



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 12, 1993

W. Reed Edgel
Rodriguez & Associates
12800 San Juan NE
Albuquerque, NM 87123

RE: ENGINEER CERTIFICATION FOR BRAKE MASTERS @ JUAN TABO NE (J22-D60)
CERTIFICATION STATEMENT DATED 4/8/93.

Dear Mr. Edgel:

Based on the information provided on your April 9, 1993 submittal, Engineer Certification for the above referenced site is acceptable.

If I can be of further assistance, please feel free to contact me at 768-2667.

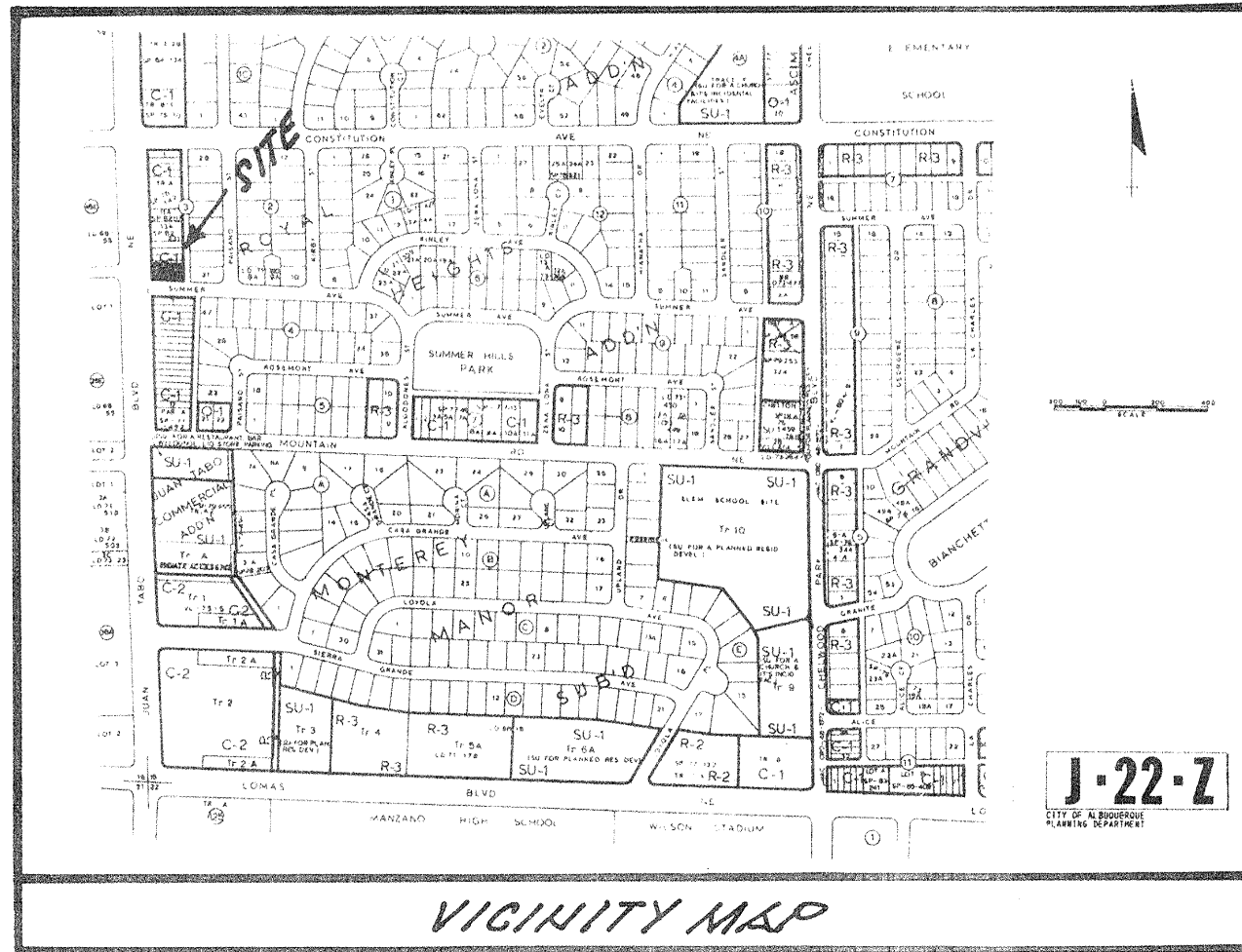
Sincerely,

Bernie J. Montoya
Bernie J. Montoya, CE
Engineer Associate

BJM/dl/WPHYD/3691

xc: Alan Martinez
File

PUBLIC WORKS DEPARTMENT



DRAINAGE COMMENTS:

