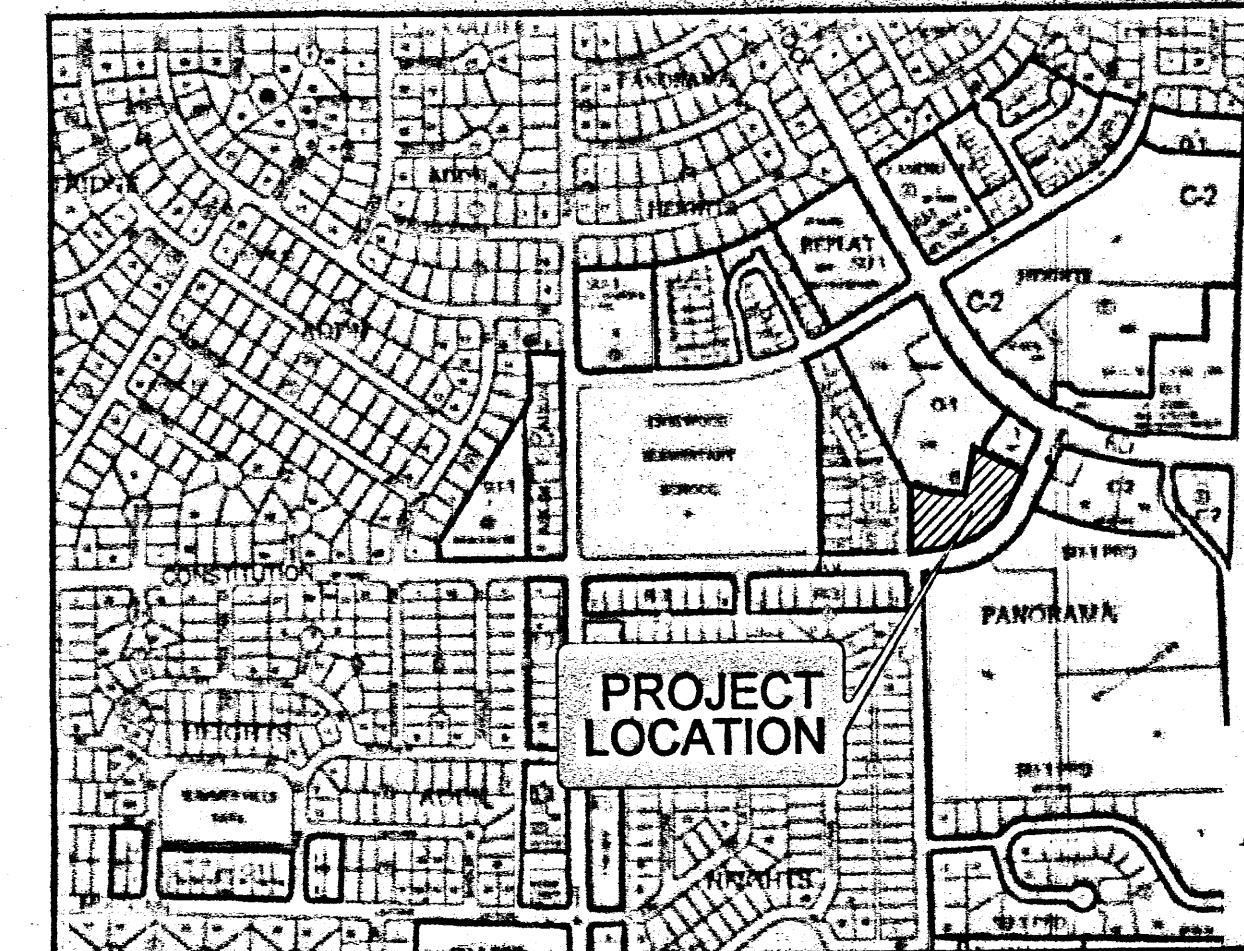
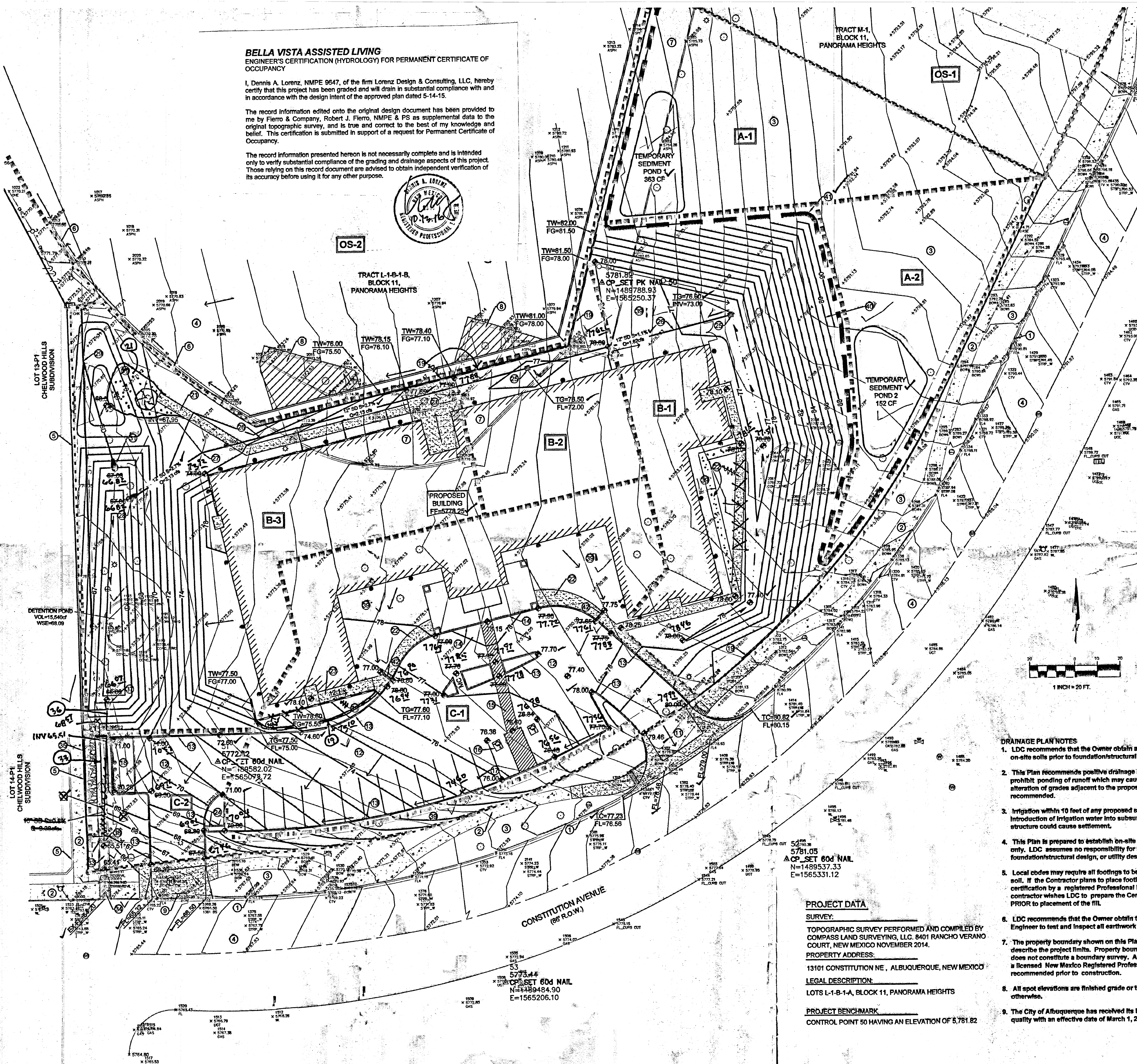


BELLA VISTA ASSISTED LIVING
ENGINEER'S CERTIFICATION (HYDROLOGY) FOR PERMANENT CERTIFICATE OF OCCUPANCY

I, Dennis A. Lorenz, NMPE 9647, of the firm Lorenz Design & Consulting, LLC, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 5-14-15.

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VICINITY MAP

ZONE ATLAS J-22-Z

LEGEND

ITEM	EXISTING	PROPOSED
CURB AND GUTTER		
6" CONCRETE CURB		
CURB ELEVATIONS		
SPOT ELEV.		16.7
RIGHT OF WAY		
EASEMENT		
CENTERLINE		
RETAINING WALL	R/R	
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
FLOWLINE ELEV.	EX FL 16.2	FL 16.2
NEW PAVING		
DRAINAGE SWALE		
DIRECTION OF FLOW		
STORM INLET		
STORM DRAIN PIPE		
DOWNSPOUT		
DRAINAGE BASIN DIVIDE		
DRAINAGE BASIN ID		A-1

KEYED NOTES

- EXISTING CONCRETE STANDARD CURB AND GUTTER.
- EXISTING PUBLIC SIDEWALK TO REMAIN.
- EXISTING LANDSCAPING TO REMAIN.
- EXISTING ASPHALT PAVEMENT TO REMAIN.
- EXISTING BLOCK WALL TO REMAIN.
- EXISTING RETAINING WALL TO REMAIN.
- REMOVE AND DISPOSE EXISTING ASPHALT AND CURBING. SEE DEMOLITION PLAN.
- REMOVE AND DISPOSE EXISTING ASPHALT AND CURBING TO LIMITS SHOWN. REPLACE WITH ASPHALT PAVEMENT PER SECTION AC2.0.
- RELOCATE EXISTING SPEED LIMIT SIGN PER COA TRAFFIC OPERATIONS.
- REMOVE EXISTING CURB, GUTTER AND SIDEWALK. REPLACE WITH CONCRETE DRIVEPAD. SEE DETAIL AC3.0.
- REMOVE EXISTING CURB, GUTTER AND SIDEWALK. REPLACE WITH CONCRETE VALLEY GUTTER. SEE DETAIL BC3.0.
- CONSTRUCT ASPHALT PAVEMENT. SEE SECTION AC2.0.
- CONSTRUCT 6-INCH CONCRETE CURB. SEE DETAIL CC2.0.
- CONSTRUCT TURN DOWN SIDEWALK. NO CURB. TOP OF CONCRETE AT TOP OF PAVEMENT. SEE DETAIL B/C2.0.
- PROVIDE STRIPED PEDESTRIAN CROSSING PER CODE.
- PROVIDE HANDICAP PARKING PAVEMENT MARKINGS PER CODE - TYP.
- INSTALL HANDICAP SIGN ASSEMBLY PER CODE - TYP. SEE DETAIL F/C2.0.
- CONSTRUCT NEW REFUSE ENCLOSURE. SEE DETAIL G/C2.0.
- CONSTRUCT RETAINING WALL. SEE DETAIL H/C2.0.
- NOT USED.
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- CONSTRUCT CONCRETE SIDEWALK. SEE SITE PLAN.
- CONSTRUCT ACCESSIBLE RAMP AT 12:1 SLOPE MAX.
- CONSTRUCT 36-INCH CONCRETE CHANNEL. SEE DETAIL IC2.0.
- CONSTRUCT TYPE 'D' INLET PER COA STD DWG 2208.
- CONSTRUCT 18-INCH SD.
- CONSTRUCT 18" X 30 DEGREE BEND.
- INSTALL 18-INCH END SECTION.
- CUT EXISTING 4-INCH SD. INSTALL 30 DEGREE BEND. REMOVE & DISPOSE SD PIPE DOWNSTREAM FROM CONNECTION.
- CONSTRUCT 4-INCH SD.
- INSTALL 4-INCH END SECTION.
- REMOVE EXISTING CONCRETE CHANNEL.
- EXISTING 3.5' WIDE CHANNEL TO REMAIN.
- EXISTING SIDEWALK CULVERTS TO REMAIN.
- CONSTRUCT OVERFLOW SPILLWAY SEE DETAIL C/C3.0.
- CONSTRUCT 10 INCH SD.
- INSTALL 10-INCH END SECTION. R.P. R.P. AT PIPE OUTLET.
- CONSTRUCT CONCRETE HEADWALL SEE DETAIL E/C2.0.
- NEW LANDSCAPING. SEE LANDSCAPE PLAN.
- CONSTRUCT 3:1 CUT SLOPE. PROVIDE LANDSCAPING/EROSION CONTROL. SEE LANDSCAPE PLAN.
- PROVIDE EROSION CONTROL BERM OR SILT FENCE. SEE SWPPP.
- CONSTRUCT 12-INCH SIDEWALK CULVERT.

DRAINAGE PLAN NOTES

- LDC recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
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- All spot elevations are finished grade or top of pavement, unless noted otherwise.
- The City of Albuquerque has received its EPA MS4 Permit for stormwater quality with an effective date of March 1, 2012.

PROJECT DATA

SURVEY:

TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY
COMPASS LAND SURVEYING, LLC. 8401 RANCHO VERANO
COURT, NEW MEXICO NOVEMBER 2014.

PROPERTY ADDRESS:

13101 CONSTITUTION NE, ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION:

LOTS L-1-B-1-A, BLOCK 11, PANORAMA HEIGHTS

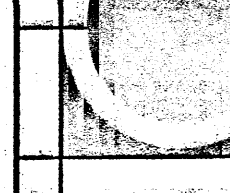
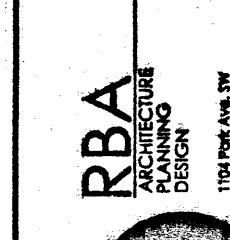
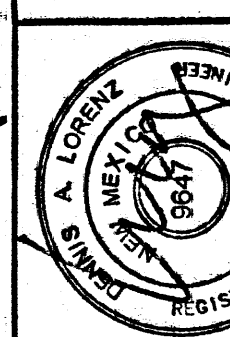
PROJECT BENCHMARK

CONTROL POINT 50 HAVING AN ELEVATION OF 5,781.82

LORENZ
DESIGN & CONSULTING, LLC
Civil Engineering & Construction Management
2001 1st Street, Suite 200, Albuquerque, NM 87102
PH: 505-883-0008 FAX: 505-242-8888

BELLA VISTA ASSISTED LIVING
GRADING AND DRAINAGE PLAN
ALBUQUERQUE, NM
PROJECT #14-017

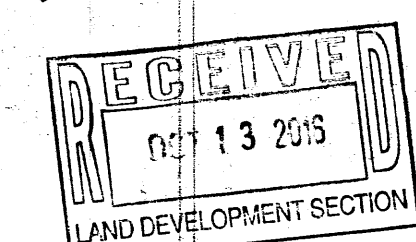
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6-10-15

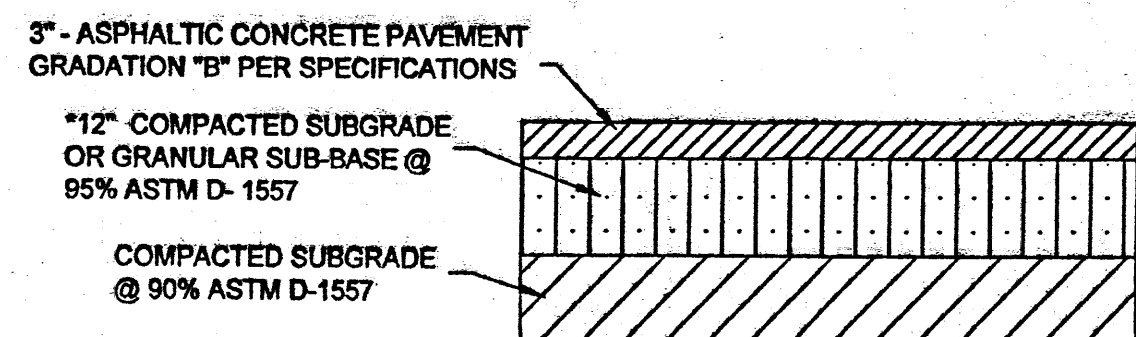


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5/14/2015

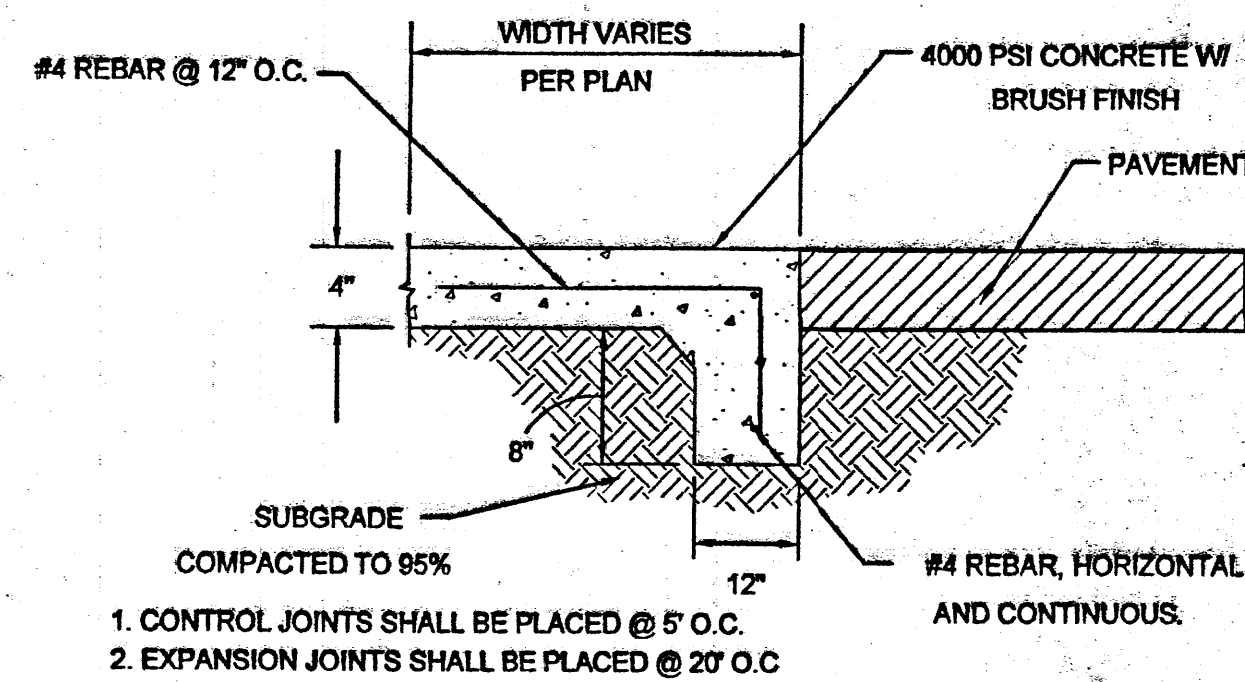
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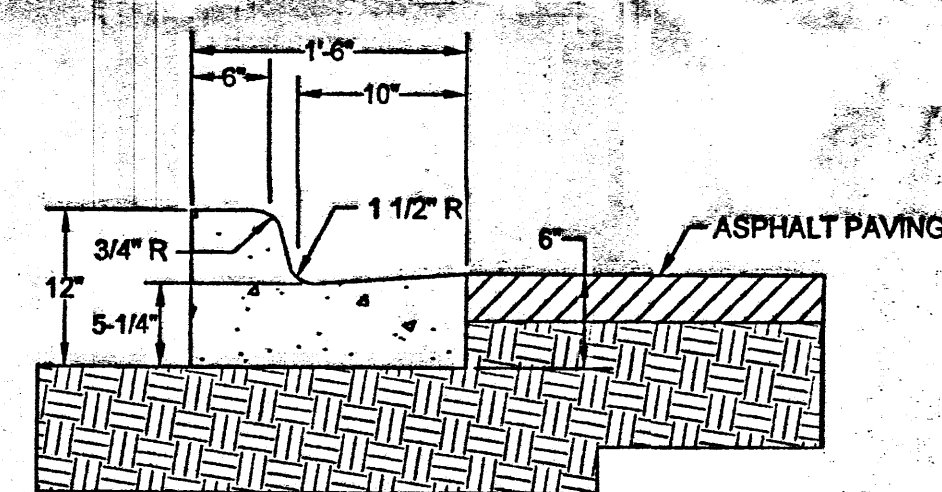




