

# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

May 14, 2021

Freddie Montoya, RA  
Freddie Montoya Architect  
2336 Sunshine Rd SW  
Albuquerque, NM 871XX

**Re: Laundromat TI**  
**12910 Indian School Rd NE**  
**30-Day Temporary Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 8-27-20 (J22D052)  
Certification dated 5-11-21

Dear Mr. Montoya,

Based upon the information provided in your submittal received 5-12-21, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- ADA pathway from public sidewalk to building entrance is not ADA compliant. Please correct. (See attached Photo)

Once corrections are complete resubmit

1. The approved and stamped TCL, with changes drawn in red.
2. Transportation Certification letter on either the plan or applicants letterhead.
3. A Drainage Transportation Information Sheet (DTIS)
4. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
5. The \$75 re-submittal fee for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3981.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

Sincerely,

Ernie Gomez,  
Plan Checker, Planning Dept.  
Development Review Services

EG     via: email  
C:     CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

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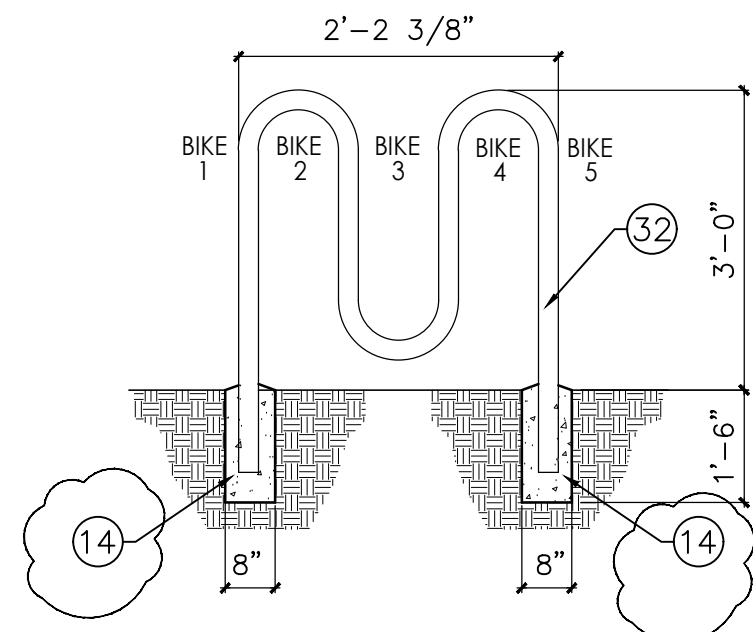


GENERAL NOTES FOR CONCRETE AND PAVING

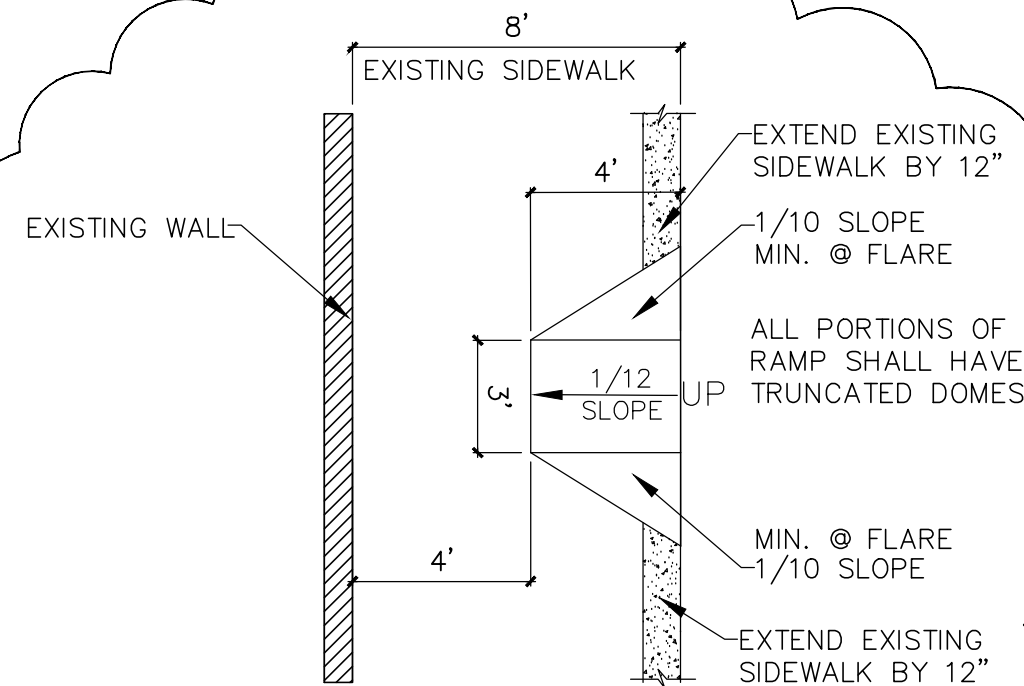
A. EXISTING BUILDING STRUCTURES ARE BEING DEMOLISHED UNDER A SEPARATE DEMOLITION PERMIT. THE FOOTPRINTS ARE BEING SHOWN ON THE SITE DEMOLITION PLAN ONLY. ALL AREAS OF WALL AND EQUIPMENT DEMOLITION SHALL BE REPAIRED AS FOLLOWS:

