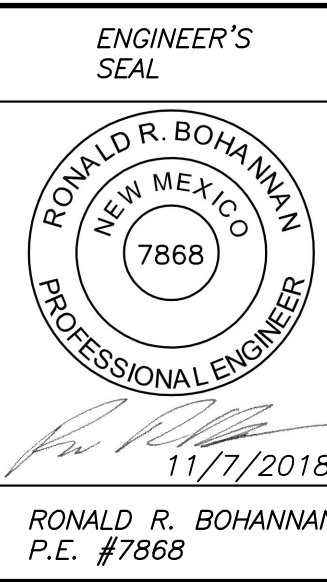

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GRAPHIC SCALE



 <p>ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO PROFESSIONAL ENGINEER 7868 11/7/2018 RONALD R. BOHANNAN P.E. #7868</p>	ABQ SCHOOL OF EXCELLENCE	DRAWN BY pm
	GRADING AND DRAINAGE PLAN	DATE 11-5-19
		DRAWING 2019068-GR
	 <p>TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</p>	SHEET # GR-2 JOB # 2019068