- THE FOLLOWING ITEMS CONCERNING THE SUBJECT SITE ARE CONTAINED AND SHOWN ON THE PLAN HEREON.
- PROPOSED SITE GRADING AND DRAINAGE PLAN
- VICINITY MAP OF THE SUBJECT PROPERTY
- LEGAL DESCRIPTION OF THE SUBJECT PROPERTY (PRESENTLY BEING REPLATTED)
- THE LIMITS AND CHARACTER OF THE EXISTING AND PROPOSED IMPROVEMENTS
- DRAINAGE CALCULATIONS OF THE EXISTING AND PROPOSED CONDITIONS

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED AT THE NORTHEAST INTERSECTION OF JUAN TABO BLVD. N.E. AND SUMMER AVENUE N.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

THE SUBJECT PROJECT SITE, (1.) DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN, (F.E.M.A. PANEL 31 OF 50), (2.) DOES NOT LIE ADJACENT TO A NATURAL OR ARTIFICIAL WATER COURSE, (3.) HAS NO DRAINAGE EASEMENTS AT THE PRESENT TIME, (4.) DOES NOT ACCEPT OFFSITE FLOWS OF ADJACENT PROPERTIES, (5.) DOES NOT CONTRIBUTE TO OFFSITE FLOWS OF ADJACENT PROPERTIES.

BASED ON A SITE INVESTIGATION, IT HAS BEEN DETERMINED THAT THE FREE DISCHARGE OF SURFACE FLOWS OF THE EXISTING AND PROPOSED DEVELOPMENT HAS NO ADVERSE AFFECT TO DOWNSTREAM PROPERTIES. THE PUBLIC ALLEY WHICH LIES IMMEDIATELY EAST OF AND ADJACENT TO THE SUBJECT SITE IS TO HAVE CITY OF ALBUQUERQUE APPROVED ALLEY GRADES MATCHED TO, AND COORDINATED WITH THE PROPOSED DRAINAGE PLAN SHOWN HEREON; SAID ALLEY IS TO HAVE IMPROVEMENTS CONSTRUCTED FOR ONLY THAT PORTION AS SHOWN HEREON.

DRAINAGE CALCULATIONS: (RATIONAL METHOD, Q_{100} = CIA)

SITE AREA = 10,846.102 SQ. FT. = 0.249 ACRE
 RAINFALL (R_6 , 100 - YR. - 6 HR.) = 2.5 INCHES
 RAINFALL INTENSITY "I" = $2.5 \times 6.84 \times (10)^{-0.51} = 5.28$ IN./HR.

EXISTING CONDITIONS:

UNDEVELOPED LOT (VACANT LAND) = $0.40 \times 5.28 \times 0.25 = 0.53$ CFS

PROPOSED CONDITIONS: (WITHIN SUBJECT SITE ONLY CONSIDERED)

BUILDING ROOF AREA = 3,290.0 SQ. FT. = 0.08 ACRE
 CONCRETE/PAVED AREA = 6,195.0 SQ. FT. = 0.14 ACRE
 LANDSCAPED AREA = 1,361.1 SQ. FT. = 0.03 ACRE

