CITY OF ALBUQUERQUE



July 5, 2016

Lee Gamelsky Lee Gamelsky Architects, PC 2412 Miles Rd., SE Albuquerque, NM

Re: ABQ School of Excellence Charter School 13201 Lomas Blvd., NE Traffic Circulation Layout Engineer's/Architect's Stamp 6-28-16 (J22-D050)

Dear Mr. Gamelsky,

Based upon the information provided in your submittal received 7-1-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. Please identify all existing buildings, doors, sidewalks, ADA ramps, curbs, drive pads, wall and anything that influences the parking and circulation on the site.
- 2. Please call out ADA ramps and truncated domes on drive pad crossings, which are required at all public ROW crossings.
- 3. Identify all existing access easements and rights of way width dimensions.
- 4. Identify the right of way width, medians, curb cuts, and street widths on Lomas Blvd. and Tramway Service Rd. Please detail the drive pad width north of the entrance off of Lomas Blvd..
- The handicap accessible spaces must be a minimum of 8.5 ft. in width.
- 6. The handicap accessible spaces must include an 8 ft. wide van access aisle; all other aisles should be 5 ft. in width.
- 7. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC signs.
- 8. The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
- Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details. In review of the submitted drawing, the proposed ADA access from the ROW is 5 ft. in width.

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- 10. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details. It not permissible to have the ADA access isle from the HC parking guide pedestrians behind parking spaces in order to enter building.
- 11. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb.
- Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
- 13. One-way vehicular paths require pavement directional signage and a posted "Do Not Enter" sign at the point of egress. Please show detail and location of
- 14. Please provide a sight distance exhibit (see the *Development Process Manual*, *Chapter 23, Section 3*). Please show this detail for the entrance/exit on Lomas Blvd.
- 15. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
- 16. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
- All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.

18. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E. Traffic Engineer, Planning Dept. Development Review Services

\gs via: email C: CO Clerk, File

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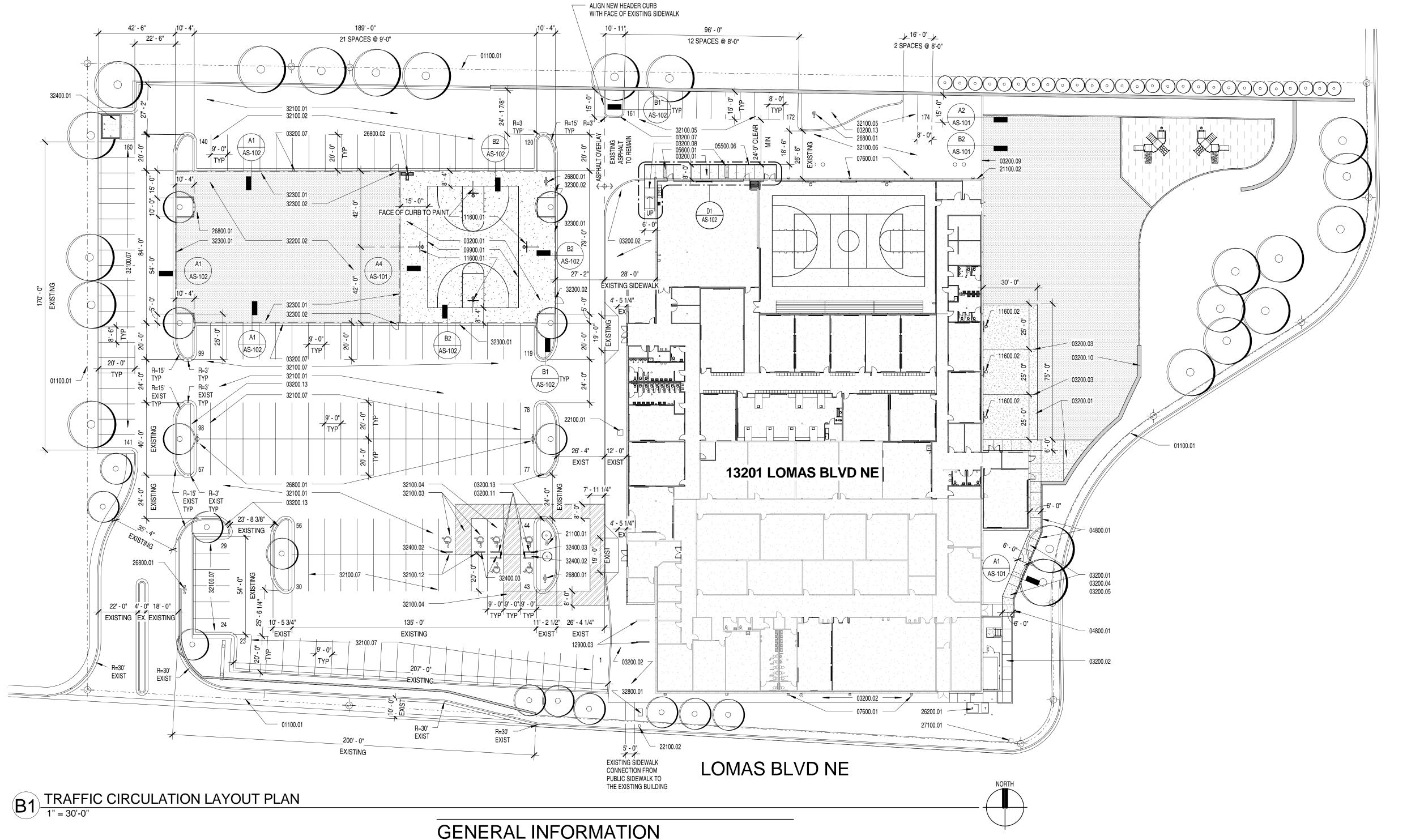