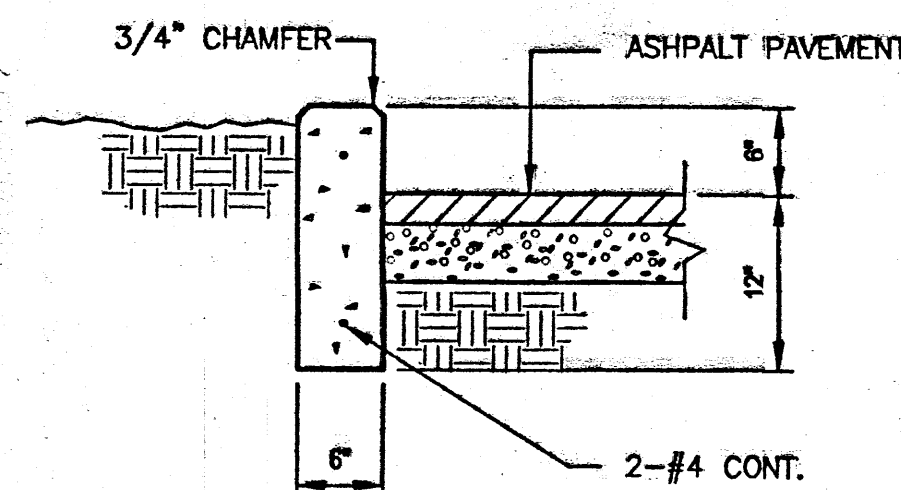
ASPHALT PAVEMENT SECTION A
AUTO/PICKUP TRUCK
NTS C-2.0



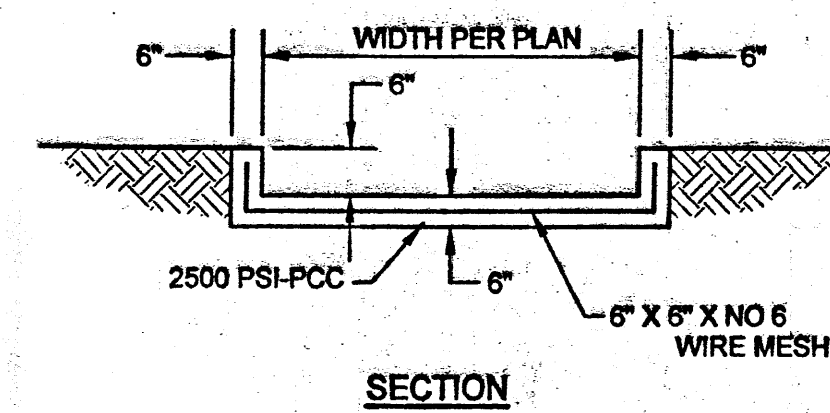
TURN DOWN SIDEWALK AT ACCESSIBLE ZONES B
NTS C-2.0



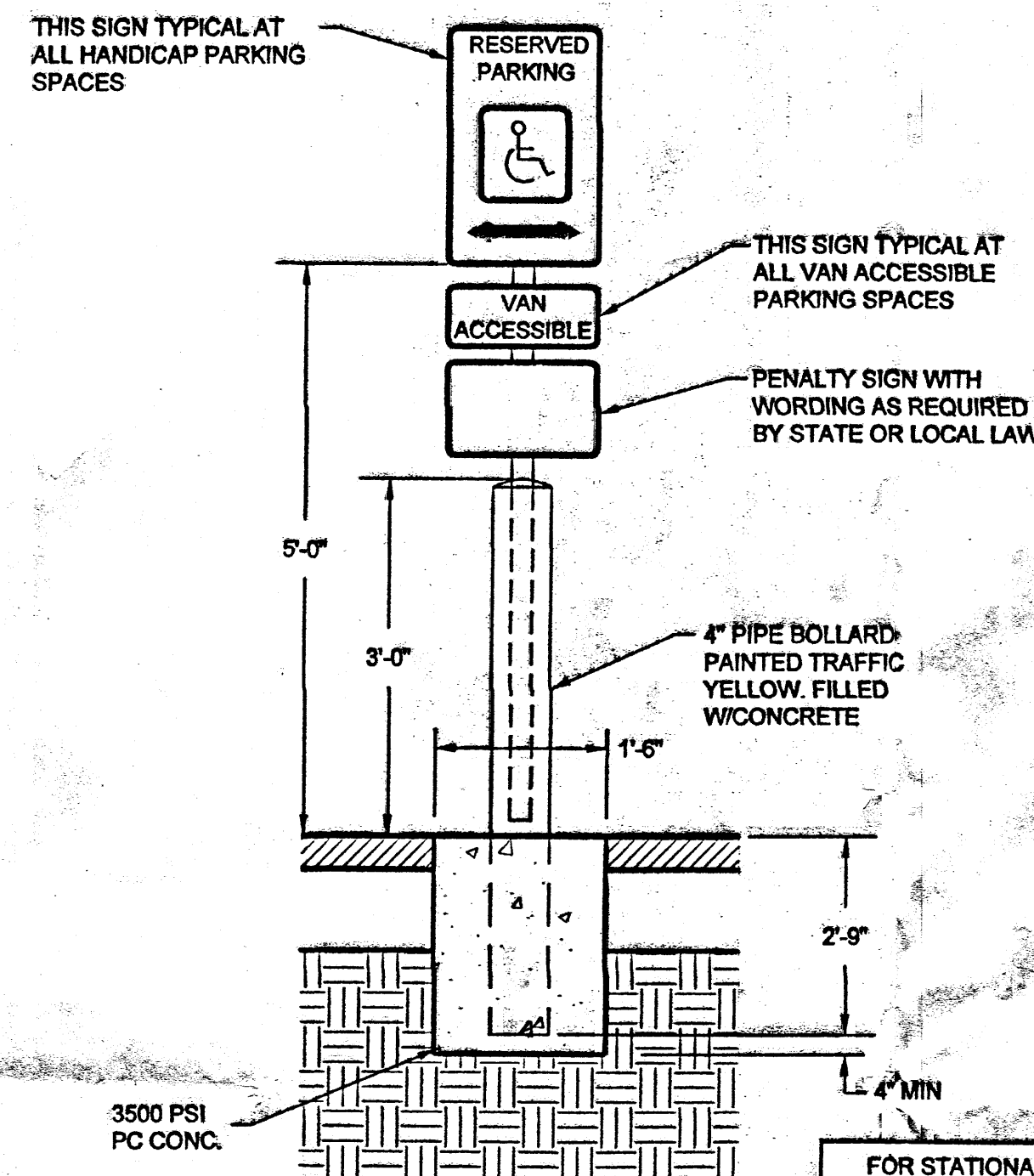
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NTS C-2.0



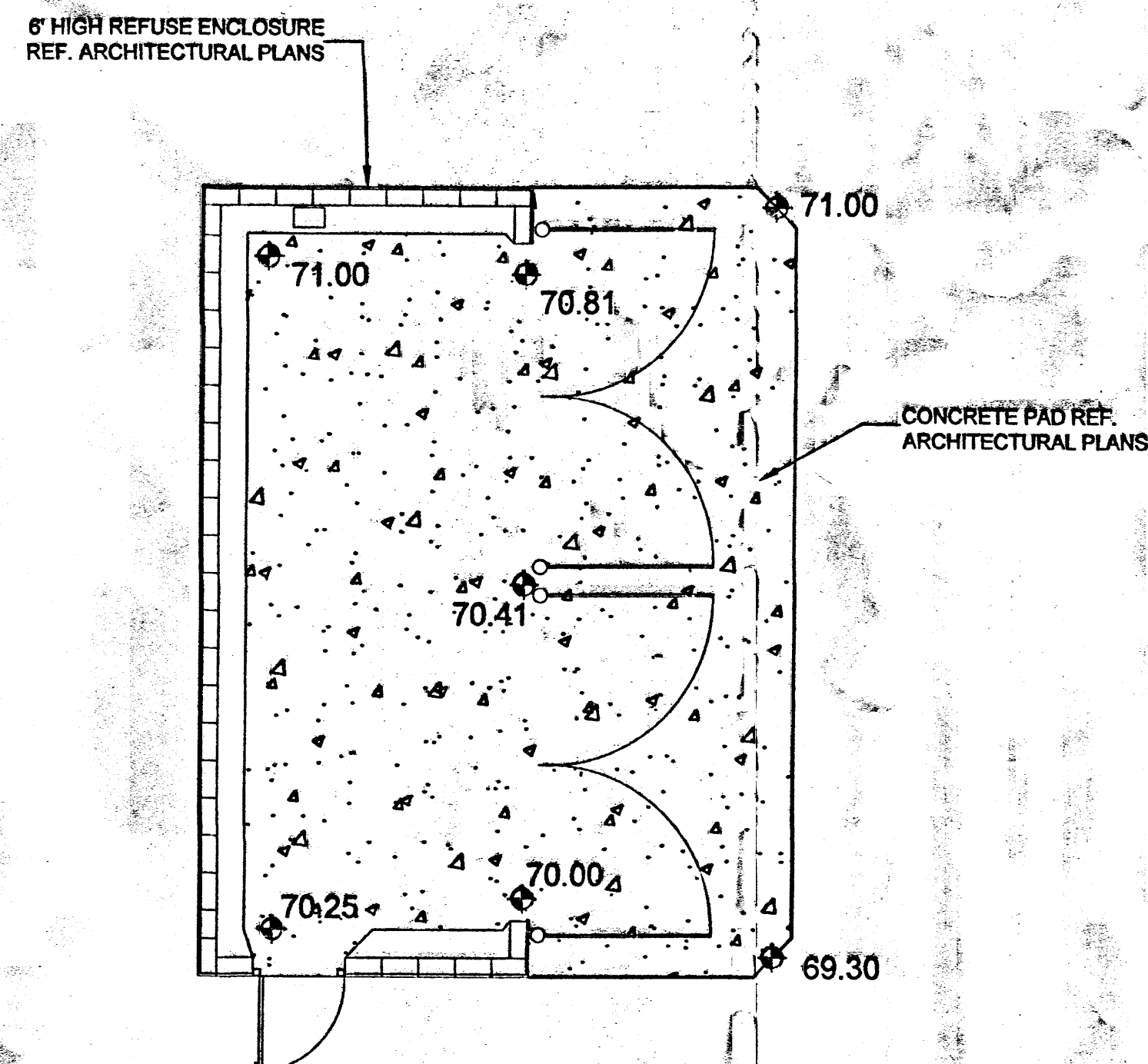
HEADER CURB DETAIL D
NTS C-2.0



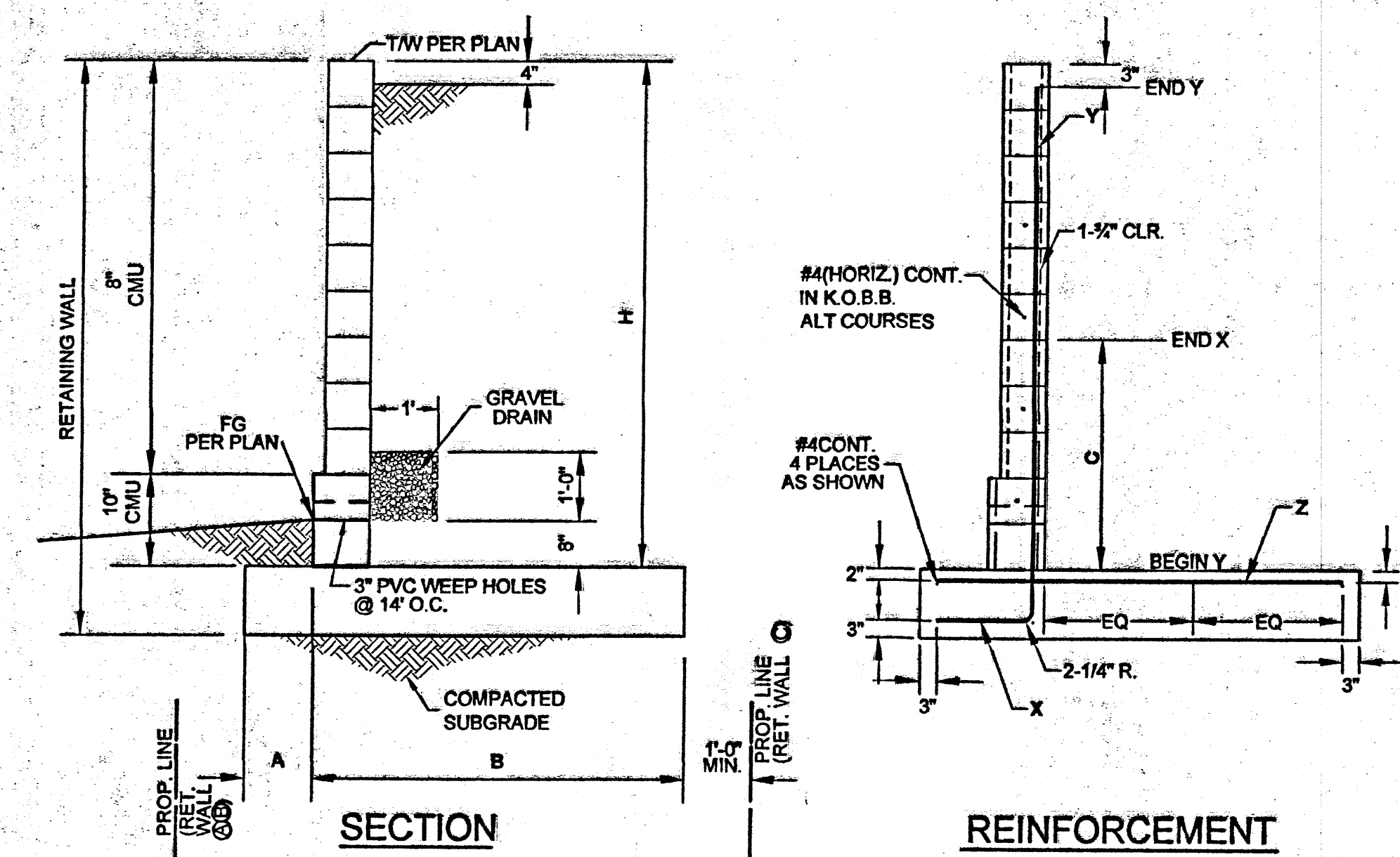
CONCRETE DRAINAGE CHANNEL DETAIL E
NTS C-2.0



HC SIGN ASSEMBLY / BOLLARD DETAIL F
NTS C-2.0



REFUSE ENCLOSURE SLAB PLAN G
NTS C-2.0



H	A	B	C	10" CMU	8" CMU	X	Y	Z
4'-8"	1'-0"	2'-8"	1'-4"	-	7 CRSSES	#5@16"	#4@16"	#4@16"
4'-0"	1'-0"	2'-0"	1'-4"	-	6 CRSSES	#4@16"	#4@16"	#4@16"
3'-4"	1'-0"	1'-8"	3'-0"	-	5 CRSSES	#4@16"	-	-
2'-8"	1'-0"	1'-8"	2'-4"	-	4 CRSSES	#4@16"	-	-
2'-0"	1'-0"	1'-8"	1'-8"	-	3 CRSSES	#4@16"	-	-

- RETAINING WALL NOTES:
- All cells shall be completely filled with concrete.
 - All wall sections are designed based on special inspection per UBC.
 - Contractor shall submit to Owner results of masonry test prisms built and tested per UBC STD 24-26, UBC SEC 2405.
 - Footing subgrade and base shall be compacted to 95% modified proctor per ASTM D-1557.
 - 1/2" felt expansion joints shall be installed at 30 feet on center and at section changes.
 - All masonry shall be laid in running bond only.
 - All masonry surfaces to be backfilled shall be coated with emulsified asphalt, or other moisture barrier as approved by the Engineer.
 - All reinforced concrete and CMU walls are designed per the following:

f'_c =4000 psi; maximum aggregate size = 3/4"
 f_y =60,000 psi (ASTM A-615 GR 60)
 f_m =1500 psi
 Unit weight of backfill = 110 pcf
 Concrete/soil coeff of friction = 0.30
 Allowable soil bearing pressure = 1500 psf
 Acting pressure = 44 psf/ft
 Slope active pressure = 44 psf/ft
 Passive pressure = 360 psf/ft