PARTIAL CONCRETE SLABS THAT HAVE BEEN REMOVED WILL BE REPAIRED BY PLACING NEW 3000 PSI CONCRETE W/ #4 REBAR @ 18" O.C. EA. WAY. INSURE THAT NEW CONCRETE SLAB SURFACES FINISH FLUSH W/ EXISTING ADJACENT CONCRETE SLABS OR PAVEMENT. INSURE THAT ALL EXISTING GRADES ARE MAINTAINED. PREPARE SUB-GRADE TO 95% COMPACTION.

ANY PAVEMENT THAT HAS BEEN DAMAGED DUE TO CONCRETE SLAB REMOVAL SHALL BE REPAIRED BY CUTTING EXISTING PAVEMENT TO HAVE STRAIGHT AND LEVEL SIDES AND SURFACES ADJACENT TO EXISTING CONCRETE. PROVIDE A 3" MINIMUM PAVING SECTION FILL IN ALL THESE AREAS. COMPACTED SUB-GRADE TO 95% IN ALL THESE AREAS.



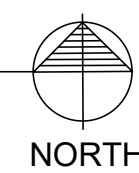
4 **BIKE RACK DETAIL**  
TCL NOT TO SCALE



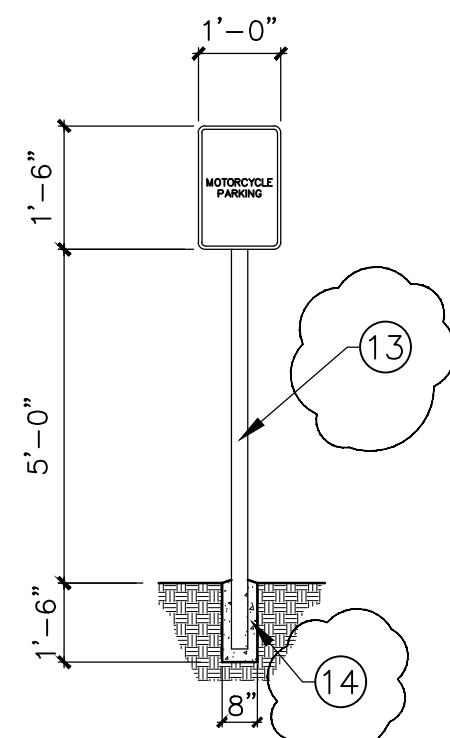
3 **HANDICAPPED RAMP DETAIL**  
TCL NOT TO SCALE

TCL PLAN

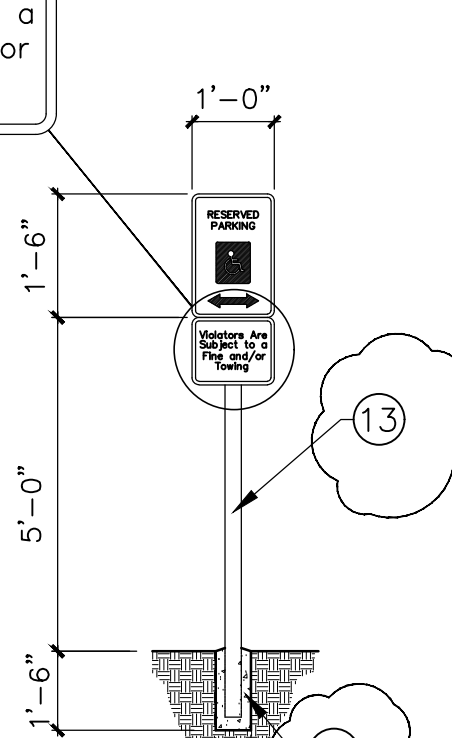
1" = 20'