City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: CHARTER School	Building Permit #. T2014154:	Hydrology File #: T22.D05	
DRB#:	FPC#	Work Order#:	
Legal Description: PARCEL E-1-	A Parine Am A Heilor	Work Order#.	
City Address: 13201 Lomas BL	NE 87112		
Applicant: LEE GAMESKY Arch	iteds PC.	Contact: LAE GAMPACKY	
Address: 2412 Miles rd Sa	=		
Applicant: UPE GAMBLER Arch Address: 2412 Miles PM So Phone#: 505 842.8865	Fax#: 842.1693	E-mail: ee@lganm.com	
Other Contact:			
Address:			
Phone#:	Fax#:	E-mail:	
Check all that Apply:			
DEPARTMENT:	TVPE OF APPRO	VAL/ACCEPTANCE SOUGHT:	
HYDROLOGY/ DRAINAGE			
★ TRAFFIC/ TRANSPORTATION ★ BUILDING PERMIT APPROVAL ★ CERTIFICATE OF OCCUPANCY			
M54/ EROSION & SEDIMENT CONTROL		2 of occorniver	
TYPE OF SUBMITTAL:	PRELIMINA	RY PLAT APPROVAL	
ENGINEER/ARCHITECT CERTIFICATION	CATION SITE PLAN FOR SUB'D APPROVAL		
	SITE PLAN F	OR BLDG. PERMIT APPROVAL	
CONCEPTUAL G & D PLAN	INVALILAI AFRYWAL		
GRADING PLAN			
DRAINAGE MASTER PLAN SIA/ RELEASE OF FIVANCIAL GUARANTEE			
DRAINAGE REPORT CLOMR/LOMR		FOUNDATION PERMIT APPROVAL	
CLOMR/LOMR		RM/T APPROVAL	
TRAFFIC CIRCULATION LAYOUT (TCL)		DVAL V E N	
TRAFFIC IMPACT STUDY (TIS)		PAVING PERMIT APPROVAL	
EROSION & SEDIMENT CONTROL PLAN	GRADING/P	AD CERTIFICATION	
EROSION & SEDIMENT CONTROL TEAT		R APPROVAL TO THE OPMENT SECTION	
OTHER (SPECIFY)	CLOMR/EGM	ROPMENT SECTION	
	PRE-DESIGN	MEETINGS	
	I RE-DESIGN	MEETING:	
IS THIS A RESUBMITTAL?: Yes Yo	OTHER (SPE	CIFY)	
DATE SUBMITTED: 1 July 2016	By: De Gamerika		
DA STAFF FLECTRONIC SURMITTAL DECEIVED.			