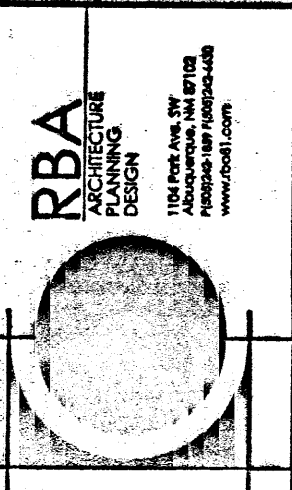
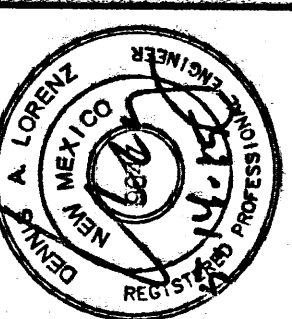
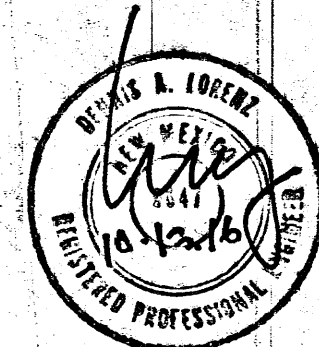
CMU RETAINING WALL DETAIL H
NTS C-2.0

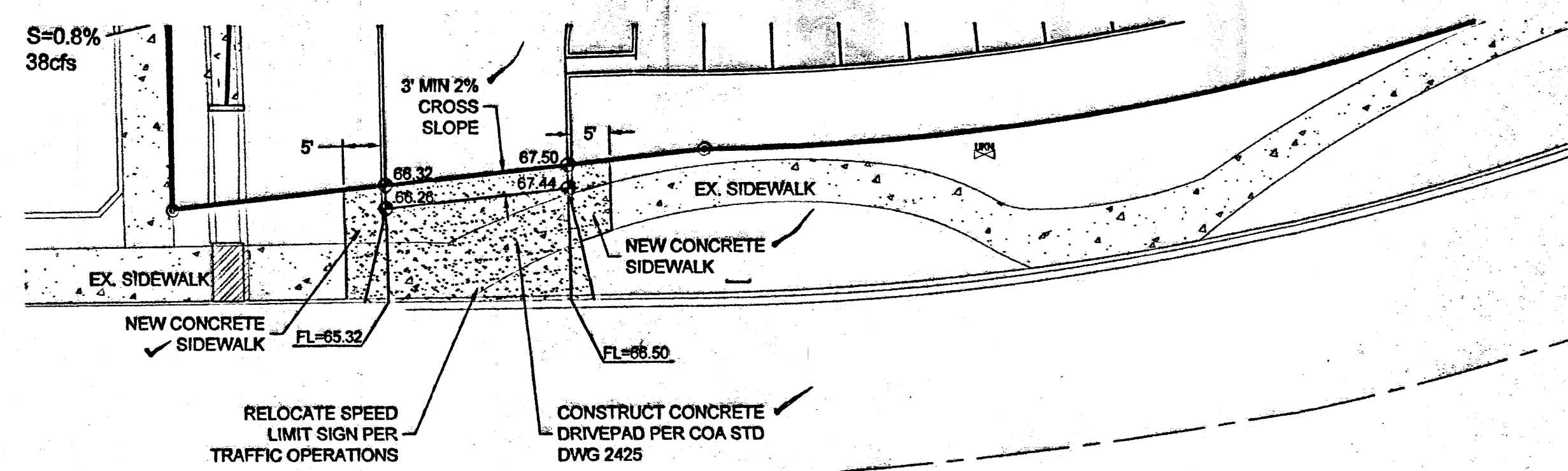
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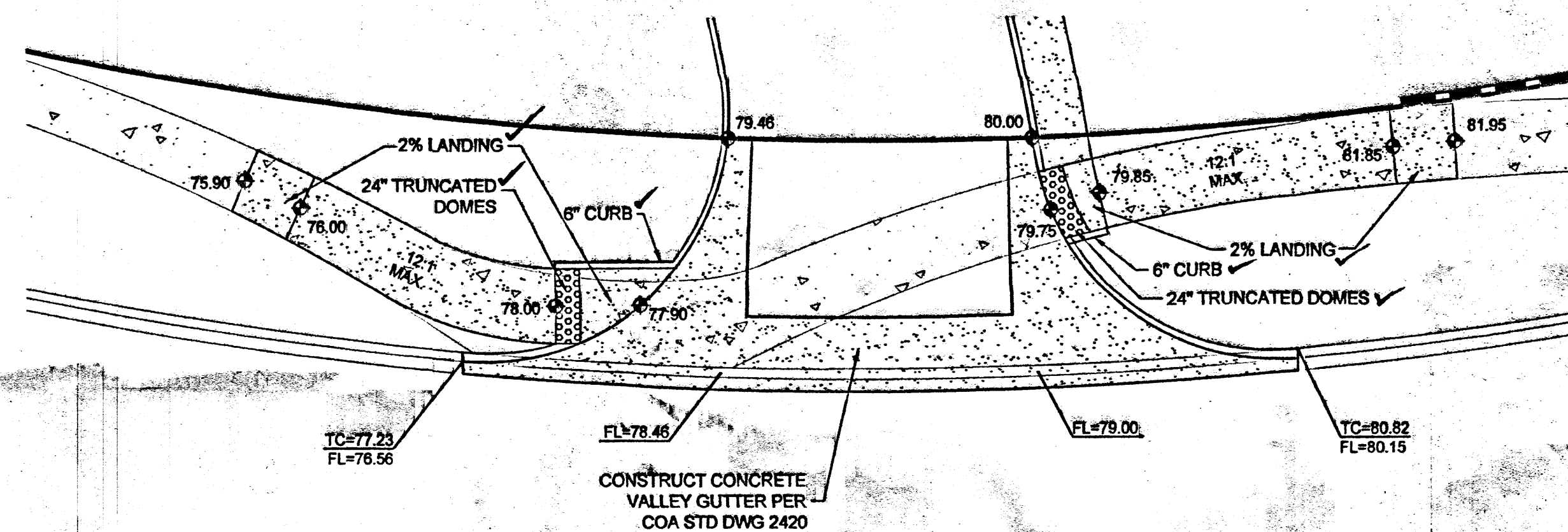
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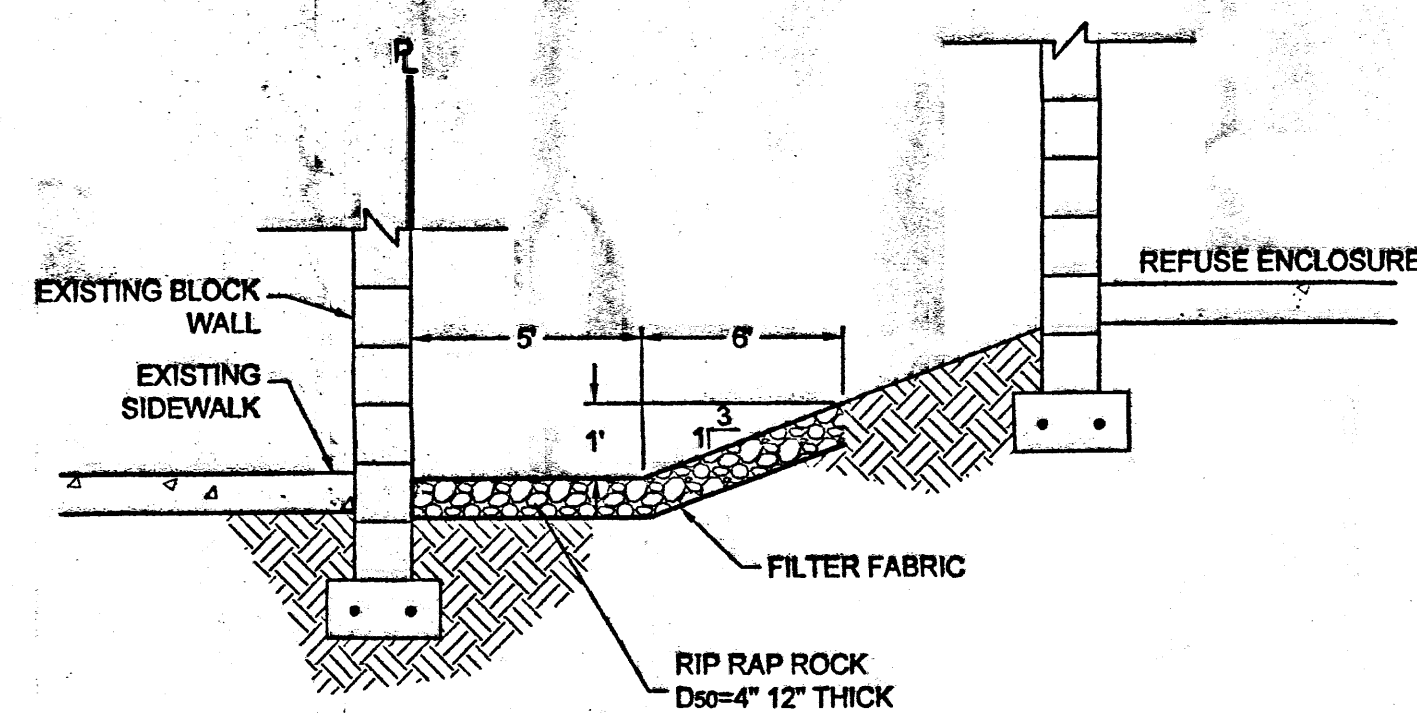
DRIVEWAY DETAIL
SCALE: 1"=10'

A
C-3.0



DRIVEWAY DETAIL
SCALE: 1"=10'

B
C-3.0



POND OVERFLOW SPILLWAY
NTS

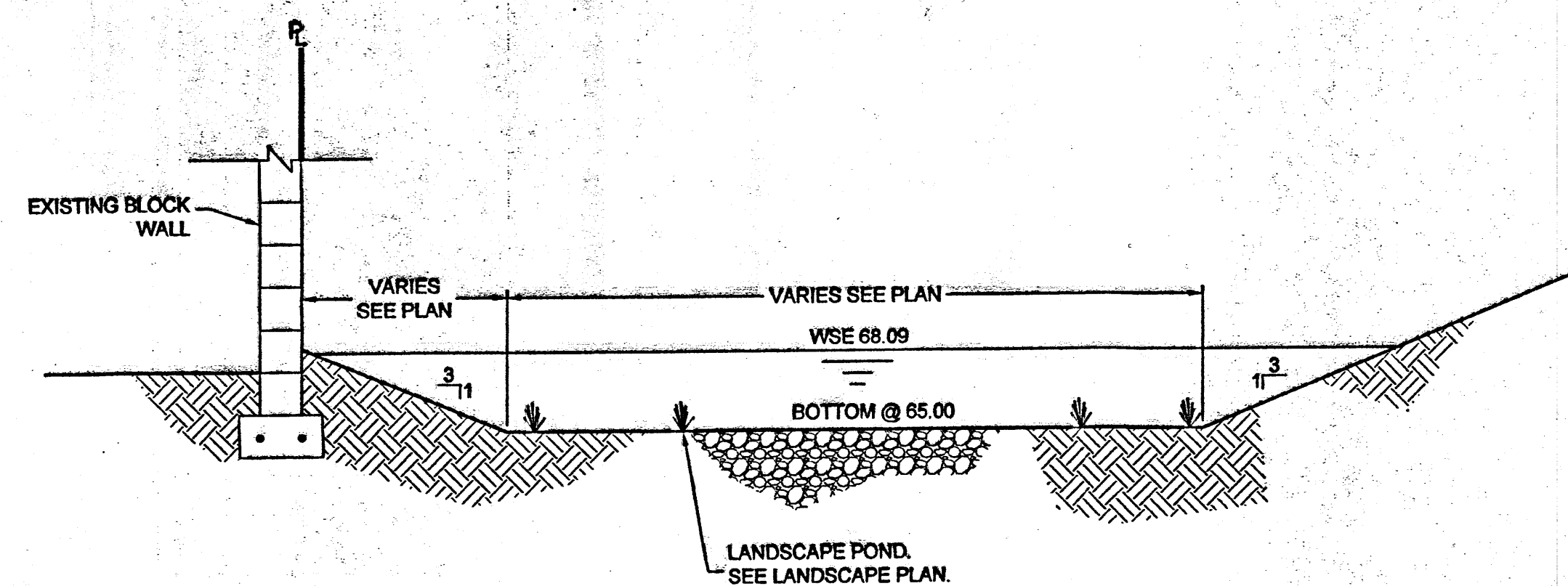
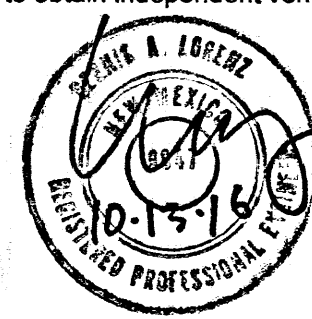
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C-3.0

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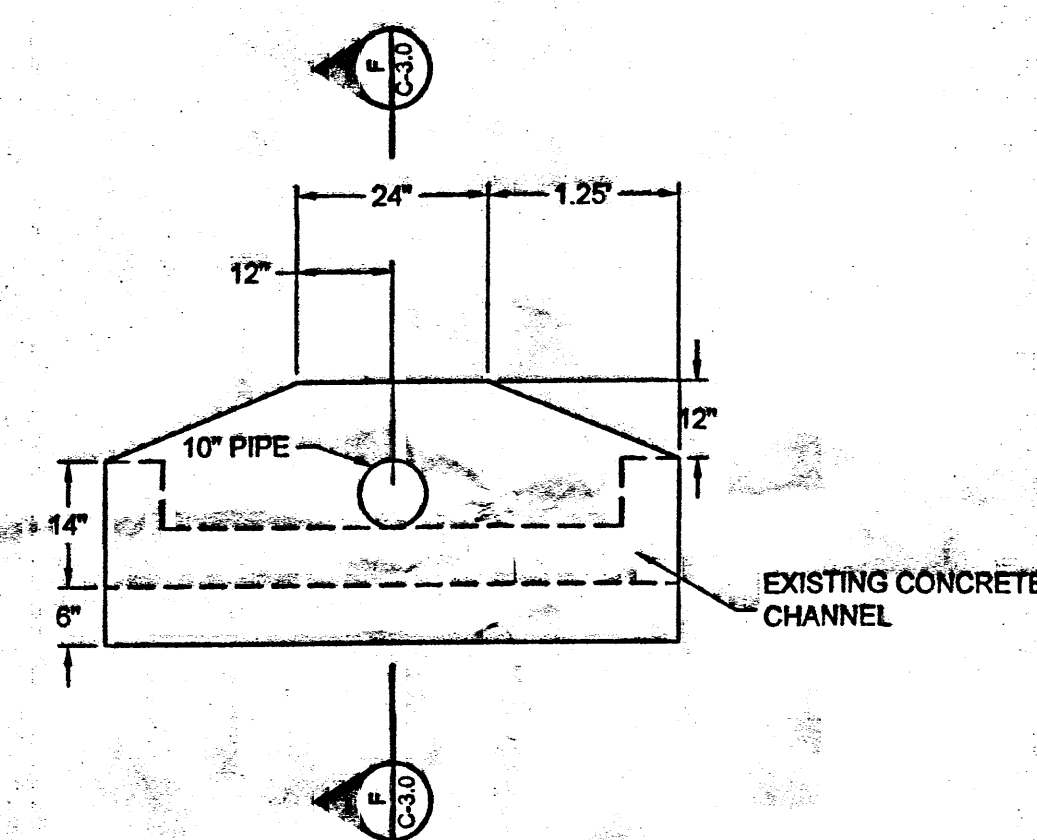
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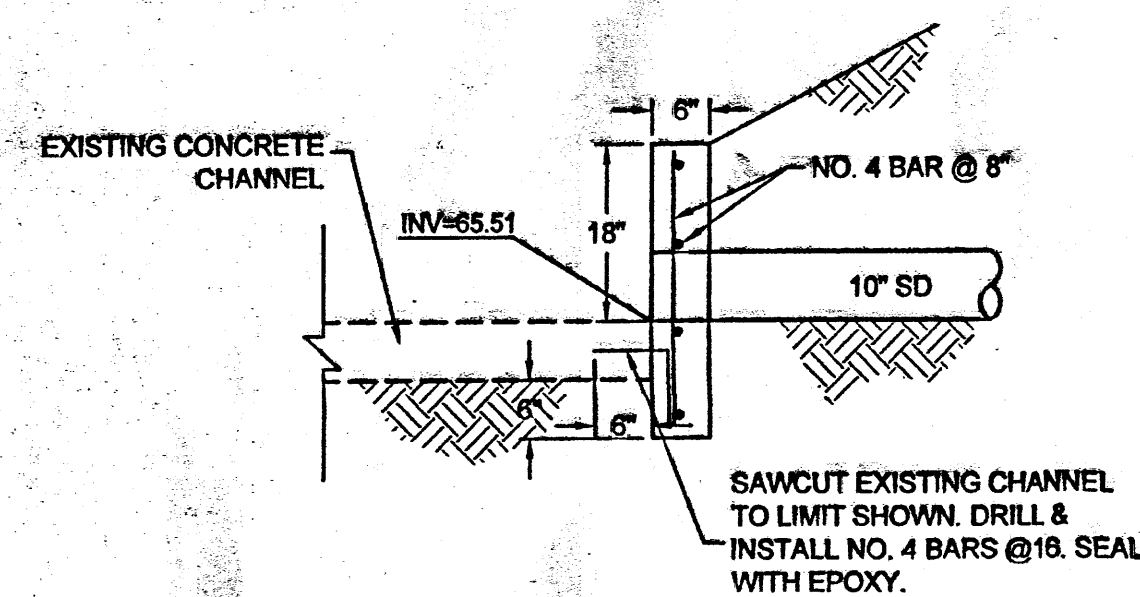
POND SECTION
NTS