2 **MOTORCYCLE PARKING SIGN**  
TCL NOT TO SCALE



1 **H.C. PARKING SIGN**  
TCL NOT TO SCALE



PARKING REQUIREMENTS

LAUNDRY AREA - 4,245 SF  
4,245/1000 = 4.245  
4.245X4 = 16.98 PARKING SPACES REQUIRED  
PARKING SPACES PROVIDED - 50 SPACES INCLUDING 2 HC  
MOTORCYCLE PARKING SPACES REQUIRED - 2  
MOTORCYCLE PARKING SPACES PROVIDED - 2  
BICYCLE PARKING SPACES REQUIRED - 3  
BICYCLE PARKING SPACES PROVIDED - 3 (EXISTING)

LEGAL DESCRIPTION

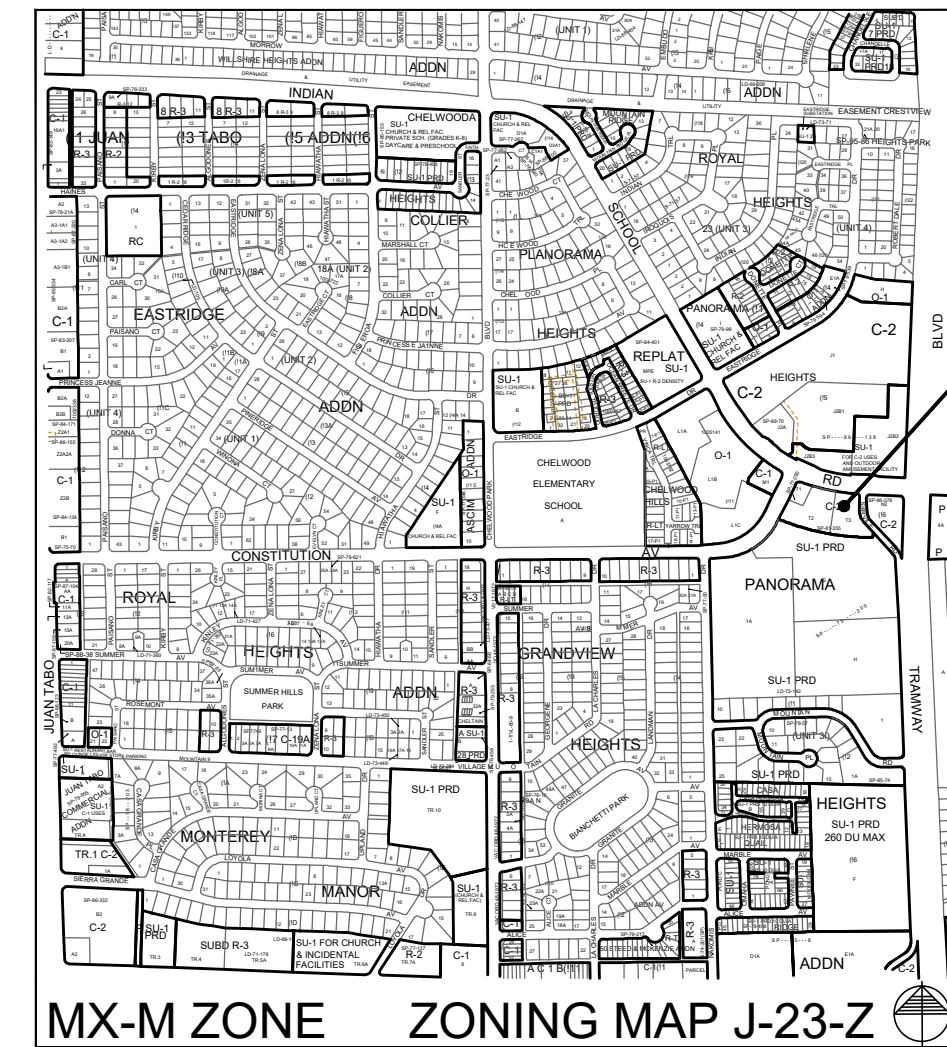
TRACT G  
PANORAMA HEIGHTS ADDITION  
FD. 4-05-1978  
BK. C13, PG. 58

GENERAL NOTES:

A. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH CURB AND GUTTER. REFER TO CITY STANDARD DRAWINGS 2430 AND 2415.  
B. ALL IMPROVEMENTS IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.