A. PLANNING HISTORY:

1. THIS PROJECT IS FOR THE INTERIOR BUILD-OUT OF THE REMAINING VACANT PORTION OF THE EXISTING BUILDING, AND SOME SITE IMPROVEMENTS, NOT SUBJECT TO A MASTER PLAN OR SECTOR DEVELOPMENT PLAN. THERE IS NO NEW BUILDING ADDITION(S) ASSOCIATED WITH THE PROJECT.

- 2. THERE WILL BE NO CHANGE IN GROSS SQUARE FEET OF THE BUILDING.
- 3. THE EXISTING LANDSCAPE AREAS WILL BE MAINTAINED.
- 4. THE EXISTING NUMBER OF HANDICAPPED PARKING SPACES WILL REMAIN.

B. DESCRIPTION:

PROJECT

LOCATION

- 1. VICINITY MAP (SEE ZONE LOCATION MAP TO THE LEFT).
- 2. ADDRESS: 13201 LOMAS BLVD NE, ALBUQUERQUE, NM 87112 LEGAL DESCRIPTION:

PARCEL E-1-A PANORAMA HEIGHTS ADDITION

(SEE SHEET V-101 FOR SURVEY)

3. VARIANCE: NOT REQUIRED

4. TYPE OF DEVELOPMENT:

- INTERIOR BUILD-OUT OF THE VACANT PORTION OF AN EXISTING BUILDING FOR A CHARTER SCHOOL.
- 5. SIZE OF DEVELOPMENT:

5.04 ACRE LOT SIZE: BUILDING GROSS AREA: 55,000 SF

6. PARKING REQUIRED:

ELEMENTARY/MIDDLE SCHOOL AREA: (23,069 GROSS SF)

1 SPACE PER EMPLOYEE. 30 EMPLOYEES = 30 PARKING SPACES

HIGH SCHOOL: (31,931 GROSS SF)

3 SPACES PER CLASSROOM 15 CLASSROOMS = 45 PARKING SPACES

TOTAL NUMBER OF PARKING SPACES REQUIRED = 75

DISABLED PARKING:

TOTAL REQUIRED PARKING SPACES 51 TO 100 = 4 REQUIRED DISABLED

PARKING PROVIDED:

TOTAL NUMBER OF PARKING SPACES PROVIDED = 168 TOTAL NUMBER OF HANDICAP SPACES PROVIDED = 6

168 > 75, THEREFORE OK. 6 > 4, THEREFORE OK.

BICYCLE PARKING SPACES REQUIRED: 1 SPACE PER 20 REQUIRED PARKING SPACES.

75/20 = 3.75BICYCLE PARKING SPACES PROVIDED = 5 5 > 3.75 , THEREFORE OK.

7. EXECUTIVE SUMMARY:

A. PROJECT LOCATION:

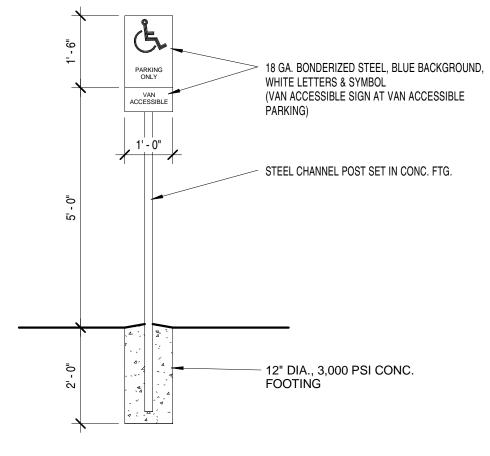
THE PROJECT IS LOCATED AT 13201 LOMAS BLVD NE, ON THE NORTH SIDE OF LOMAS BLVD NE JUST WEST OF TRAMWAY BLVD NE AND JUST EAST OF NAKOMIS DRIVE NE.