D
C-3.0



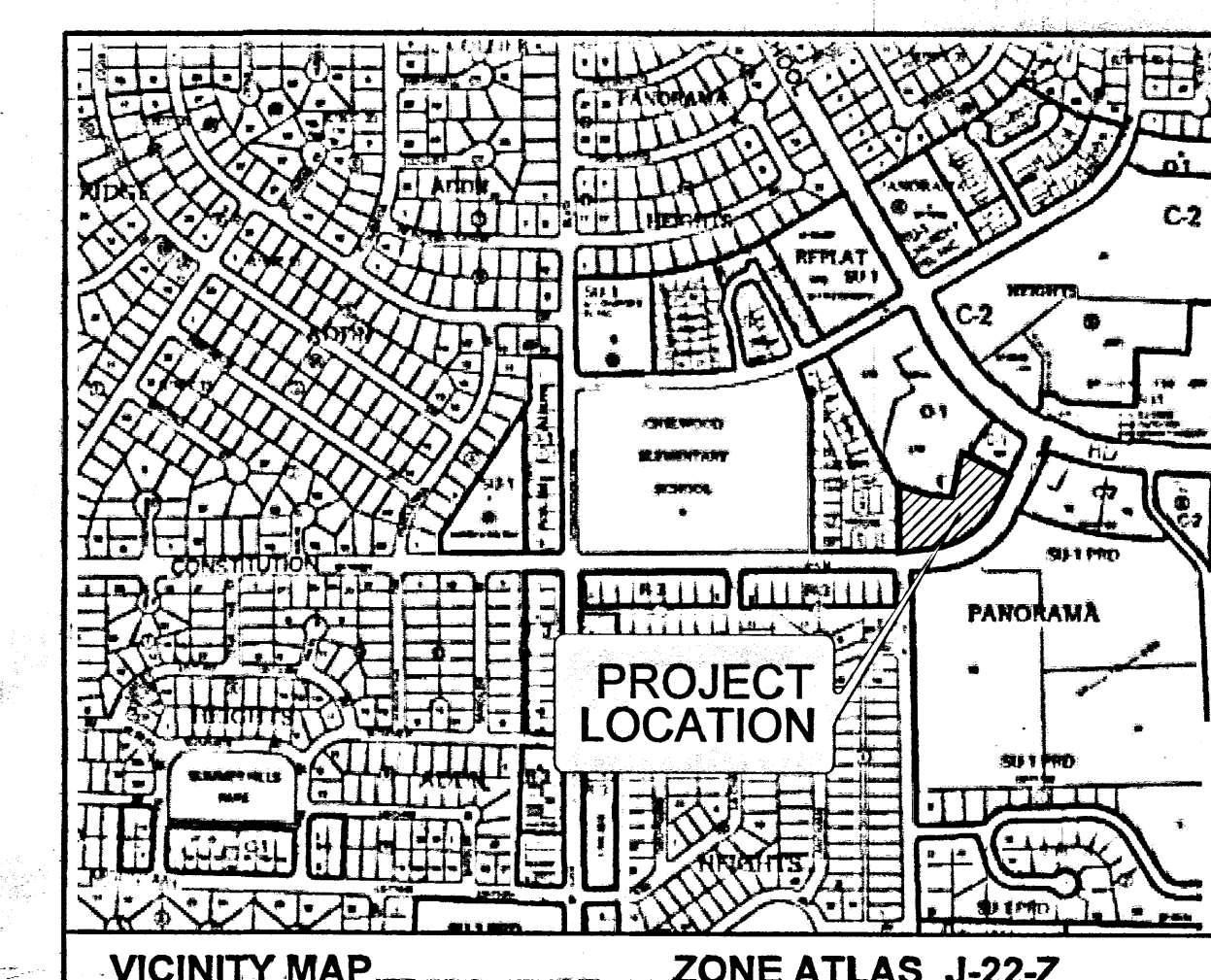
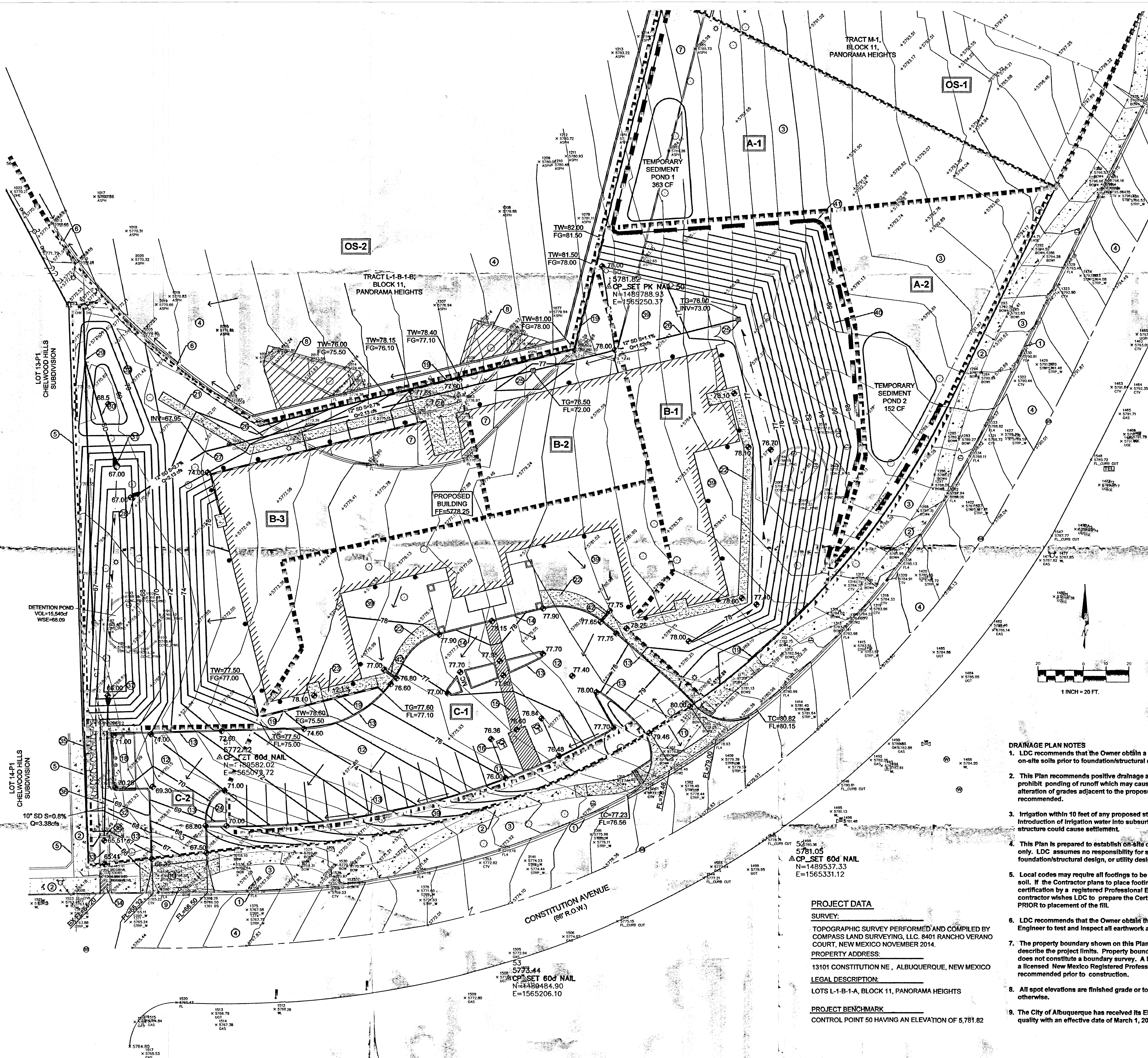
CONCRETE HEADWALL
NTS

E
C-3.0



SECTION
NTS

F
C-3.0



LEGEND		
ITEM	EXISTING	PROPOSED
CURB AND GUTTER		
6" CONCRETE CURB		
CURB ELEVATIONS		
SPOT ELEV.		16.7
RIGHT OF WAY		
EASEMENT		
CENTERLINE		
RETAINING WALL		
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
FLOWLINE ELEV.	EX FL 16.2	FL 16.2
NEW PAVING		
DRAINAGE SWALE		
DIRECTION OF FLOW		
STORM INLET		
STORM DRAIN PIPE		
DOWNSPOUT		
DRAINAGE BASIN DIVIDE		
DRAINAGE BASIN ID		A-1

- KEYED NOTES**
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 - EXISTING ASPHALT PAVEMENT TO REMAIN.
 - EXISTING BLOCK WALL TO REMAIN.
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 - REMOVE AND DISPOSE EXISTING ASPHALT AND CURBING. SEE DEMOLITION PLAN.
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 - PROVIDE HANDICAP PARKING PAVEMENT MARKINGS PER CODE - TYP.
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 - CONSTRUCT 18" X 30 DEGREE BEND.
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 - CONSTRUCT 10 INCH SD.
 - INSTALL 10 INCH END SECTION.
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LEGAL DESCRIPTION:
LOTS L-1-B-1-A, BLOCK 11, PANORAMA HEIGHTS
PROJECT BENCHMARK
CONTROL POINT 50 HAVING AN ELEVATION OF 5,781.82



LORENZ

DESIGN & CONSULTING, LLC

Civil Engineering & Construction Management

2001 Rd. Grande Blvd. NW, Suite A, Albuquerque, NM
PH: 505-883-8800 FAX: 505-242-8805

BELLA VISTA ASSISTED LIVING

GRADING AND DRAINAGE PLAN

ALBUQUERQUE, NM

PROJECT #14-017

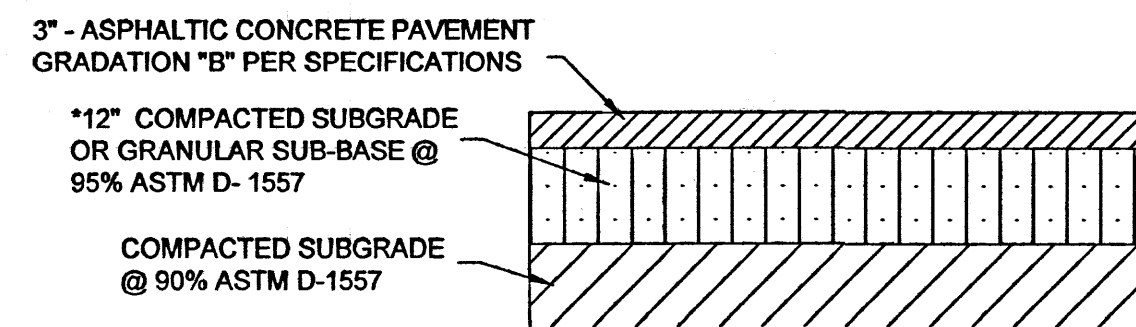
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DATE

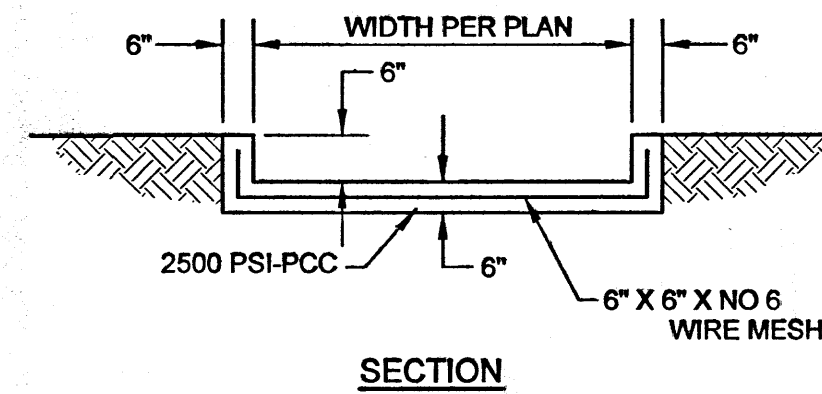
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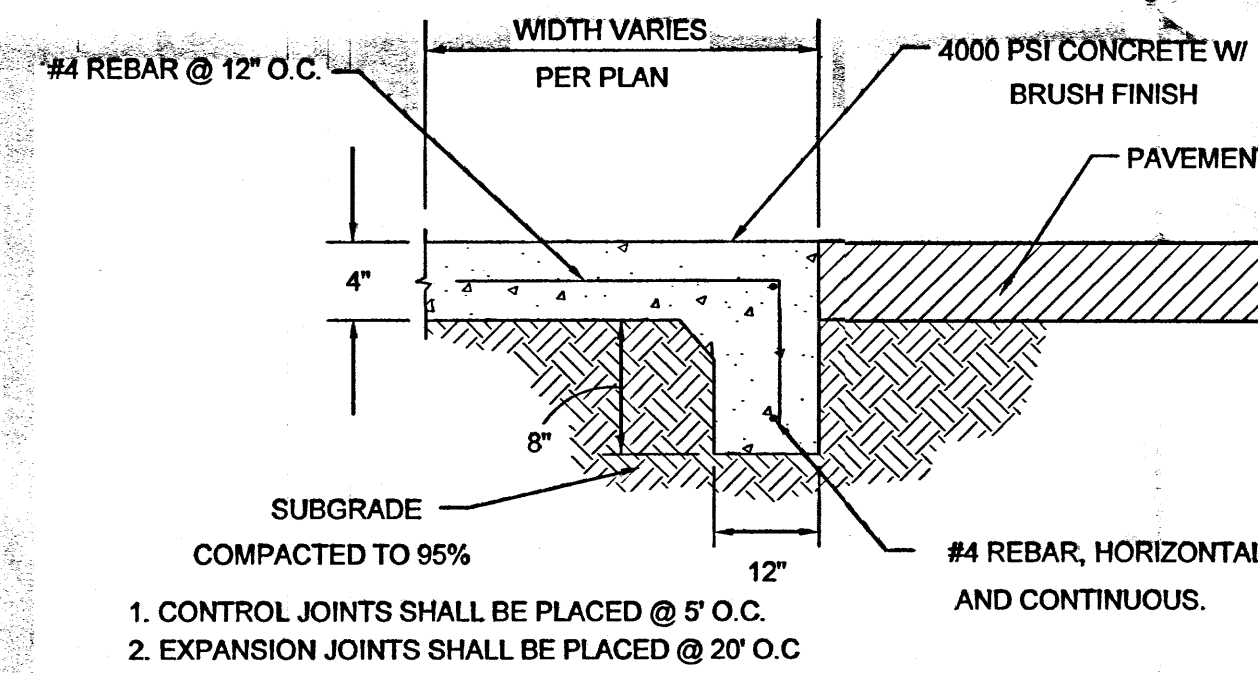
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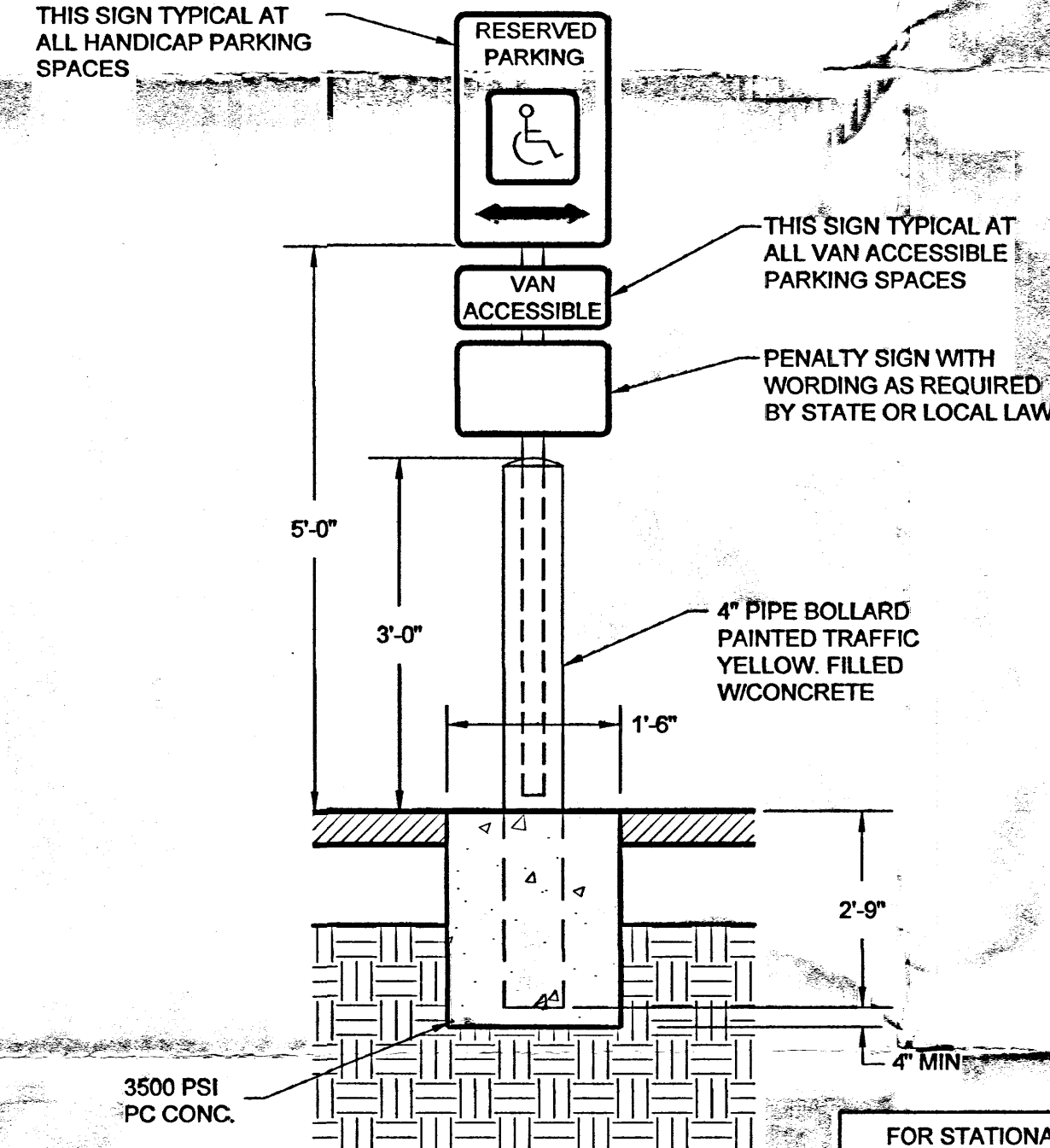
ASPHALT PAVEMENT SECTION A
AUTO/PICKUP TRUCK
NTS C-2.0