KEYED NOTES:

1. EXISTING PROPERTY LINE.
2. EXISTING CONCRETE CURB.
3. EXISTING LANDSCAPED AREA.
4. EXISTING PAVED AREA.
5. EXISTING DRIVEWAY.
6. EXISTING SIDEWALK.
7. NEW PARKING STRIPING IN EXISTING PAVED AREA (TYPICAL).
8. MOTORCYCLE PARKING SPACE.
9. HC PARKING SIGN. SEE DETAIL 1/A-1 & 1/TCL.
10. BICYCLE PARKING RACKS SEE DETAIL 4/TCL..
11. MOTORCYCLE PARKING SIGN. SEE DETAIL 2/A-1 & 2/TCL.
12. EXISTING ELECTRICAL TRANSFORMER.
13. 3" DIA. GALVANIZED PIPE.
14. 3000 PSI CONCRETE FOOTING.
15. CURB RAMP. SEE DETAIL 3/A-1 & 3/TCL.
16. EXISTING DUMPSTER AND ENCLOSURE.
17. PROVIDE ADA ACCESS AISLE WITH THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE 2' HIGH AND 2" WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE THE ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED.
18. EXISTING CONCRETE SLAB.
19. EXISTING RETAINING WALL.
20. 6' WIDE HC ACCESSIBLE PEDESTRIAN PATHWAY. SIDEWALK TO BLDG. REPAIR ALL BROKEN AND CRACKED SIDEWALK.
21. EXISTING CONCRETE RUNDOWN TO REMAIN.
22. NEW ASPHALT THIS AREA. GRADE TO DRAIN TOWARD POINT "A" INSTALL 3" PAVEMENT OVER 8" COMPACTED SUB-GRADE.
23. MAINTAIN FLOW LINE GRADES TO SW CORNER OF BUILDING TOWARD
24. RECONSTRUCT EXISTING CURB RAMP TO COMPLY WITH CURRENT COA STANDARDS. REFER TO COA STANDARD DRAWING 2426 HEREWITH ATTACHED. ADDITIONALLY, PROVIDE TRUNCATED DOMES AT EACH RAMP.
25. 2 3/8 STEEL TUBE WITH .154 WALL THICKNESS.
26. P.U.E. [11]
27. EXTEND EXISTING CONCRETE SIDEWALK A DISTANCE OF 12". MAINTAIN THE EXISTING SLOPE.