B. DEVELOPMENT CONCEPT:

THE PROJECT IS A INTERIOR BUILD-OUT OF THE REMAINING VACANT PORTION OF AN EXISTING BUILDING. THERE ARE ALSO SITE IMPROVEMENTS AS PART OF THIS PROJECT INCLUDING PLAY AREAS, TWO NEW CONCRETE SIDEWALKS AND A NEW CONCRETE RAMP.

C. TRAFFIC CIRCULATION CONCEPT:

THE TRAFFIC CIRCULATION PATTERN TO AND THROUGH THE SITE WILL REMAIN AS ORIGINALLY DEVELOPED. TRAFFIC CIRCULATION FOR THIS SITE WILL FLOW THROUGH THE EXISTING ENTRY FROM LOMAS BLVD NE AND CONTINUE THROUGH THE EXISTING DRIVE AISLES PROVIDED ON THE SITE WITH A DROP-OFF AREA ALONG THE WEST SIDEWALK OF THE EXISTING BUILDING, TRAFFIC THEN FLOWS TO THE NORTH END OF THE LOT, THEN WEST ALONG THE NORTH BOUNDARY AND THEN SOUTH TO THE EXISTING EXIT TO LOMAS BLVD NE. PARKING IS PROVIDED THROUGHOUT THE INTERIOR OF THE LOT, AS WELL AS PARKING ALONG THE SOUTH AND WEST BOUNDARY AND SMALL CAR PARKING ALONG THE NORTH BOUNDARY OPPOSITE THE NORTH FACADE OF THE EXISTING BUILDING.



A4 HC Parking Sign Detail

1/2" = 1'-0"

GENERAL NOTES

A. AT NEW ASPHALT OVERLAY, MAXIMUM GRADES NOT TO EXCEED 8% IN PARKING AREAS. AT MAJOR CIRCULATION AISLES AND AT AISLES ADJACENT TO MAJOR PEDESTRIAN ENTRANCES, GRADES NOT TO EXCEED 6%. SEE GRADING AND DRAINAGE PLAN.

KEYED NOTES

04800.01 CMU RETAINING WALL.

01100.01 PROPERTY LINE. 03200.01 4" THICK REINFORCED CONCRETE SIDEWALK/SLAB. 3000 PSI MIN. AIR ENTRAINED. REINFORCE WITH 6X6 / 10X10 WWM, FLAT SHEETS, CENTERED IN SLAB. 03200.02 EXISTING CONCRETE SIDEWALK TO REMAIN. 03200.03 1/2" THICK EXPANSION JOINT MATERIAL. ASPHALT IMPREGNATED OR EQUAL. SET TOP OF MATERIAL 1/2" BELOW TOP OF CONCRETE. INSTALL POURABLE POLYURETHANE SEALANT OVER JOINT AND FLUSH WITH TOP OF CONCRETE 03200.04 1/2" THICK EXPANSION JOINT MATERIAL AT 20'-0" OC MAX. ASPHALT IMPREGNATED OR EQUAL. SET TOP OF MATERIAL 1/2" BELOW TOP OF CONCRETE. INSTALL POURABLE POLYURETHANE SEALANT OVER JOINT AND FLUSH WITH TOP OF CONCRETE. 03200.05 1" DEEP CONCRETE CONTROL JOINT AT +/- 5'-0" O.C. 03200.06 CONCRETE FOOTING. 3000 PSI, MIN. AIR ENTRAINED. 03200.07 NEW CONCRETE HEADER CURB. SEE CIVIL. 03200.08 NEW CONCRETE RAMP. SEE DETAILS ON SHEET AS-102. SEE STRUCTURAL. 03200.09 NEW CONCRETE RETAINING CURB. SEE DETAILS ON THIS SHEET AND CIVIL. 03200.10 EXISTING CONCRETE RETAINING WALL TO REMAIN. 03200.11 EXISTING CONCRETE WHEEL STOP TO REMAIN (4).
03200.12 NEW LOCATION FOR SALVAGED CONCRETE WHEEL STOP (2). 03200.13 EXISTING CONCRETE CURB AND GUTTER/LANDSCAPE ISLAND TO REMAIN.