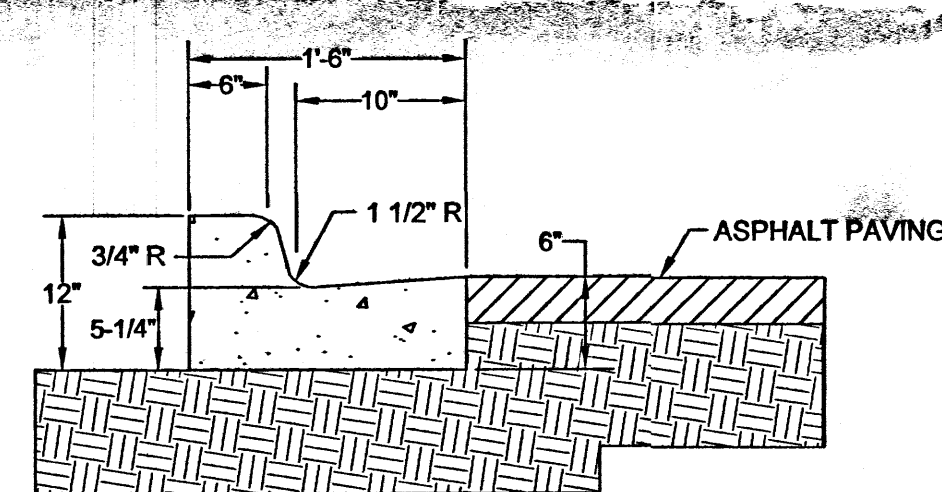
CONCRETE DRAINAGE CHANNEL DETAIL E
NTS C-2.0



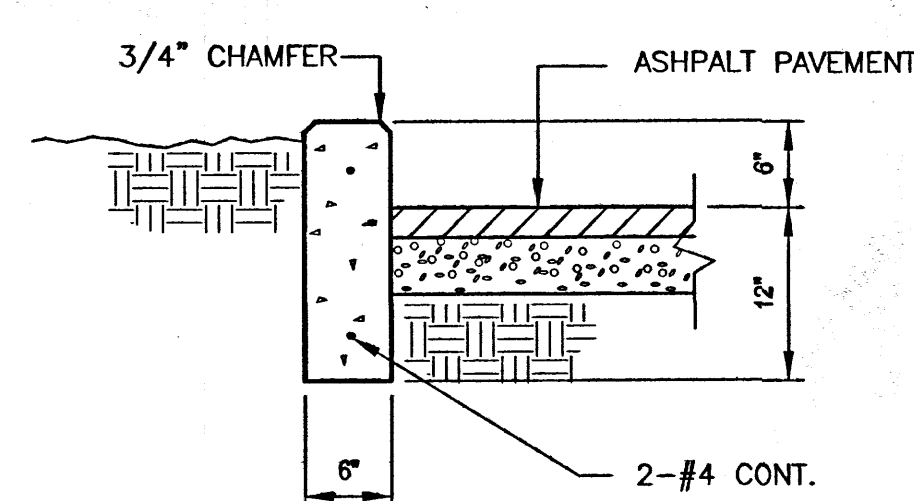
TURN DOWN SIDEWALK AT ACCESSIBLE ZONES B
NTS C-2.0



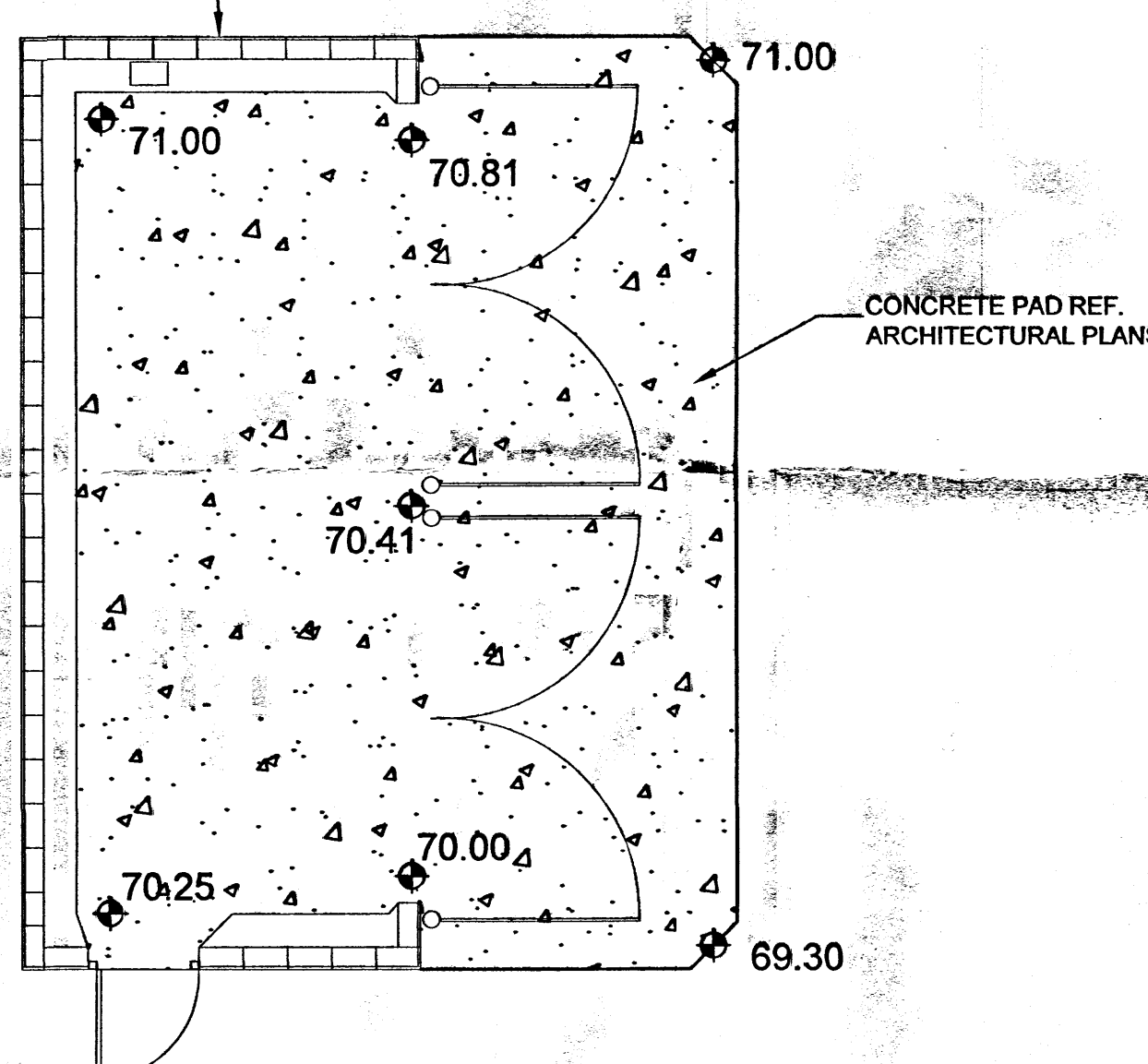
HC SIGN ASSEMBLY / BOLLARD DETAIL F
NTS C-2.0



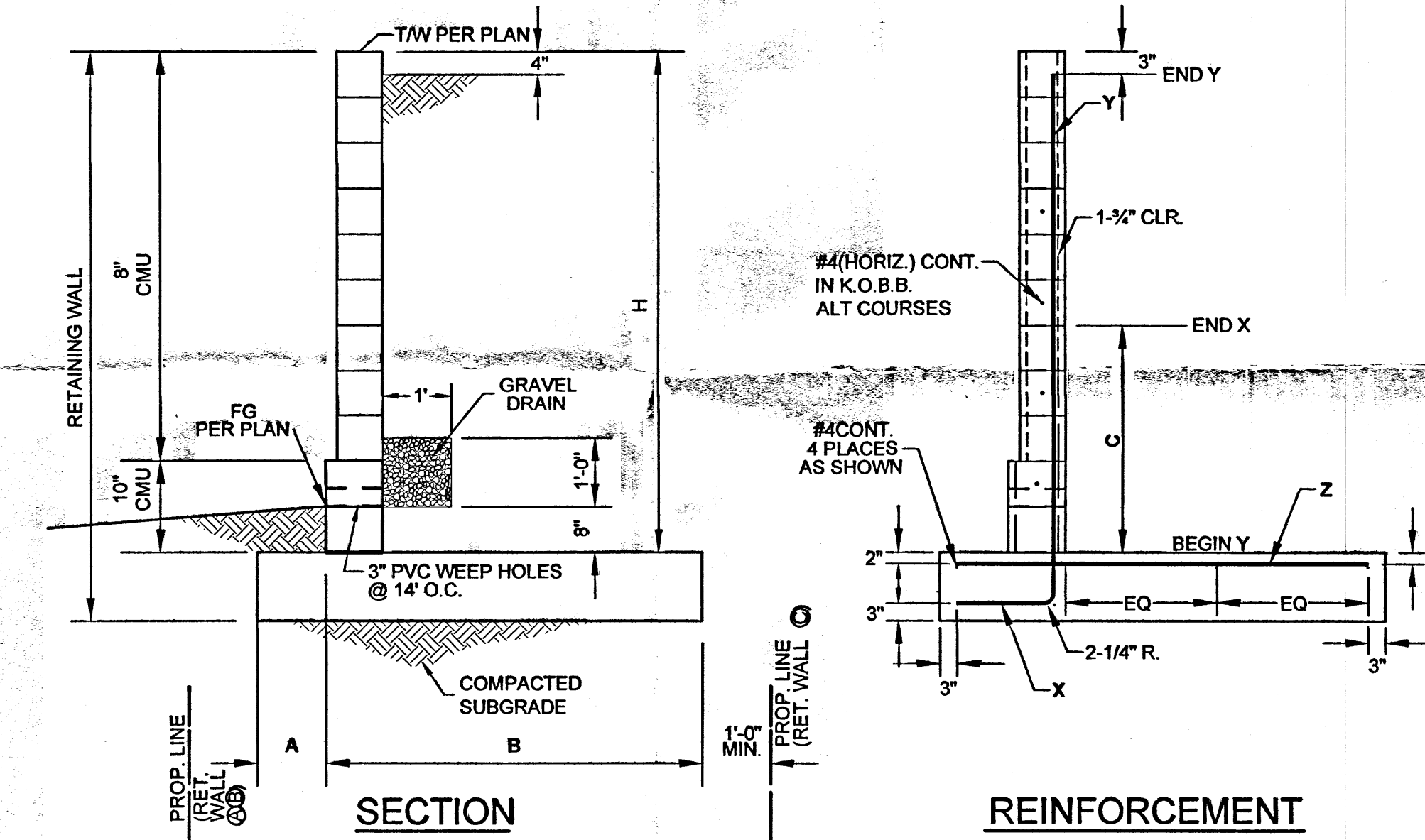
CONCRETE CURB AND GUTTER C
NTS C-2.0



HEADER CURB DETAIL D
NTS C-2.0



REFUSE ENCLOSURE SLAB PLAN G
NTS C-2.0

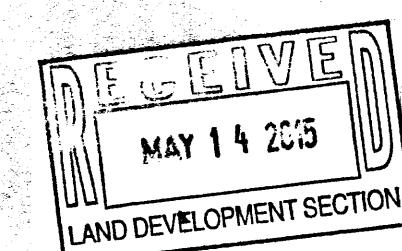


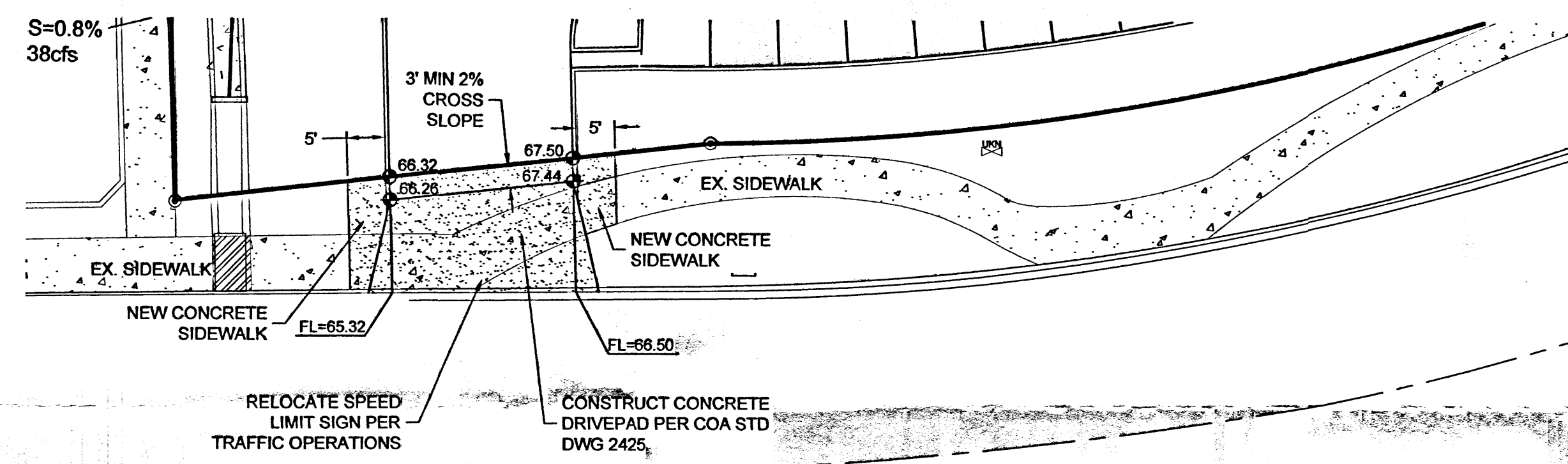
H	A	B	C	10" CMU	8" CMU	X	Y	Z
4'-8"	1'-0"	2'-8"	1'-4"	-	7 CRS	#5@16"	#4@16"	#4@16"
4'-0"	1'-0"	2'-0"	1'-4"	-	6 CRS	#4@16"	#4@16"	#4@16"
3'-4"	1'-0"	1'-8"	3'-0"	-	5 CRS	#4@16"	-	-
2'-8"	1'-0"	1'-8"	2'-4"	-	4 CRS	#4@16"	-	-
2'-0"	1'-0"	1'-8"	1'-8"	-	3 CRS	#4@16"	-	-

- RETAINING WALL NOTES:
- All cells shall be completely filled with concrete.
 - All wall sections are designed based on special inspection per UBC.
 - Contractor shall submit to Owner results of masonry test prisms built and tested per UBC STD 24-26, UBC SEC 2405.
 - Footing subgrade and base shall be compacted to 95% modified proctor per ASTM D-1557.
 - 1/2" felt expansion joints shall be installed at 30 feet on center and at section changes.
 - All masonry shall be laid in running bond only.
 - All masonry surfaces to be backfilled shall be coated with emulsified asphalt, or other moisture barrier as approved by the Engineer.
 - All reinforced concrete and CMU walls are designed per the following:

f'_c =4000 psi; maximum aggregate size = 3/4"
 f_y =60,000 psi (ASTM A-615 GR 60)
 f_m =1500 psi
 Unit weight of backfill = 110 pcf
 Concrete/soil coeff of friction = 0.30
 Allowable soil bearing pressure = 1500 psf
 Acting pressure = 44 psf/ft
 Slope active pressure = 44 psf/ft
 Passive pressure = 360 psf/ft

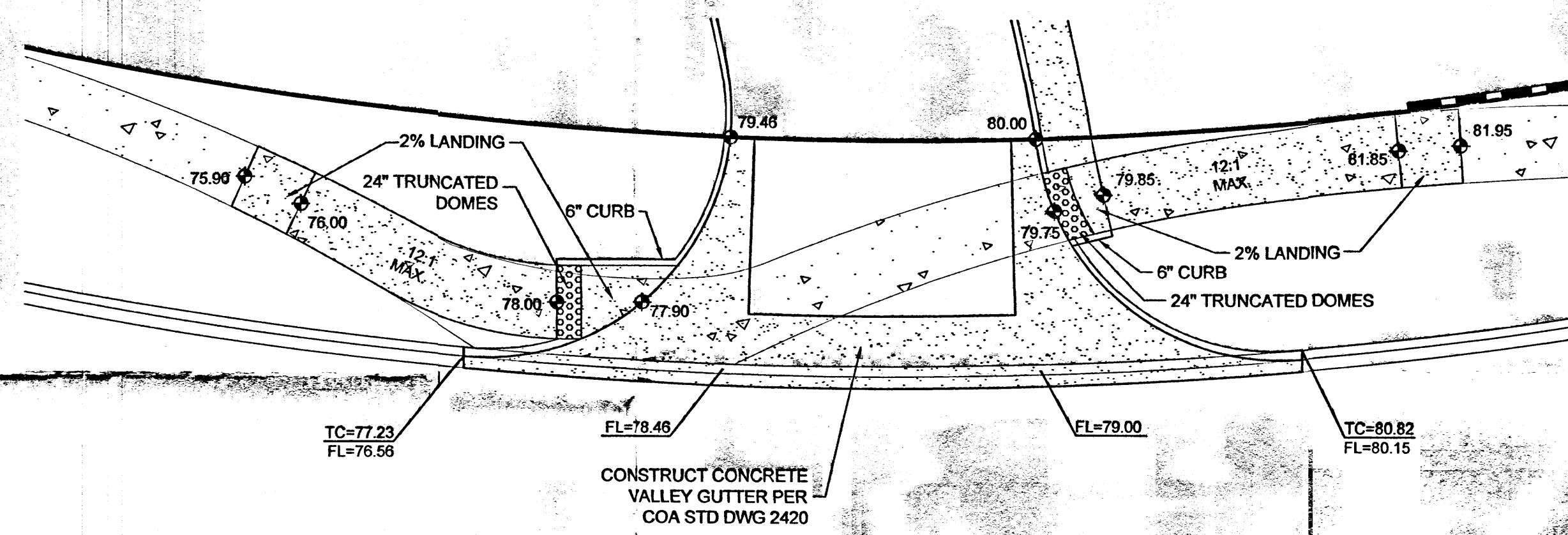
CMU RETAINING WALL DETAIL H
NTS C-2.0





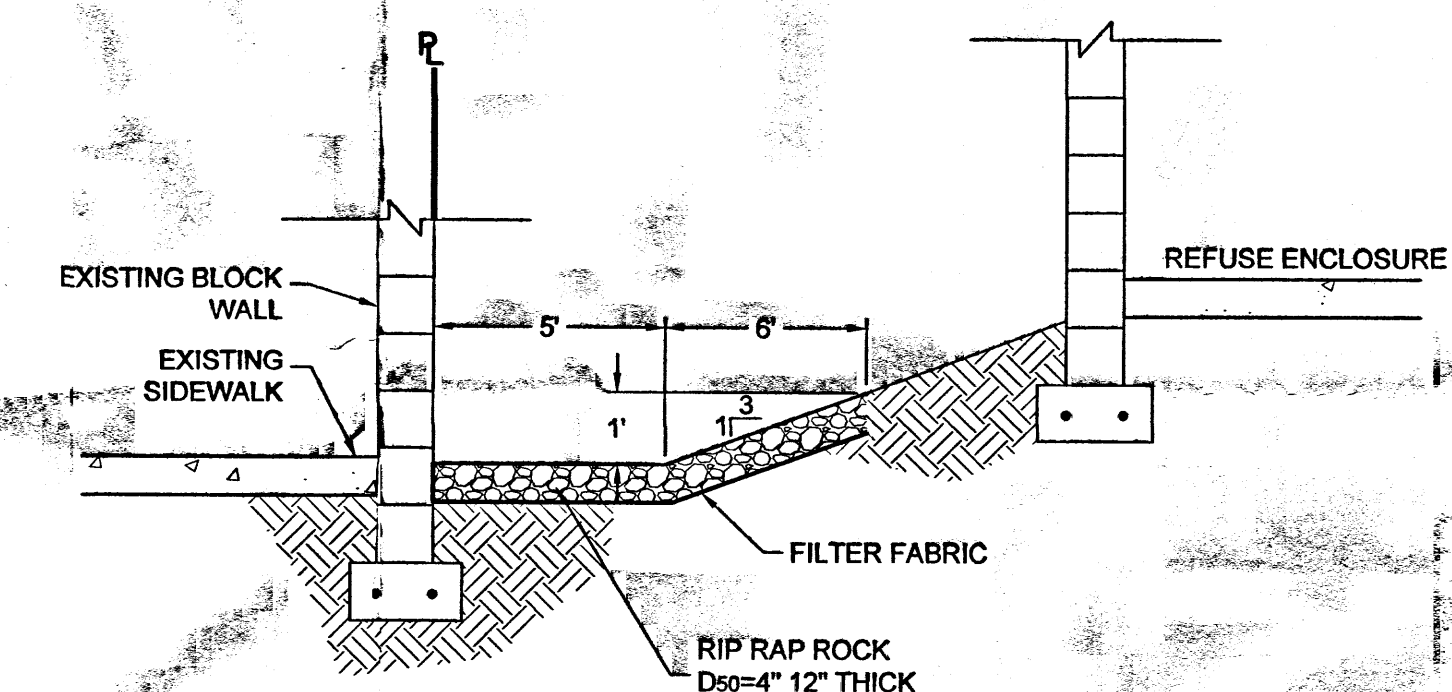
DRIVEWAY DETAIL
SCALE: 1"=10'