$$C_r = \frac{3,290.0 \times 0.90}{10,846.1} = 0.27$$

$$C_{c/p} = \frac{6,195.0 \times 0.95}{10,846.1} = 0.54$$

$$C_L = \frac{1,361.1 \times 0.25}{10,846.1} = 0.03$$

$$Q_{100} = 0.84 \times 5.28 \times 0.25 = 1.10 \text{ CFS}$$

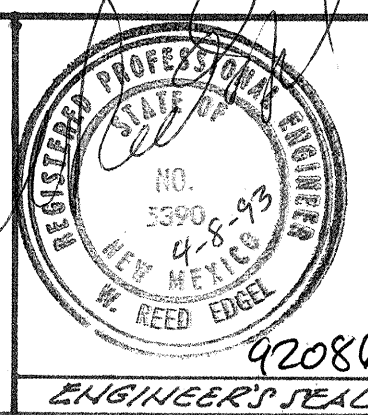
SUM "C" = 0.84
 *** INCREASE = 0.57 CFS

NOTES:

- PROVIDE PRIVATE ENTRANCE DRIVEWAY AND SIDEWALK WHEEL CHAIR RAMP PER CITY OF ALBUQUERQUE STANDARD DWS: 2426
- REMOVE EXISTING WHEEL CHAIR RAMP AND PROVIDE NEW WHEEL CHAIR RAMP IN COMPLIANCE W/ CITY STANDARD DWS: 2441
- RETAINING WALL DESIGN TO BE PROVIDED BY ARCHITECT.

ENGINEER'S CERTIFICATION STATEMENT: (APRIL - 1993)

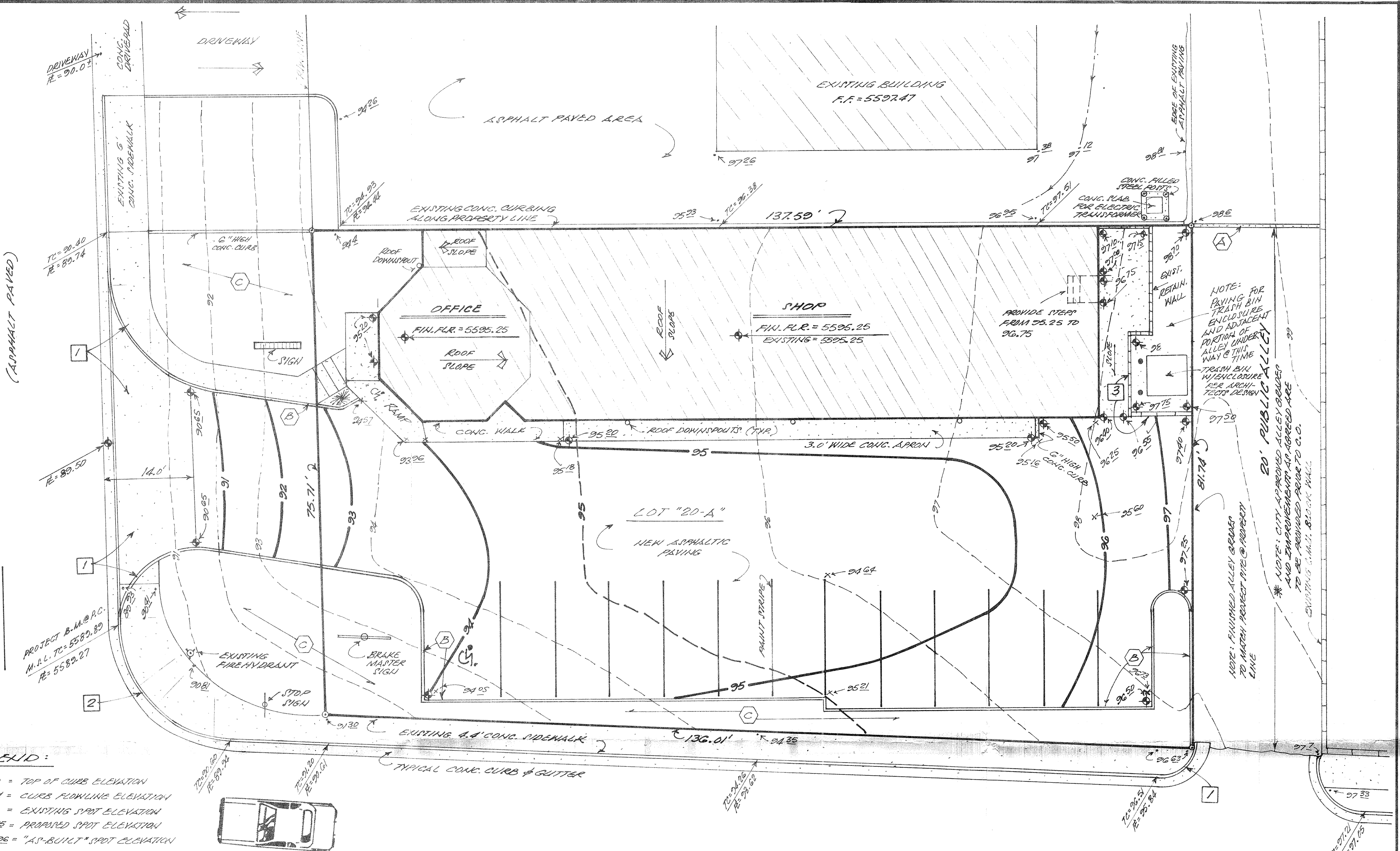
I, W. REED EDGEL, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 5390, DO HEREBY CERTIFY THAT AN ONSITE FIELD INSPECTION AND ELEVATION(S) VERIFICATION WAS PERFORMED BY ME OR UNDER MY SUPERVISION OF THE SUBJECT SITE; THAT THE SUBJECT SITE IN THE EXISTING "AS-BUILT" CONDITION AS SHOWN ON THE MAP HEREON IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED DRAINAGE PLAN FOR SAID DEVELOPMENT AS ACCEPTED BY THE CITY OF ALBUQUERQUE, NEW MEXICO, HYDROLOGY DEPARTMENT. DATED THIS 8th DAY OF APRIL, 1993.



