

CITY OF ALBUQUERQUE



November 12, 2019

Jonathan Niski
Tierra West, LLC
5571 Midway Parl pl NE
Albuquerque, NM 87109

Re: Albuquerque School of Excellence
13201 Lomas Blvd NE Albuquerque NM 87112
Traffic Circulation Layout
Engineer's/Architect's Stamp 11-07-2018 (J22D050)

Dear Mr. Niski,

Based upon the information provided in your submittal received 11-08-2019, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
2. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
3. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
4. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
5. Bicycle racks shall be sturdy and anchored to a concrete pad.
6. A 1-foot clear zone around the bicycle parking stall shall be provided.
7. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

8. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,



Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

\MM via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: ABQ School Excellence **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Parcel E-1-A Land Div Plat Parcels D-1-A & E-1-A Formerly Parcel D-1 & E-1 Panorama Heights ADDN
City Address: 13201 Lomas Blvd NE Albuquerque NM 87112

Applicant: Tierra West, LLC **Contact:** Jonathan Niski
Address: 5571 Midway Park Place NE Albuquerque NM 87109
Phone#: 505-858-3100 **Fax#:** 505-858-1118 **E-mail:** jniski@tierrawestllc.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

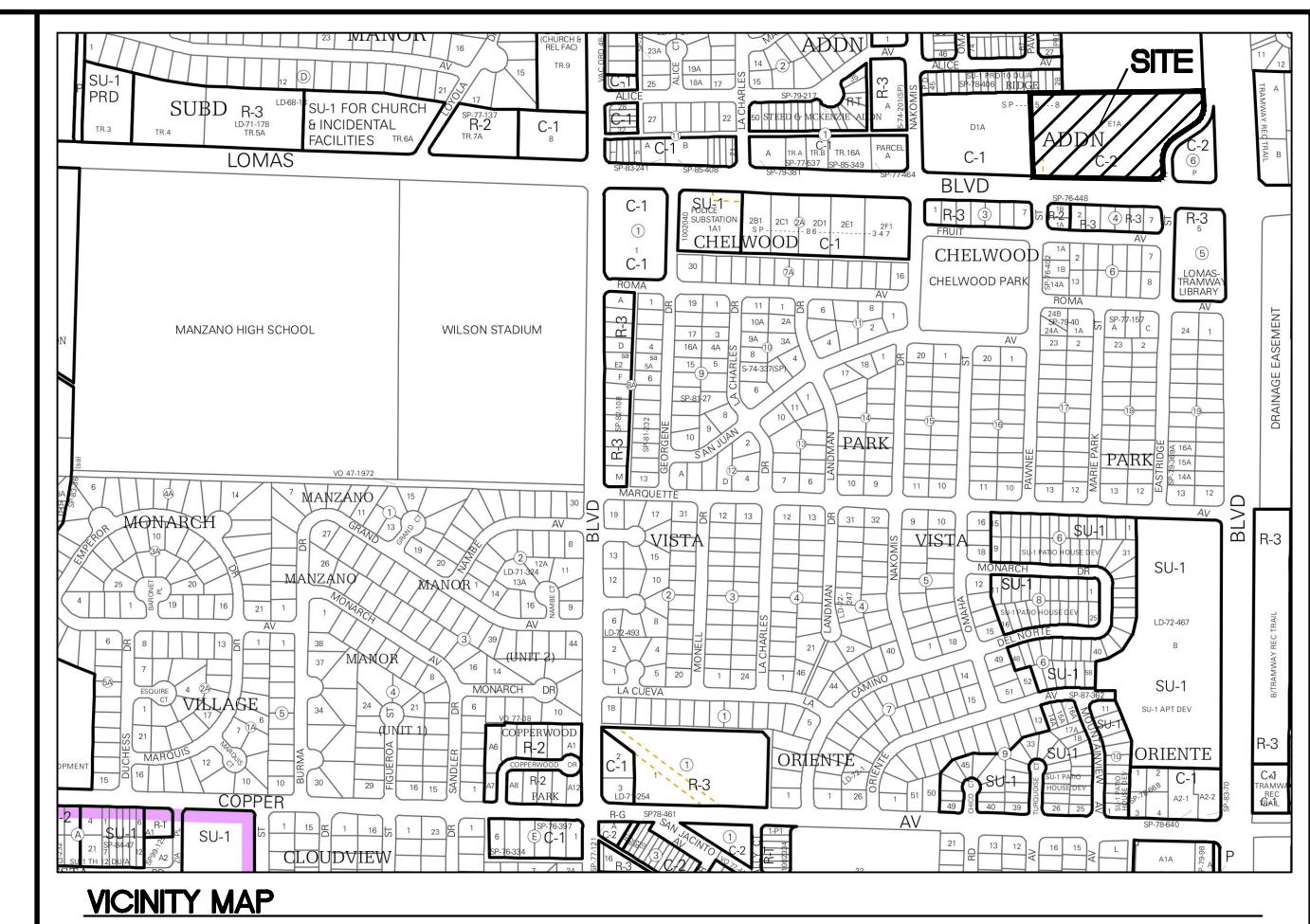
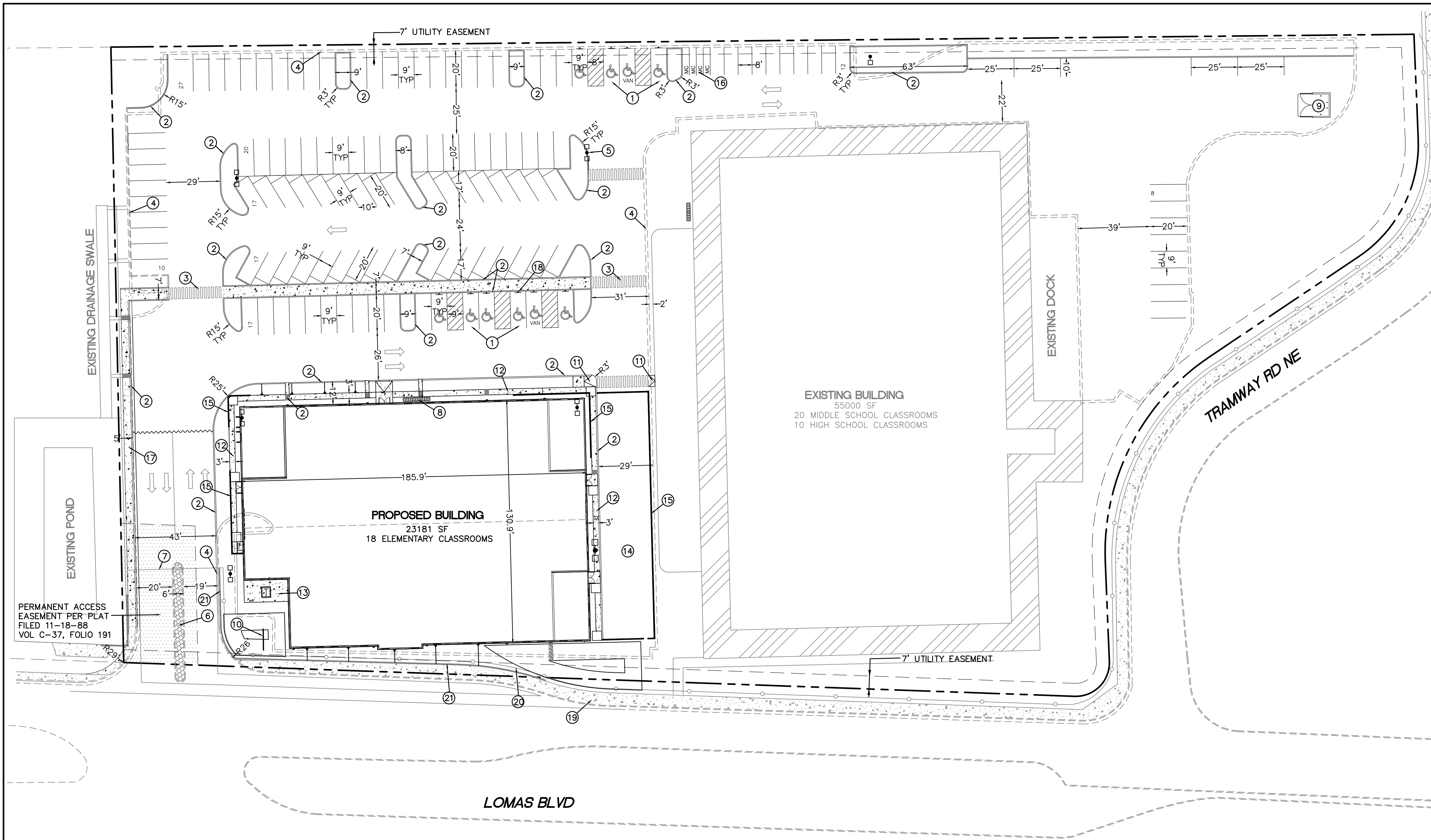
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 11/8/2019 **By:** Jonathan Niski

