

# CITY OF ALBUQUERQUE



July 5, 2016

Lee Gamelsky  
Lee Gamelsky Architects, PC  
2412 Miles Rd., SE  
Albuquerque, NM

**Re: ABQ School of Excellence Charter School**  
**13201 Lomas Blvd., NE**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp 6-28-16 (J22-D050)

Dear Mr. Gamelsky,

Based upon the information provided in your submittal received 7-1-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please identify all existing buildings, doors, sidewalks, ADA ramps, curbs, drive pads, wall and anything that influences the parking and circulation on the site.
2. Please call out ADA ramps and truncated domes on drive pad crossings, which are required at all public ROW crossings.
3. Identify all existing access easements and rights of way width dimensions.
4. Identify the right of way width, medians, curb cuts, and street widths on Lomas Blvd. and Tramway Service Rd. Please detail the drive pad width north of the entrance off of Lomas Blvd.,
5. The handicap accessible spaces must be a minimum of 8.5 ft. in width.
6. The handicap accessible spaces must include an 8 ft. wide van access aisle; all other aisles should be 5 ft. in width.
7. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs.
8. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
9. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details. In review of the submitted drawing, the proposed ADA access from the ROW is 5 ft. in width.

PO Box 1293

Albuquerque

New Mexico 87103

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10. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details. It not permissible to have the ADA access isle from the HC parking guide pedestrians behind parking spaces in order to enter building.
11. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb.
12. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
13. One-way vehicular paths require pavement directional signage and a posted "Do Not Enter" sign at the point of egress. Please show detail and location of
14. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3*). Please show this detail for the entrance/exit on Lomas Blvd.
15. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
16. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
17. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
18. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: ABQ School of Excellence  
Chaparral School Building Permit #: T201691547 Hydrology File #: J220050  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Parcel E-1-A PANORAMA Heights ADDN.  
City Address: 13201 Lomas Blvd NE 87112

Applicant: LFE GAMELSKY Architects PC. Contact: LFE GAMELSKY  
Address: 2412 Miles Rd SE  
Phone#: 505 842-8865 Fax#: 842-1693 E-mail: lee@lganm.com

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

\_\_\_\_ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
\_\_\_\_ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION  
  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ CLOMR/LOMR  
  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_ EROSION & SEDIMENT CONTROL PLAN (ESC)  
  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL  
\_\_\_\_ CERTIFICATE OF OCCUPANCY  
  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
  
\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ CLOMR/LOMR

\_\_\_\_ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: \_\_\_\_ Yes ☒ No

\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 1 July 2016 By: Lee Gamelsky

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_





**A4** HC Parking Sign Detail  
1/2" = 1'-0"



A. AT NEW ASPHALT OVERLAY, MAXIMUM GRADES NOT TO EXCEED 8% IN PARKING AREAS. AT MAJOR CIRCULATION AISLES AND AT AISLES ADJACENT TO MAJOR PEDESTRIAN ENTRANCES, GRADES NOT TO EXCEED 6%. SEE GRADING AND DRAINAGE PLAN.

01100.01 PROPERTY LINE.  
03200.01 4" THICK REINFORCED CONCRETE SIDEWALKS/LAB. 3000 PSI MIN. AIR ENTRAINED. REINFORCE WITH 6X6 / 10X10 WWM, FLAT SHEETS, CENTERED IN SLAB.

03200.02 1 1/2" THICK EXPANSION JOINT SIDEWALK WATER. AT 20'-0" O.C MAX.

03200.03 1/2" THICK EXPANSION JOINT MATERIAL. ASPHALT IMPREGNATED OR EQUAL. SET TOP OF MATERIAL 1/2" BELOW TOP OF CONCRETE. INSTALL POURABLE POLYURETHANE SEALANT OVER JOINT AND FLUSH WITH TOP OF CONCRETE.

03200.04 1 1/2" THICK EXPANSION JOINT WATER. AT 20'-0" O.C MAX. ASPHALT IMPREGNATED OR EQUAL. SET TOP OF MATERIAL 1/2" BELOW TOP OF CONCRETE. INSTALL POURABLE POLYURETHANE SEALANT OVER JOINT AND FLUSH WITH TOP OF CONCRETE.

03200.05 1" DEEP CONCRETE CONTROL JOINT AT +/- 5'-0" O.C.