BLVD.

TABO

JUAN



LEGEND:

- TO = 20.40 = TOP OF CURB ELEVATION
- R = 82.74 = CURB FINISH ELEVATION
- 24.6 = EXISTING SPOT ELEVATION
- 26.25 = PROPOSED SPOT ELEVATION
- 23.26 = "AS-BUILT" SPOT ELEVATION

SUMMER

AVENUE
(ASPHALT PAVING)

N.E.

GENERAL NOTES:

- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD WITHIN THE SUBJECT SITE OTHER THAN THOSE SHOWN ON THE PLAT OF RECORD.
- REFER TO "ARCHITECTURAL SITE PLAN" FOR FIELD LAYOUT OF THE PROPOSED IMPROVEMENTS.
- TOPOGRAPHY SURVEY OBTAINED BY "TRANSIT-STADIA" METHOD.

NOTICE TO CONTRACTOR:

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH "CONTRACT DOCUMENTS FOR CITY WIDE UTILITIES AND CASH PAYING NO. 31".
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (260-1990), FOR LOCATION OF EXISTING OF SURFACE AND SUBSURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR THE PROJECT.

LEGAL DESCRIPTION:

LOT "20-A", (REPLATTED LOTS 18, 19, AND 20), BLOCK THREE (3), ROYAL HEIGHTS ADDITION, ALBUQUERQUE, NEW MEXICO.

BENCH MARK REFERENCE:

PROJECT BENCH AS SHOWN ON THE PLAN HEREON, REFERENCED TO ACS STATION "5-J22A", M.S.L.D. ELEVATION = 5585.052.