1-1/4" DIA. STEEL PIPE HANDRAIL. PRIME AND PAINT. SEE DETAILS ON SHEET AS-102.

STEEL TRENCH COVER OVER CONCRETE TRENCH DRAIN. SEE DETAILS ON

EXISTING DOWNLEADER TO REMAIN. TYPICAL OF (6) ON THE NORTH END OF THE BUILDING AND (6) ON THE SOUTH END OF THE BUILDING.

09900.01 2" WIDE PAINTED BASKETBALL COURT MARKINGS.

12900.03 EXISTING BIKE RACK TO REMAIN. 21100.01 EXISTING FIRE HYDRANT TO REMAIN. 21100.02 EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN.

22100.01 ACID WASTE TANK. SEE PLUMBING. 22100.02 EXISTING WATER METER TO REMAIN.

26200.01 EXISTING TRANSFORMER TO REMAIN. SEE ELECTRICAL. 26800.01 EXISTING POLE MOUNTED LIGHT FIXTURE ON CONCRETE BASE TO REMAIN.

26800.02 NEW POLE MOUNTED LIGHT FIXTURE ON CONCRETE BASE. SEE ELECTRICAL 27100.01 EXISTING TELEPHONE BOX TO REMAIN. 32100.01 1-1/2" ASPHALT OVERLAY. SEE GRADING AND DRAINAGE PLAN.

32100.02 NEW WHITE PAINTED PARKING STRIPING. TYPICAL PARKING SPACE DIMENSION = 9'-0" WIDE X 20'-0" LONG. 32100.03 NEW HC PARKING AND SYMBOLS.

32100.04 RE-STRIPE EXISTING ACCESSIBLE PARKING AND SYMBOLS AFTER ASPHALT OVERLAY. ASPHALT OVERLAY ON ALL ACCESSIBLE PARKING SPACES AND ACCESS AISLES TO ATTAIN 2% SLOPE MAXIMUM.

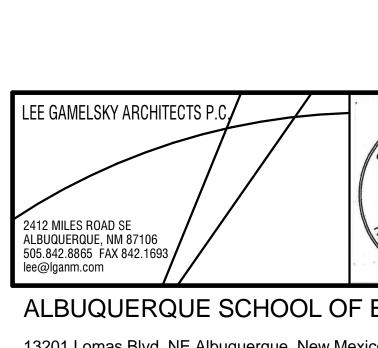
32100.05 NEW WHITE PAINTED PARKING STRIPING - SMALL CAR. TYPICAL SMALL CAR PARKING SPACE DIMENSION = 8'-0" WIDE X 15'-0" LONG. 32100.06 EXISTING ASPHALT TO REMAIN.

32100.07 EXISTING PARKING. RE-STRIPE AFTER NEW ASPHALT OVERLAY. REFER TO NOTE NEW SYNTHETIC TURF OVER 4" CRUSHER FINES. INSTALL PER MANUFACTURER'S

RECOMMENDATIONS. SEE CIVIL. NEW CHAINLINK FENCE, 12'-0" HIGH. INSTALL FENCE POSTS AT 8'-0" O.C. MAX. 32300.02 CHAINLINK SWING GATE, 4'-0" WIDE X 8'-0" HIGH.

32400.01 NEW REFUSE ENCLOSURE. SEE DETAILS ON AS-101 32400.02 NEW HC PARKING SIGN. 32400.03 NEW VAN ACCESSIBLE HC PARKING SIGN.

32800.01 NEW HOTBOX.

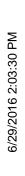


ALBUQUERQUE SCHOOL OF EXCELLENCE

13201 Lomas Blvd, NE Albuquerque, New Mexico PROJECT ARCHITECT: Project #: LEE GAMELSKY, AIA 28 JUNE 2016

TRAFFIC CIRCULATION LAYOUT PLAN

WTB Sheet: TCL



ZONE LOCATION MAP K-22-Z