A
C-3.0



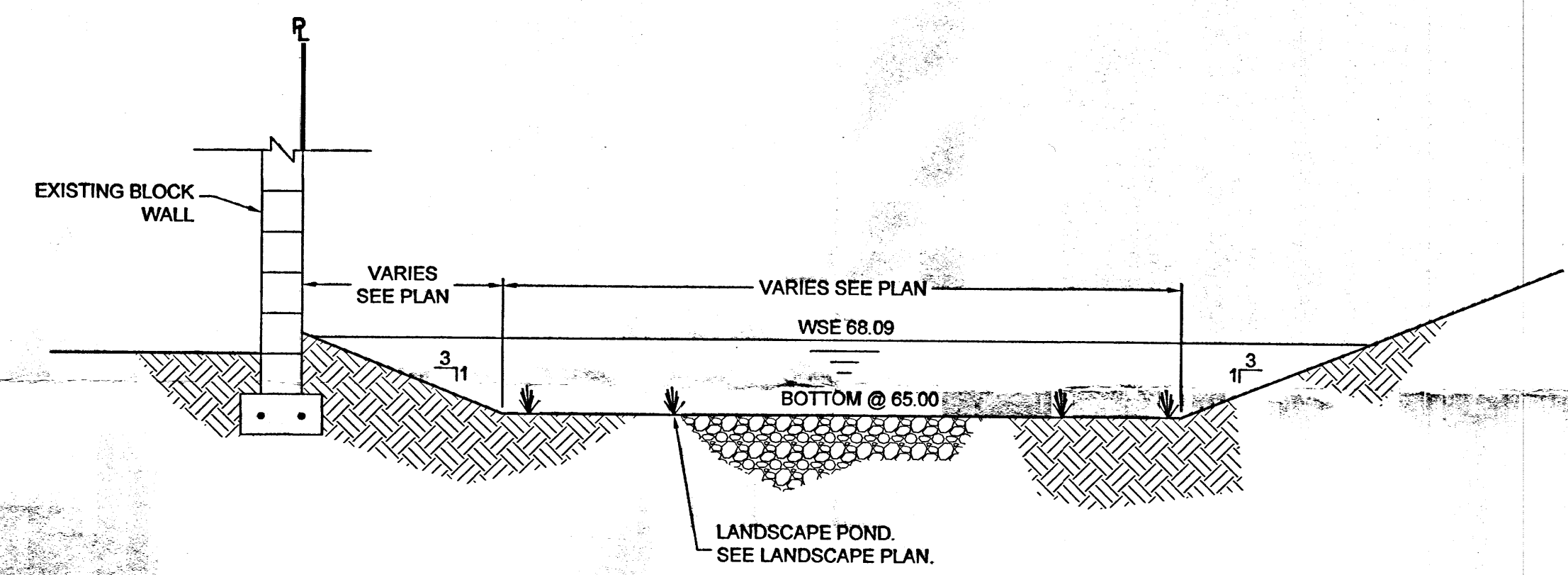
DRIVEWAY DETAIL
SCALE: 1"=10'

B
C-3.0



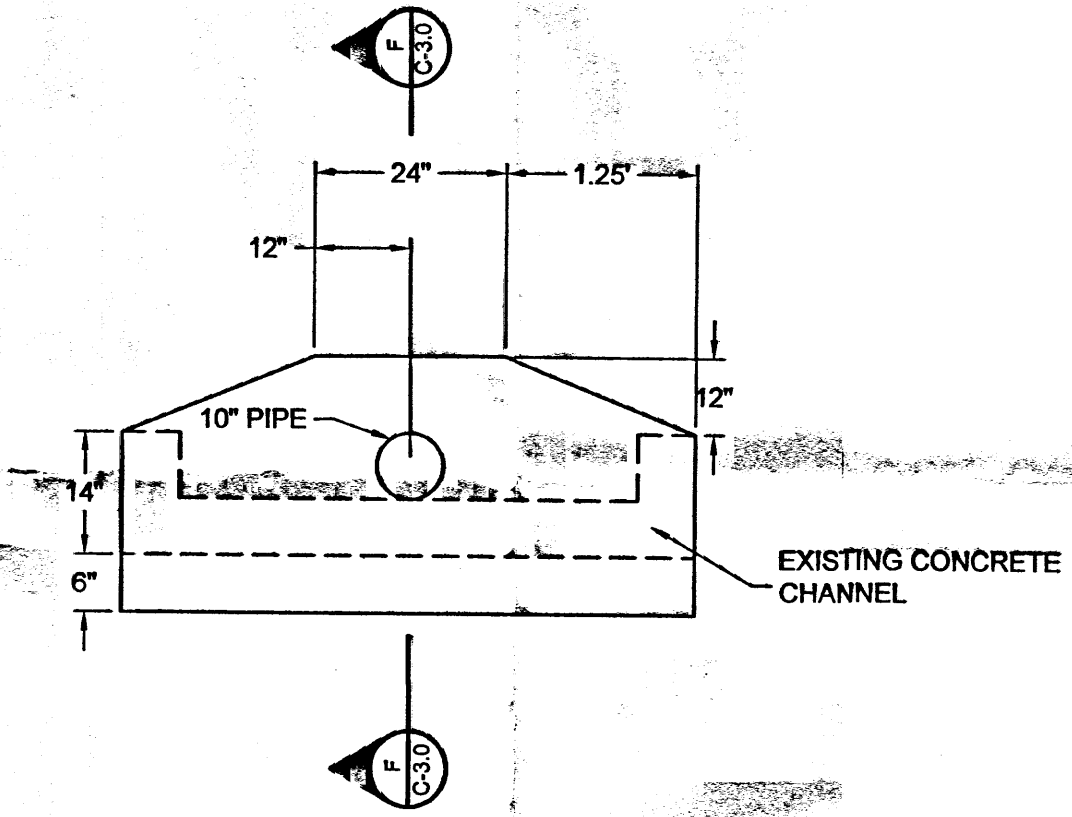
POND OVERFLOW SPILLWAY
NTS

C
C-3.0



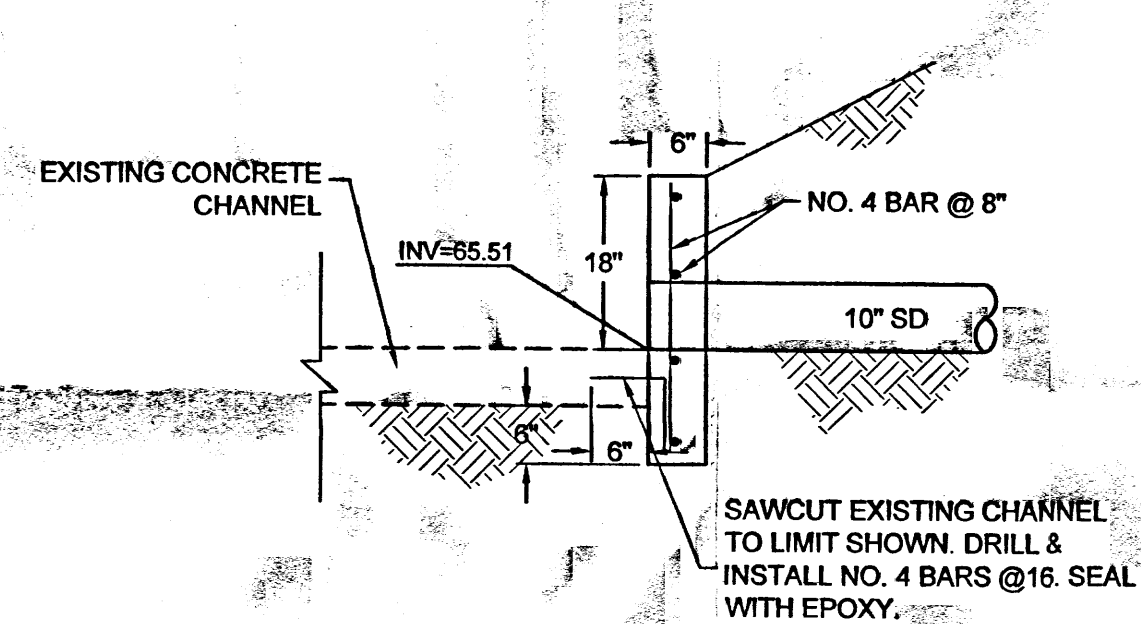
POND SECTION
NTS

D
C-3.0



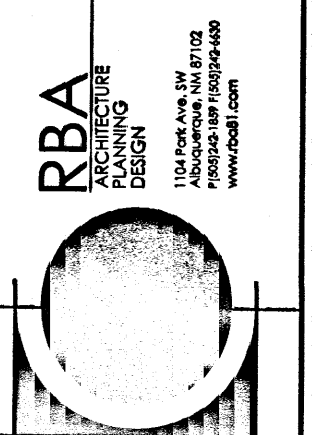
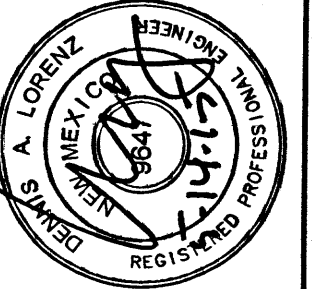
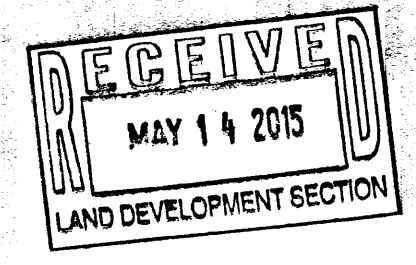
CONCRETE HEADWALL
NTS

E
C-3.0



SECTION
NTS

F
C-3.0



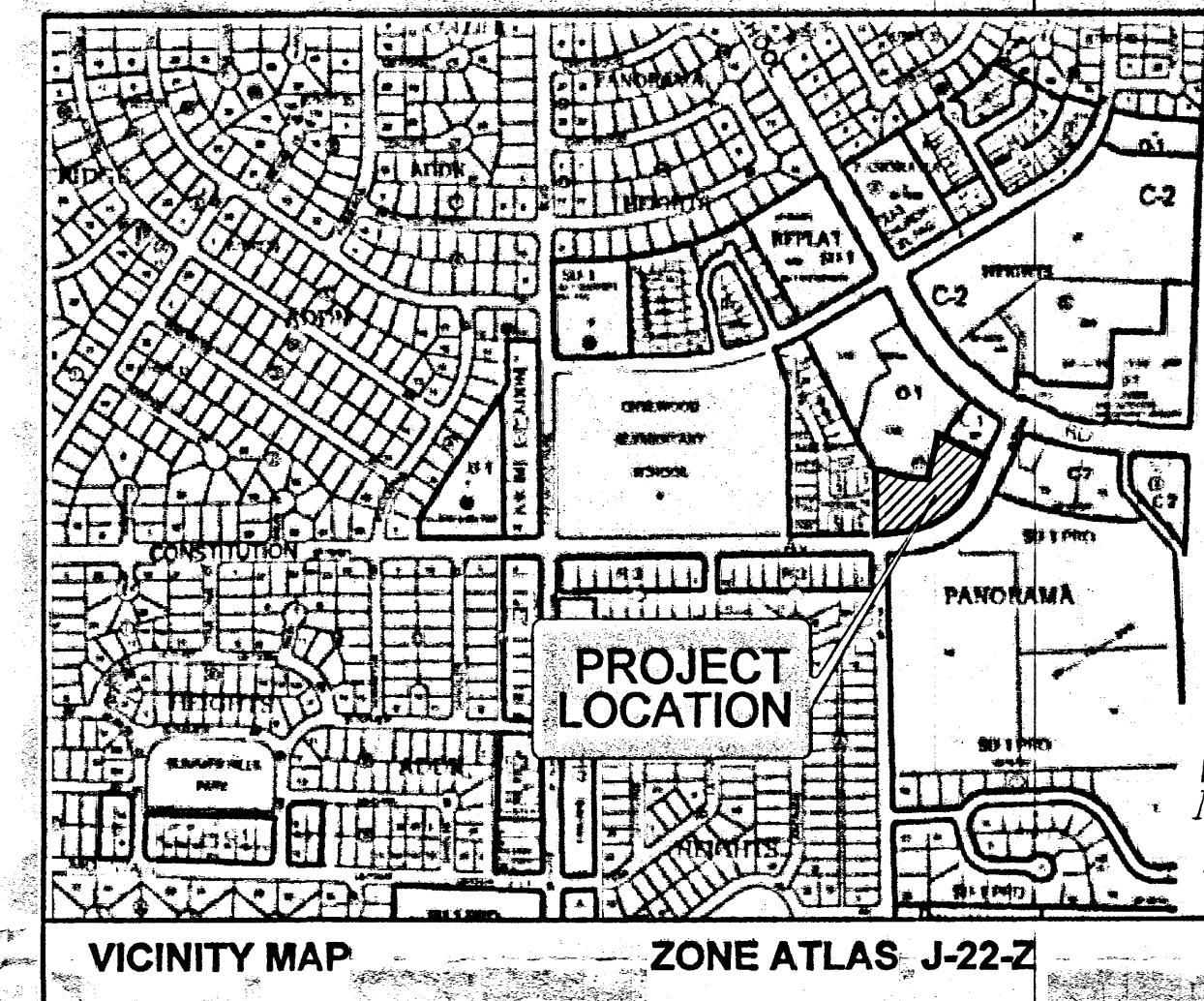
DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", 1988 EDITION, AS AMENDED THROUGH UPDATE NO. 7.
3. THREE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234 FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVALS:

INSPECTOR

DATE



VICINITY MAP

ZONE ATLAS J-22-Z

LEGEND

ITEM	EXISTING	PROPOSED
CURB AND GUTTER		
6" CONCRETE CURB		
CURB ELEVATIONS		
SPOT ELEV.		
RIGHT OF WAY		
EASEMENT		
CENTERLINE		
RETAINING WALL		
TOP OF ASPHALT ELEV.		
FLOWLINE ELEV		
NEW PAVING		
DRAINAGE SWALE		
DIRECTION OF FLOW		
STORM INLET		
STORM DRAIN PIPE		
DOWNSPOUT		

KEYED NOTES

1. EXISTING CONCRETE STANDARD CURB AND GUTTER.
2. EXISTING PUBLIC SIDEWALK TO REMAIN.
3. EXISTING LANDSCAPING TO REMAIN.
4. EXISTING ASPHALT PAVEMENT TO REMAIN.
5. EXISTING BLOCK WALL TO REMAIN.
6. EXISTING RETAINING WALL TO REMAIN.
7. REMOVE AND DISPOSE EXISTING ASPHALT AND CURBINGS. SEE DEMOLITION PLAN.
8. REMOVE AND DISPOSE EXISTING ASPHALT AND CURBING TO LIMITS SHOWN. REPLACE WITH ASPHALT PAVEMENT PER SECTION A/C2.0.
9. RELOCATE EXISTING SPEED LIMIT SIGN PER COA TRAFFIC OPERATIONS.
10. REMOVE EXISTING CURB, GUTTER AND SIDEWALK, REPLACE WITH CONCRETE DRIVEPAD. SEE DETAIL A/C3.0.
11. REMOVE EXISTING CURB, GUTTER AND SIDEWALK, REPLACE WITH CONCRETE VALLEY GUTTER. SEE DETAIL B/C3.0.
12. CONSTRUCT ASPHALT PAVEMENT. SEE SECTION A/C2.0.
13. CONSTRUCT 6-INCH CONCRETE CURB. SEE DETAIL C/C2.0.
14. CONSTRUCT TURN DOWN SIDEWALK. NO CURB. TOP OF CONCRETE AT TOP OF PAVEMENT. SEE DETAIL B/C2.0.
15. PROVIDE STRIPED PEDESTRIAN CROSSING PER CODE.
16. PROVIDE HANDICAP PARKING PAVEMENT MARKINGS PER CODE.
17. INSTALL HANDICAP SIGN ASSEMBLY PER CODE. SEE DETAIL F/C2.0.
18. CONSTRUCT NEW REFUSE ENCLOSURE. SEE DETAIL G/C2.0.
19. CONSTRUCT RETAINING WALL. SEE DETAIL H/C2.0.
20. NOT USED.
21. CONSTRUCT CONCRETE FLATWORK. SEE SITE PLAN.
22. CONSTRUCT CONCRETE SIDEWALK. SEE SITE PLAN.
23. CONSTRUCT ACCESSIBLE RAMP AT 1:12 SLOPE MAX.
24. CONSTRUCT 36-INCH CONCRETE CHANNEL. SEE DETAIL E/C2.0.
25. CONSTRUCT TYPE 'D' INLET PER COA STD DWG 2206.
26. CONSTRUCT 18-INCH SD.
27. CONSTRUCT 18" X 30 DEGREE BEND.
28. INSTALL 18-INCH END SECTION.
29. CUT EXISTING 4-INCH SD. INSTALL 30 DEGREE BEND. REMOVE & DISPOSE SD PIPE DOWNSTREAM FROM CONNECTION.
30. CONSTRUCT 4-INCH SD.
31. INSTALL 4-INCH END SECTION.
32. REMOVE & DISPOSE EXISTING CONCRETE CHANNEL.
33. EXISTING 3.5' WIDE CHANNEL TO REMAIN.
34. EXISTING SIDEWALK CULVERTS TO REMAIN.
35. CONSTRUCT OVERFLOW SPILLWAY SEE DETAIL C/C3.0.
36. CONSTRUCT 10 INCH SD.
37. INSTALL 10 INCH END SECTION.
38. CONSTRUCT CONCRETE HEADWALL SEE DETAIL E/C3.0.
39. NEW LANDSCAPING. SEE LANDSCAPE PLAN.
40. CONSTRUCT 3:1 CUT SLOPE. PROVIDE LANDSCAPING/EROSION CONTROL. SEE LANDSCAPE PLAN.
41. PROVIDE EROSION CONTROL BERM OR SILT FENCE. SEE SWPPP.