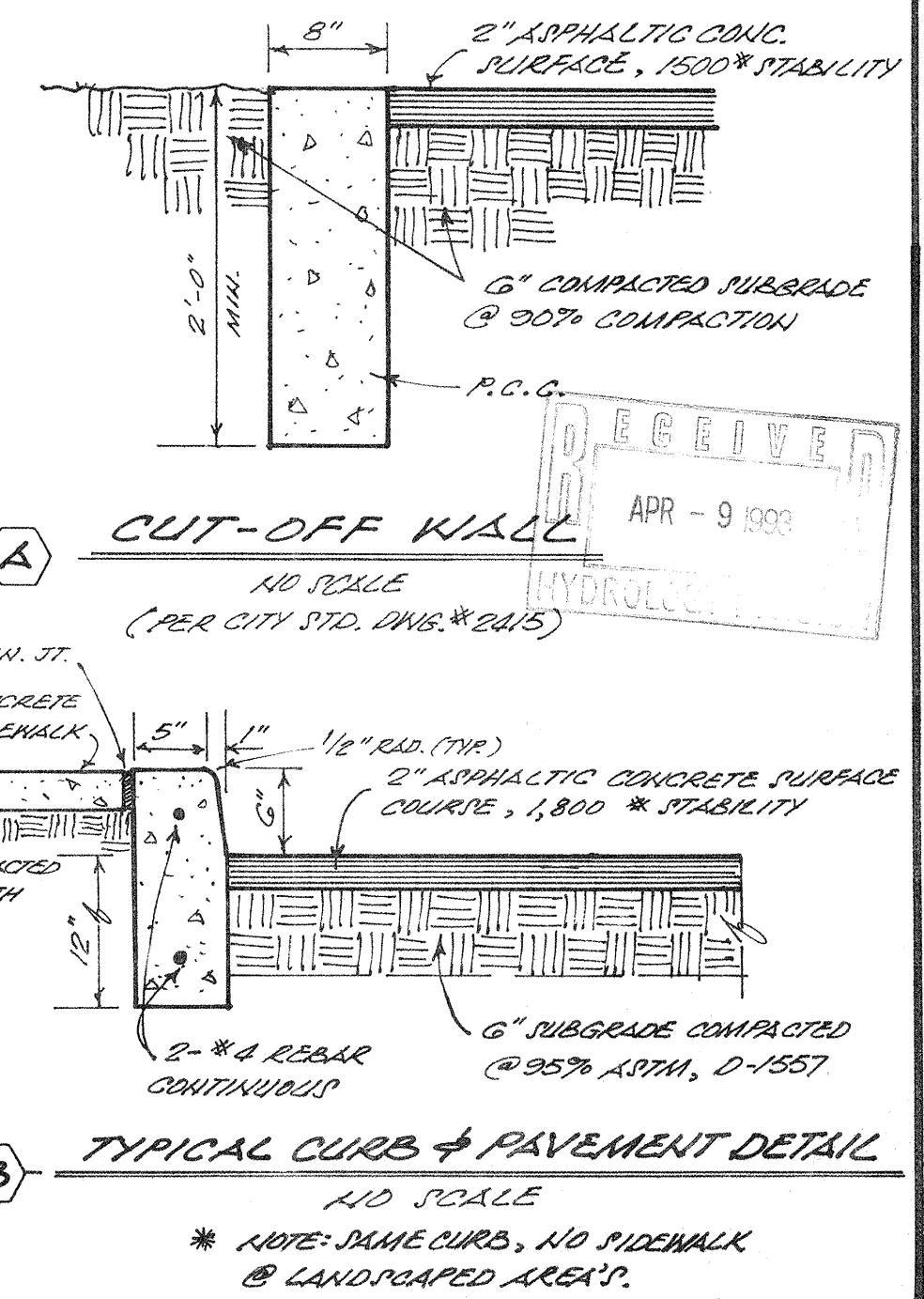
CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT FOR STORM RUN-OFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREETS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT WITHIN PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SITE AND DEPOSITED THERE.



REVISIONS:

NO. 19, 0001
 DESIGNED BY: S.T.R.
 CHECKED BY: M.E.
 DATE: 09-92

EGLINCOHEN
 & ASSOCIATES
 ARCHITECTS
 901 E. PORT LINDEN BOULEVARD, SUITE 100, ALBUQUERQUE, N.M. 87102
 DESIGN FIRM

GRADING AND DRAINAGE PLAN FOR
 BRAKE MASTERS NO. 2
 JUAN TABO BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO
 (ENGINEER'S CERTIFICATION: 04-08-93)

BRAKE
 MASTERS

W. REED EDGEL, MS, PE
 CONSULTING ENGINEER
 601 VASSAR DRIVE N.E.
 ALBUQUERQUE, NEW MEXICO
 87106
 (505) 255-2675