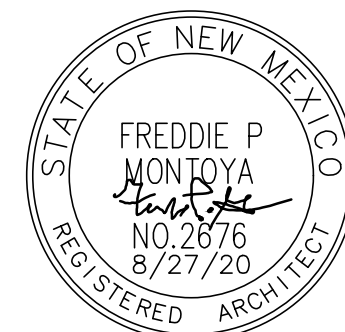
PROJECT LOCATION

A TENANT IMPROVEMENT AT 12910 INDIAN SCHOOL RD NE  
LAUNDROMAT FOR TONY BYRNE

AUGUST, 2020

TRAFFIC  
CIRCULATION  
LAYOUT

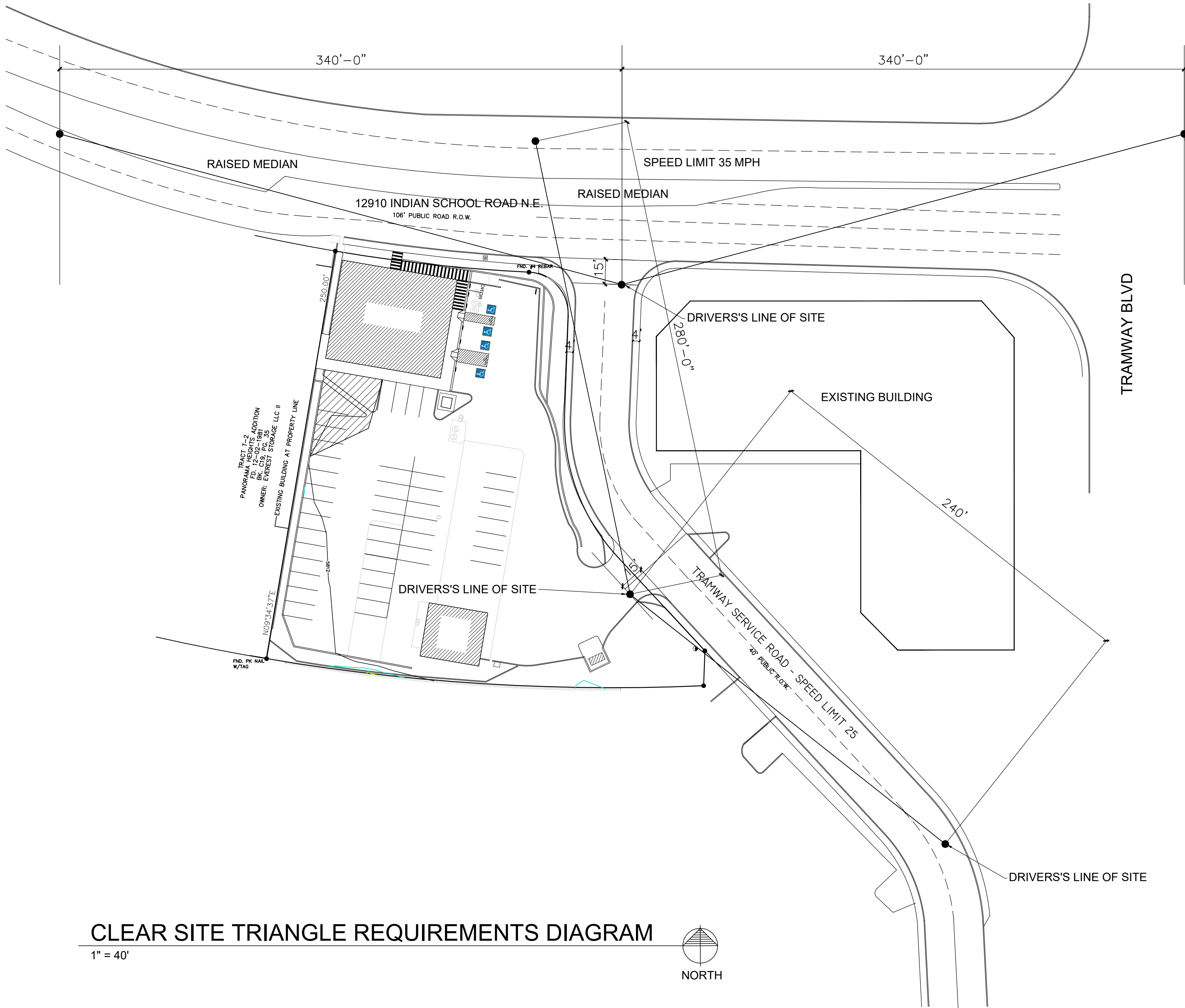
TCL





GENERAL NOTES

A. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBARY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SITE TRIANGLE.



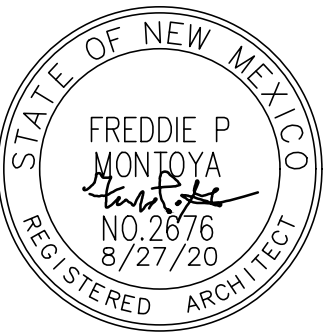
CLEAR SITE TRIANGLE REQUIREMENTS DIAGRAM

1" = 40'



TRAFFIC CIRCULATION LAYOUT APPROVED

*Jaanne Wolfenbarger* 09/18/2020



A TENANT IMPROVEMENT AT 12910 INDIAN SCHOOL RD NE  
LAUNDROMAT FOR TONY BYRNE

AUGUST, 2020

TRAFFIC  
CIRCULATION  
LAYOUT

TCL.1



## TRAFFIC CERTIFICATION

I, Freddie Montoya, NMRA 2676, OF THE FIRM FREDDIE MONTOYA - ARCHITECT, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 9/18/20. THE SITE CONSTRUCTION IS BUILT PER THE ORIGINAL APPROVED TCL. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 5/5/21 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

### ENGINEER'S OR ARCHITECT'S STAMP

\_\_\_\_\_  
Signature of Engineer or Architect