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



LEGAL DESCRIPTION:
PARCEL E-1-A, PANORAMA HEIGHTS ADDITION

UPC NO: 102205847502241515

SITE DATA	
ZONING	MX-M
PROPOSED USAGE	EDUCATIONAL
LOT AREA	219542 SF (5.04 ACRES)
EXISTING BUILDING AREA	55000 SF
PROPOSED BUILDING AREA	23181 SF

PARKING	
TOTAL PARKING REQUIRED	
38 ELEMENTARY/MIDDLE SCHOOL CLASSROOMS (2 SPACES PER CLASSROOM)	76 SPACES
10 HIGH SCHOOL CLASSROOMS (3 SPACES PER CLASSROOM)	30 SPACES
TOTAL SPACES REQUIRED	106 SPACES
TOTAL BICYCLE SPACES REQUIRED	10 SPACES (10% OF REQUIRED SPACES)
TOTAL MOTORCYCLE SPACES REQUIRED	4 SPACES

PROVIDED	
PARKING PROVIDED	124 SPACES
HC PARKING REQUIRED	8 SPACES
HC SPACES PROVIDED	10 SPACES (2 VAN ACCESSIBLE)
MOTORCYCLE SPACES PROVIDED	4 SPACES
BICYCLE SPACES PROVIDED	15 SPACES

LANDSCAPE REQUIRED	21159 SF
LANDSCAPE PROVIDED	33750 SF

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- SIDEWALK
- CONCRETE WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING BLOCK WALL
- EXISTING WROUGHT IRON FENCE
- PARKING LOT LIGHT

KEYED NOTES

- 1 ACCESSIBLE RAMP PER ADA STANDARDS (1.0% MIN - 2.0% MAX SLOPE)
- 2 CURB AND GUTTER PER COA STD DWG 2415A
- 3 6' PEDESTRIAN CROSSWALK
- 4 EXISTING CURB
- 5 PARKING LOT LIGHT (TYP)
- 6 EXISTING ISLAND
- 7 EXISTING GATE
- 8 BICYCLE RACK (15)
- 9 DUMPSTER W/RECYCLE
- 10 EXISTING PYLON SIGN (TO BE REMOVED)
- 11 ACCESSIBLE RAMP
- 12 3' SIDEWALK RAMP
- 13 CONCRETE TRANSFORMER PAD
- 14 PLAYGROUND
- 15 CONCRETE BLOCK WALL
- 16 MOTORCYCLE PARKING W/SIGN (TYP)
- 17 NEW 5' SIDEWALK
- 18 ACCESSIBLE PARKING SIGN
- 19 EXISTING 8' SIDEWALK
- 20 EXISTING WROUGHT IRON FENCE
- 21 EXISTING BLOCK WALL

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	ABQ SCHOOL OF EXCELLENCE	DRAWN BY pm
	TRAFFIC CIRCULATION LAYOUT	DATE 11-5-19
		DRAWING 2019068-SP
		SHEET # SP-1
		JOB # 2019068