DRAINAGE PLAN NOTES

1. LDC recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
4. This Plan is prepared to establish on-site drainage and grading criteria only. LDC assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes LDC to prepare the Certification, we must be notified PRIOR to placement of the fill.
6. LDC recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
8. All spot elevations are finished grade or top of pavement, unless noted otherwise.
9. The City of Albuquerque has received its EPA MS4 Permit for stormwater quality with an effective date of March 1, 2012.

PROJECT DATA

SURVEY:

TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY:
COMPASS LAND SURVEYING, LLC. 8401 RANCHO VERANO
COURT, NEW MEXICO NOVEMBER 2014.

PROPERTY ADDRESS:

13101 CONSTITUTION NE, ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION:

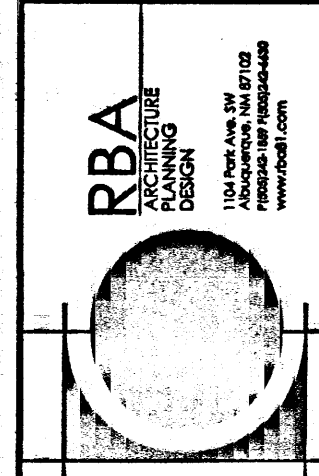
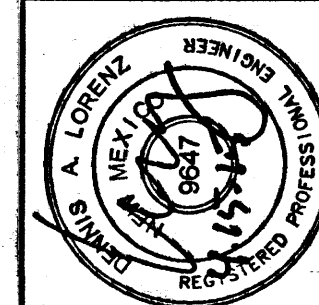
LOTS L-1-B-1-A, BLOCK 11, PANORAMA HEIGHTS

PROJECT BENCHMARK

CONTROL POINT 50 HAVING AN ELEVATION OF 5,781.82

BELLA VISTA ASSISTED LIVING
GRADING AND DRAINAGE PLAN
ALBUQUERQUE, NM
PROJECT #14-017

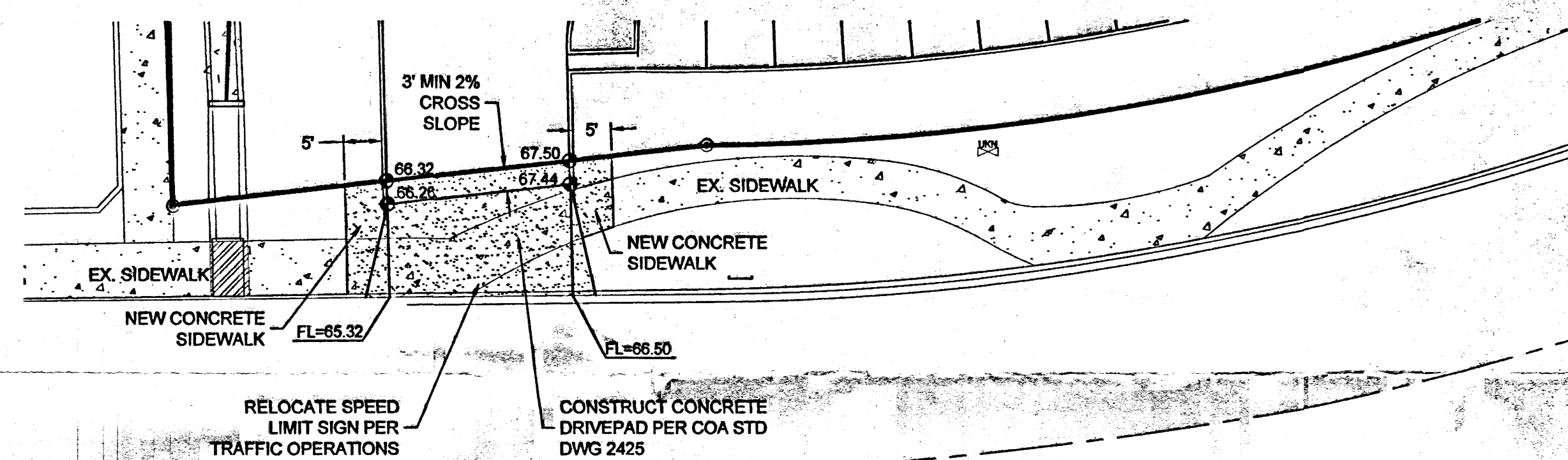
REVISION DATE



DATE
04/15/2015

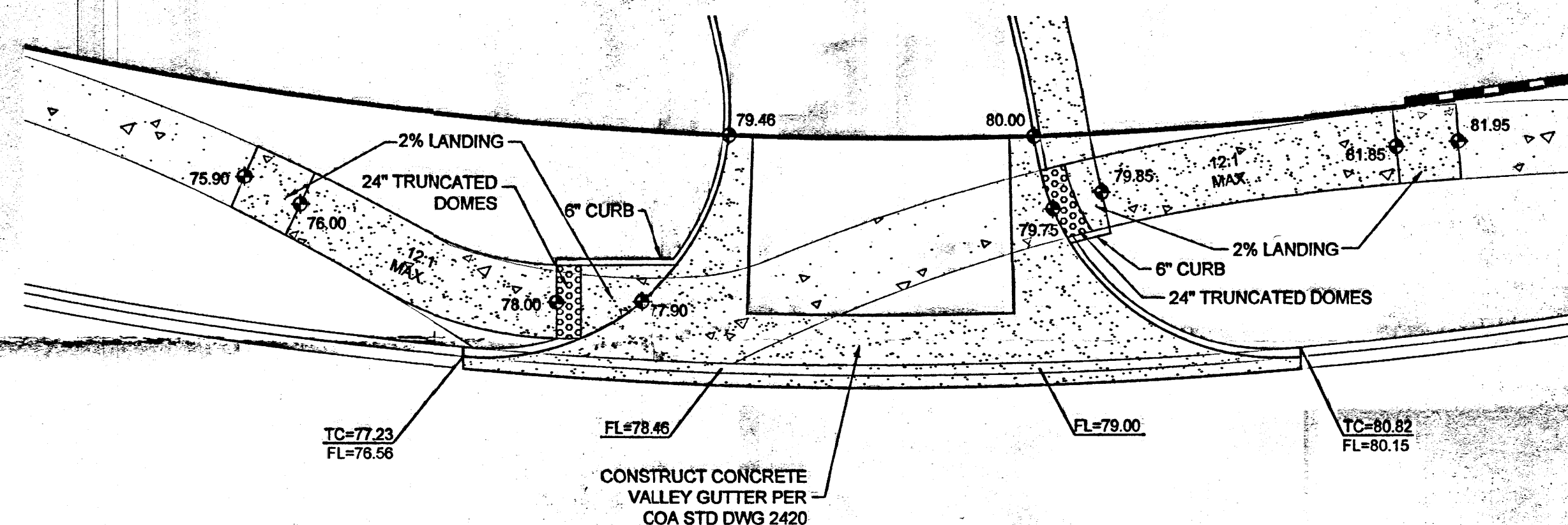
SHEET NUMBER

C-1.0



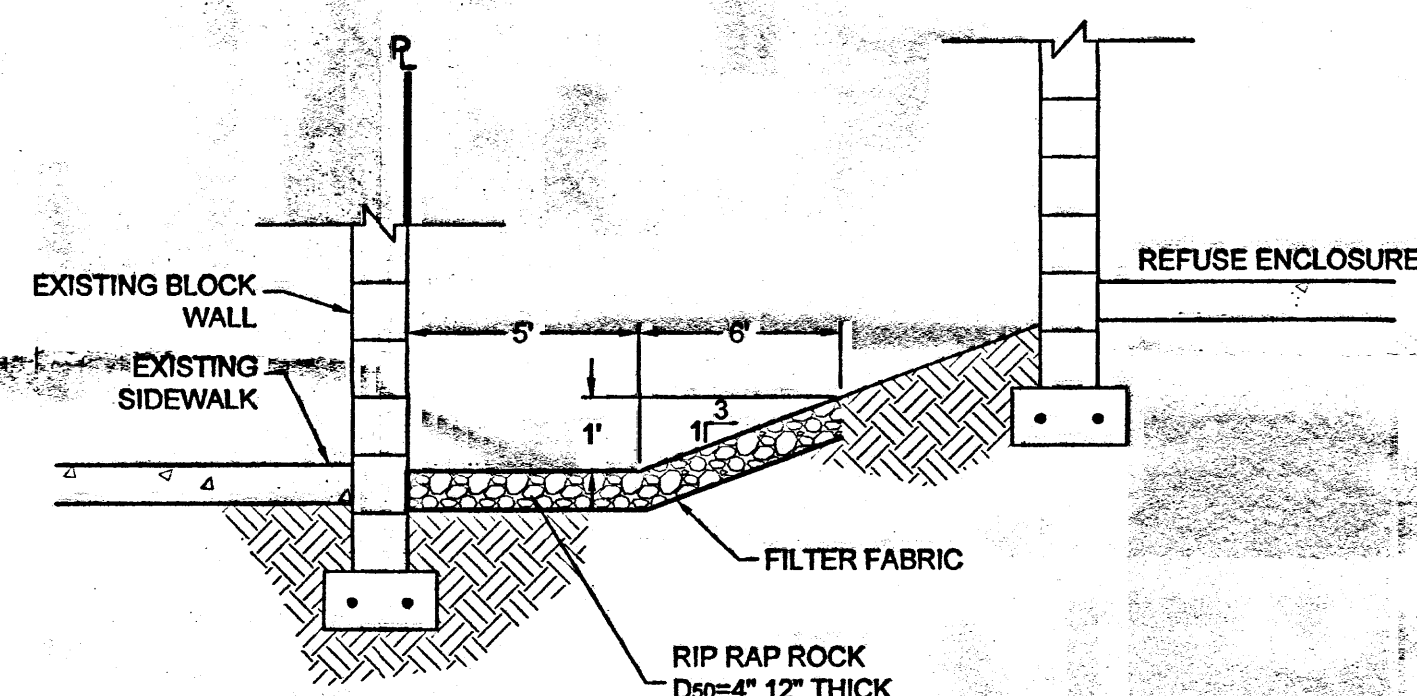
DRIVEWAY DETAIL
SCALE: 1"=10'

A
C-3.0



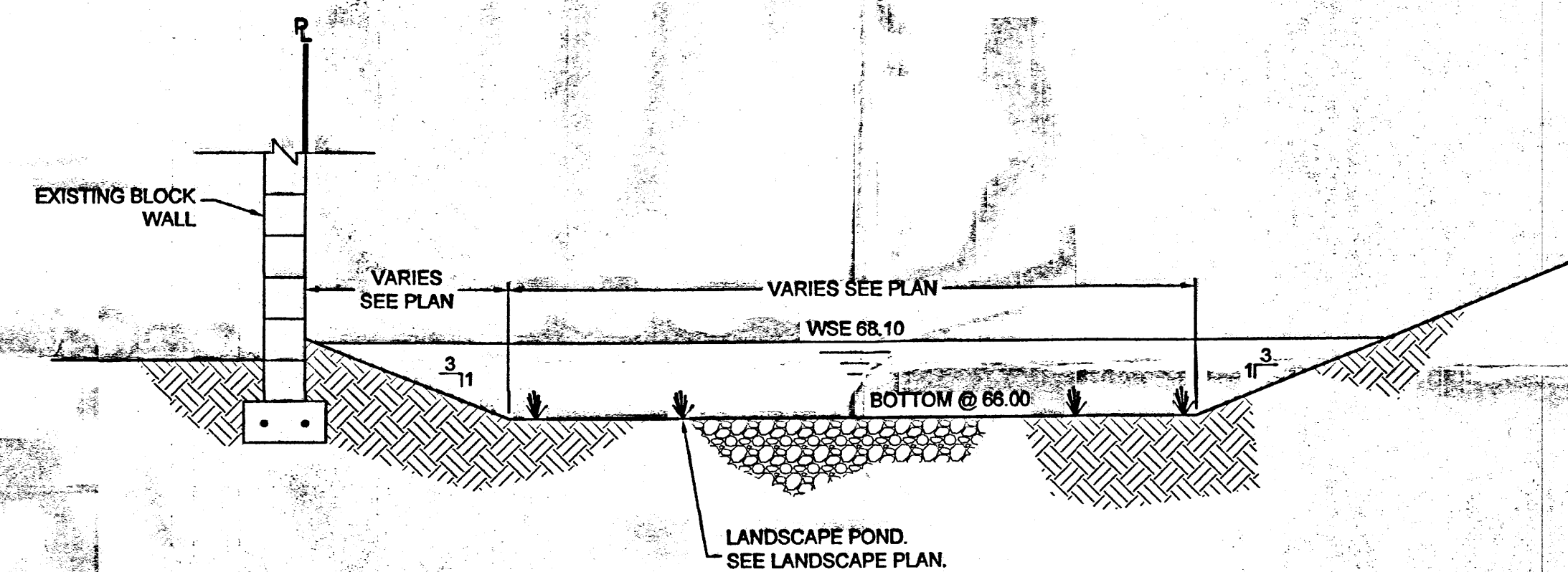
DRIVEWAY DETAIL
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B
C-3.0