03200.06 CONCRETE FOOTING. 3000 PSI MIN. AIR ENTRAINED.

03200.07 NEW CONCRETE HEADER CURB. SEE CIVIL.

03200.08 NEW CONCRETE RAMP. SEE DETAILS ON SHEET AS-102. SEE STRUCTURAL.

03200.09 NEW CONCRETE RETAINING CURB. SEE DETAILS ON SHEET AND CIVIL.

03200.10 EXISTING CONCRETE RETAINING WALL. TO REMAIN.

03200.11 EXISTING CONCRETE WHEEL STOP TO REMAIN (4).

03200.12 NEW LOCATION FOR SALVAGED CONCRETE WHEEL STOP (2).

03200.13 EXISTING CONCRETE CURB AND GUTTER/LANDSCAPE ISLAND TO REMAIN.

05000.06 1 1/4" DIA. STEEL PIPE HANDRAIL. PRIME AND PAINT. SEE DETAILS ON SHEET AS-102.

05600.01 STEEL TRENCH COVER OVER CONCRETE TRENCH DRAIN. SEE DETAILS ON SHEET AS-102.

07600.01 EXISTING DOWNHILL LEADER TO REMAIN. TYPICAL OF (6) ON THE NORTH END OF THE BUILDING AND (6) ON THE SOUTH END OF THE BUILDING.

09900.01 2" WIDE PAINTED BASKETBALL COURT MARKINGS.

12900.03 EXISTING BIKE RACK TO REMAIN.

11100.01 EXISTING FIRE HYDRANT TO REMAIN.

11100.02 EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN.

22100.01 ACID WASTE TANK. SEE PLUMBING.

22100.02 EXISTING WATER METER TO REMAIN.

26200.01 EXISTING TRANSFORMER TO REMAIN. SEE ELECTRICAL.

26800.01 EXISTING POLE MOUNTED LIGHT FIXTURE ON CONCRETE BASE TO REMAIN.

26800.02 NEW POLE MOUNTED LIGHT FIXTURE ON CONCRETE BASE. SEE ELECTRICAL.

27100.01 EXISTING TELEPHONE BOX TO REMAIN.

32100.01 1-1/2" ASPHALT OVERLAY. SEE GRADING AND DRAINAGE PLAN.

32100.02 EXISTING ASPHALT TO REMAIN.

32100.03 NEW WHITE PAINTED PARKING STRIPING. TYPICAL PARKING SPACE DIMENSION = 9'-0" WIDE X 20'-0" LONG.

32100.04 NEW HC PARKING AND SYMBOLS.

32100.04 RE-STRIP EXISTING ACCESSIBLE PARKING AND SYMBOLS AFTER ASPHALT OVERLAY. ASPHALT OVERLAY ACCESSIBLE PARKING SPACES AND ACCESS AISLES TO ATTAIN 2% SLOPE MAXIMUM.

32100.05 NEW WHITE PAINTED PARKING STRIPING - SMALL CAR. TYPICAL SMALL CAR PARKING SPACE DIMENSION = 8'-0" WIDE X 15'-0" LONG.

32100.06 EXISTING ASPHALT TO REMAIN.

32100.07 EXISTING PARKING. RE-STRIP AFTER NEW ASPHALT OVERLAY. REFER TO NOTE 32100.02 ABOVE.

32200.02 NEW SYNTHETIC TURF OVER 4" CRUSHER FINESS. INSTALL PER MANUFACTURER'S RECOMMENDATION. SEE CIVIL.

33300.01 NEW CHAINLINK FENCE, 12'-0" HIGH. INSTALL FENCE POSTS AT 8'-0" O.C. MAX.


33300.02 CHAINLINK SWING GATE, 4'-0" WIDE X 8'-0" HIGH.

33400.01 NEW REFUSE ENCLOSURE. SEE DETAILS ON AS-101.

33400.02 NEW HC PARKING SIGN.

33400.03 NEW VAN ACCESSIBLE HC PARKING SIGN.

32800.01 NEW HOTBOX.

<p>LEE GAMELSKY ARCHITECTS P.C.</p> <p>2412 MILES ROAD SE ALBUQUERQUE, NM 87106 505.842.8865 FAX 842.1693 lee@lganm.com</p>	
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13201 Lomas Blvd, NE Albuquerque, New Mexico	
PROJECT ARCHITECT:	Project #: 16-04-F-
LEE GAMELSKY, AIA	Date: 28 JUNE 2016

## TRAFFIC CIRCULATION LAYOUT PLAN

By: WTB	Sheet: Of:
File:	TCL