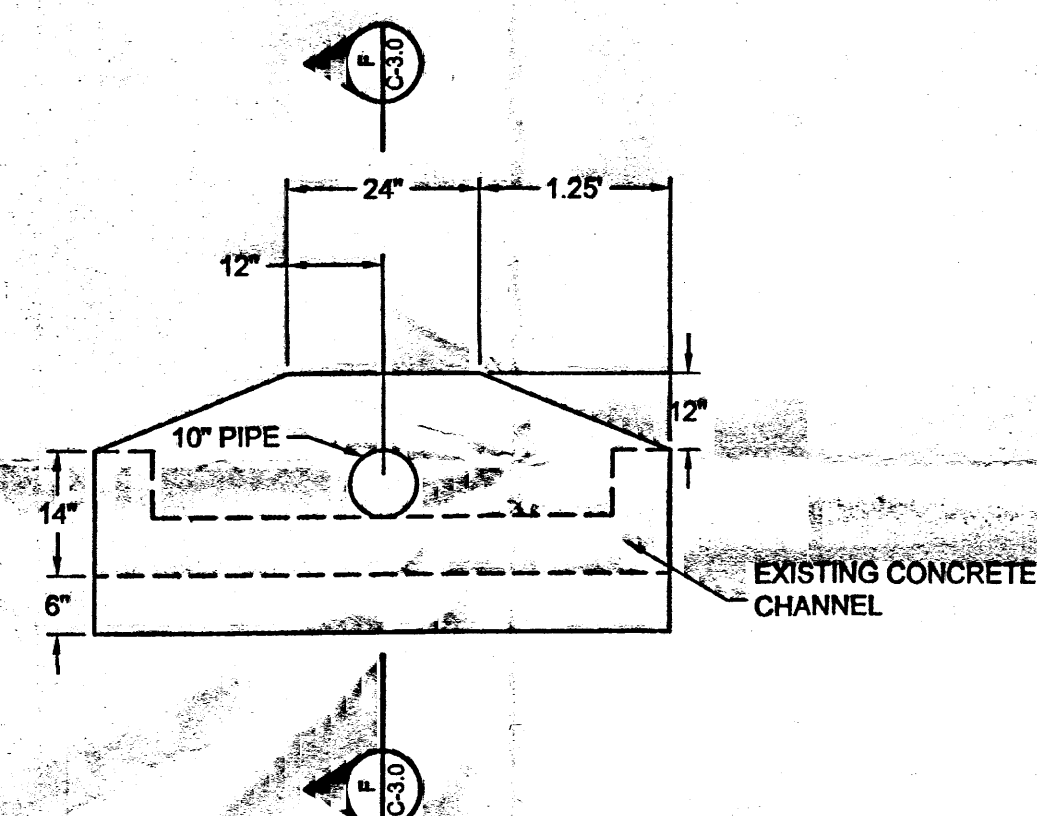
POND OVERFLOW SPILLWAY
NTS

C
C-3.0



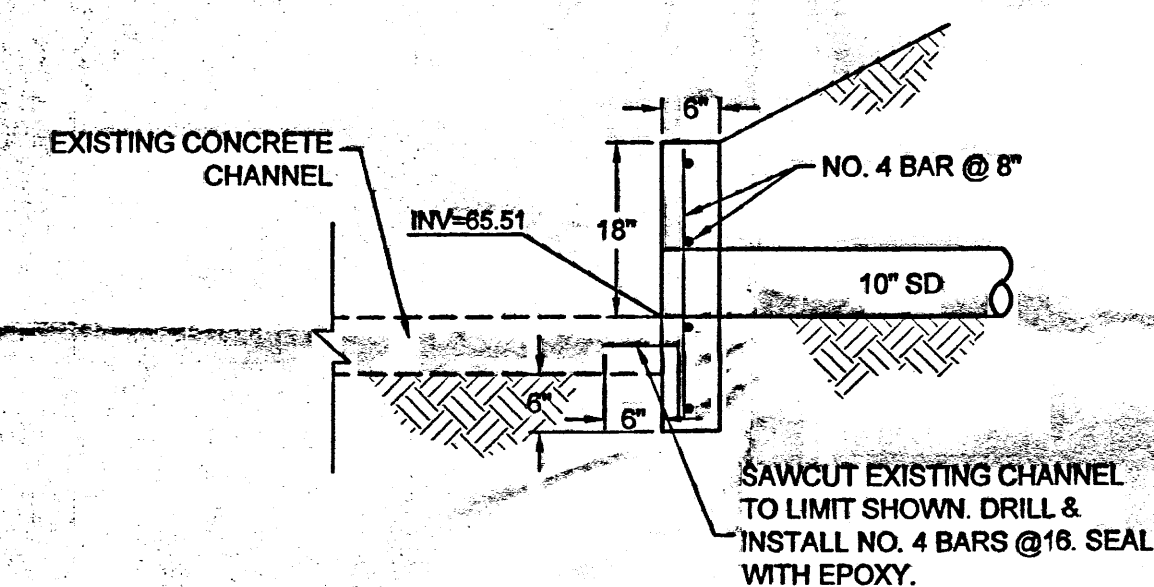
POND SECTION
NTS

D
C-3.0



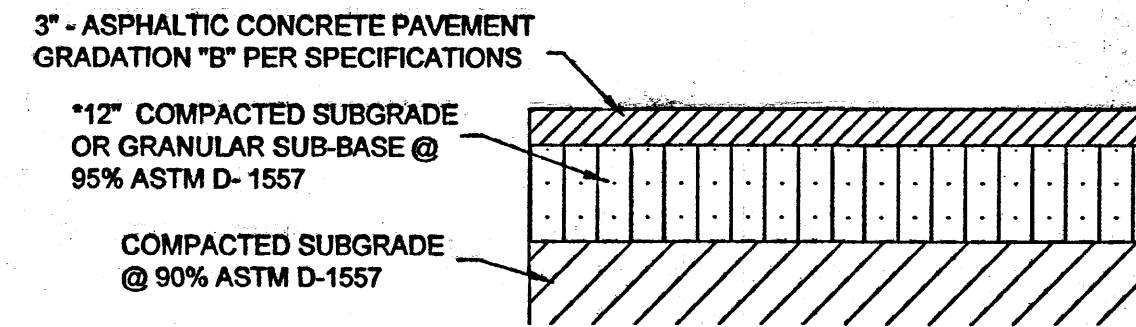
CONCRETE HEADWALL
NTS

E
C-3.0

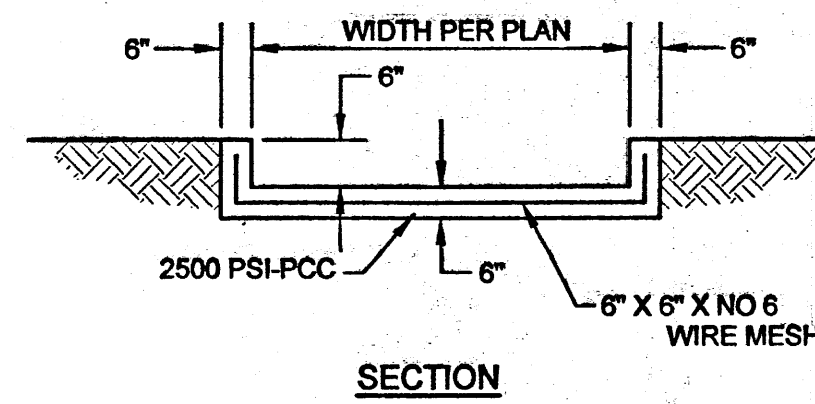


SECTION
NTS

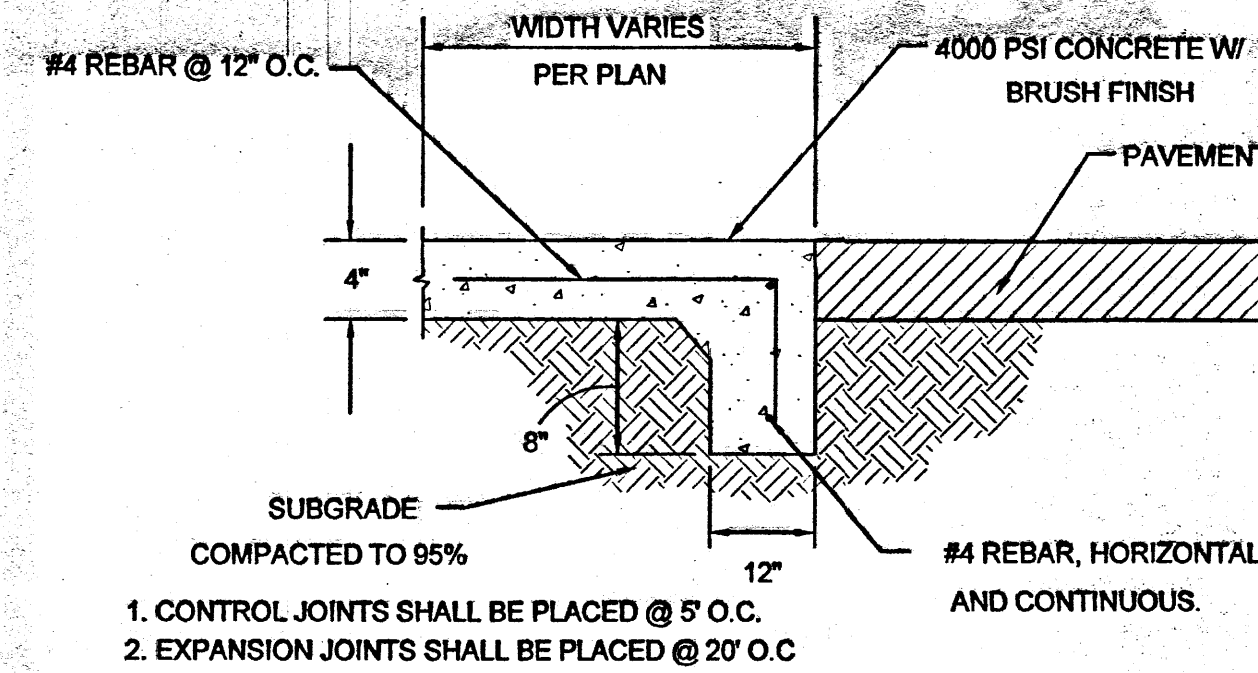
F
C-3.0



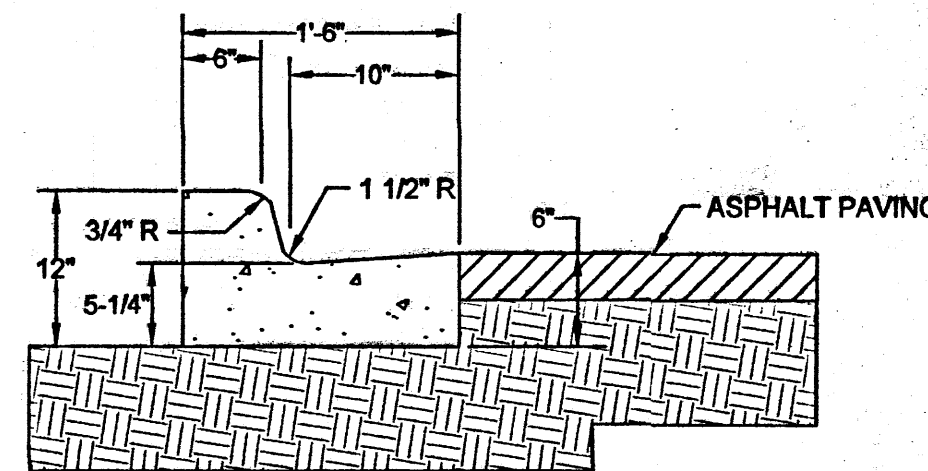
ASPHALT PAVEMENT SECTION A
AUTO/PICKUP TRUCK
NTS C-2.0



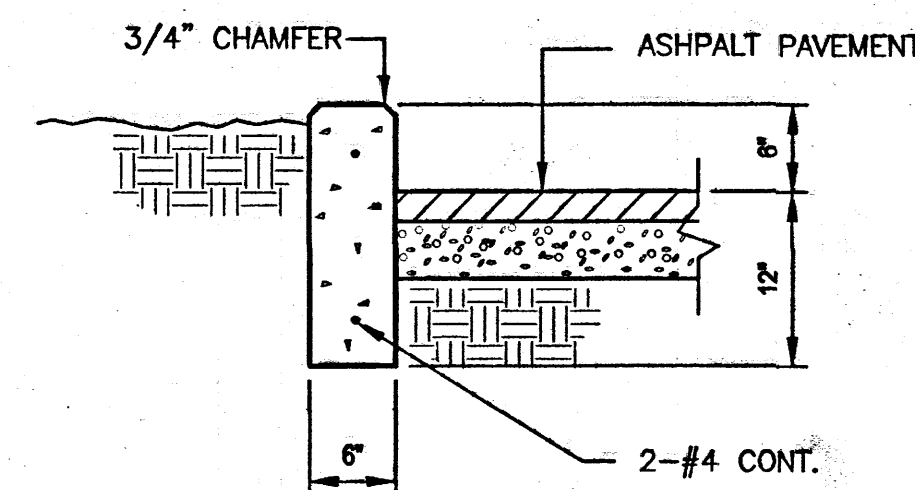
CONCRETE DRAINAGE CHANNEL DETAIL E
NTS C-2.0



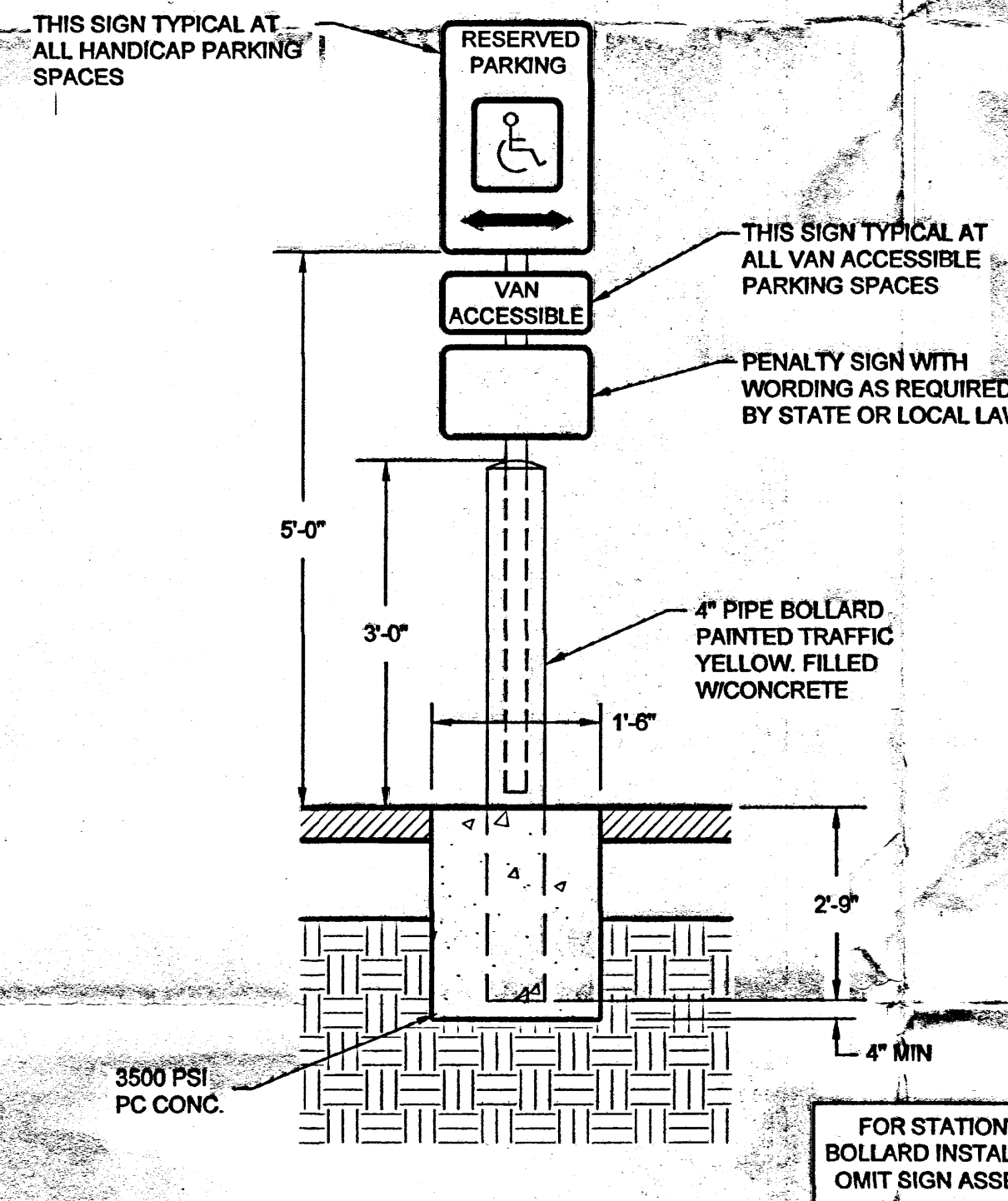
TURN DOWN SIDEWALK AT ACCESSIBLE ZONES B
NTS C-2.0



CONCRETE CURB AND GUTTER C
NTS C-2.0

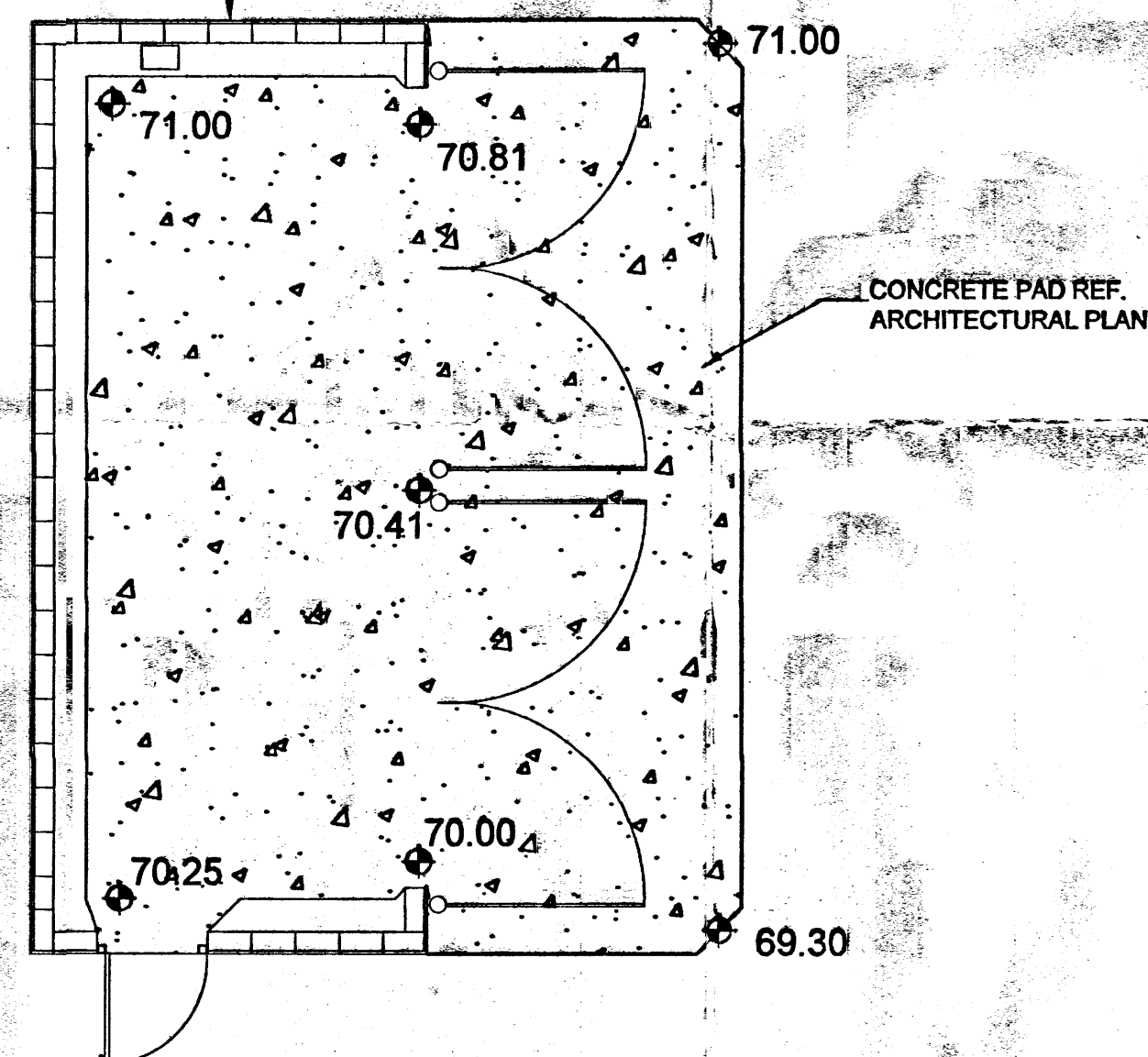


HEADER CURB DETAIL D
NTS C-2.0

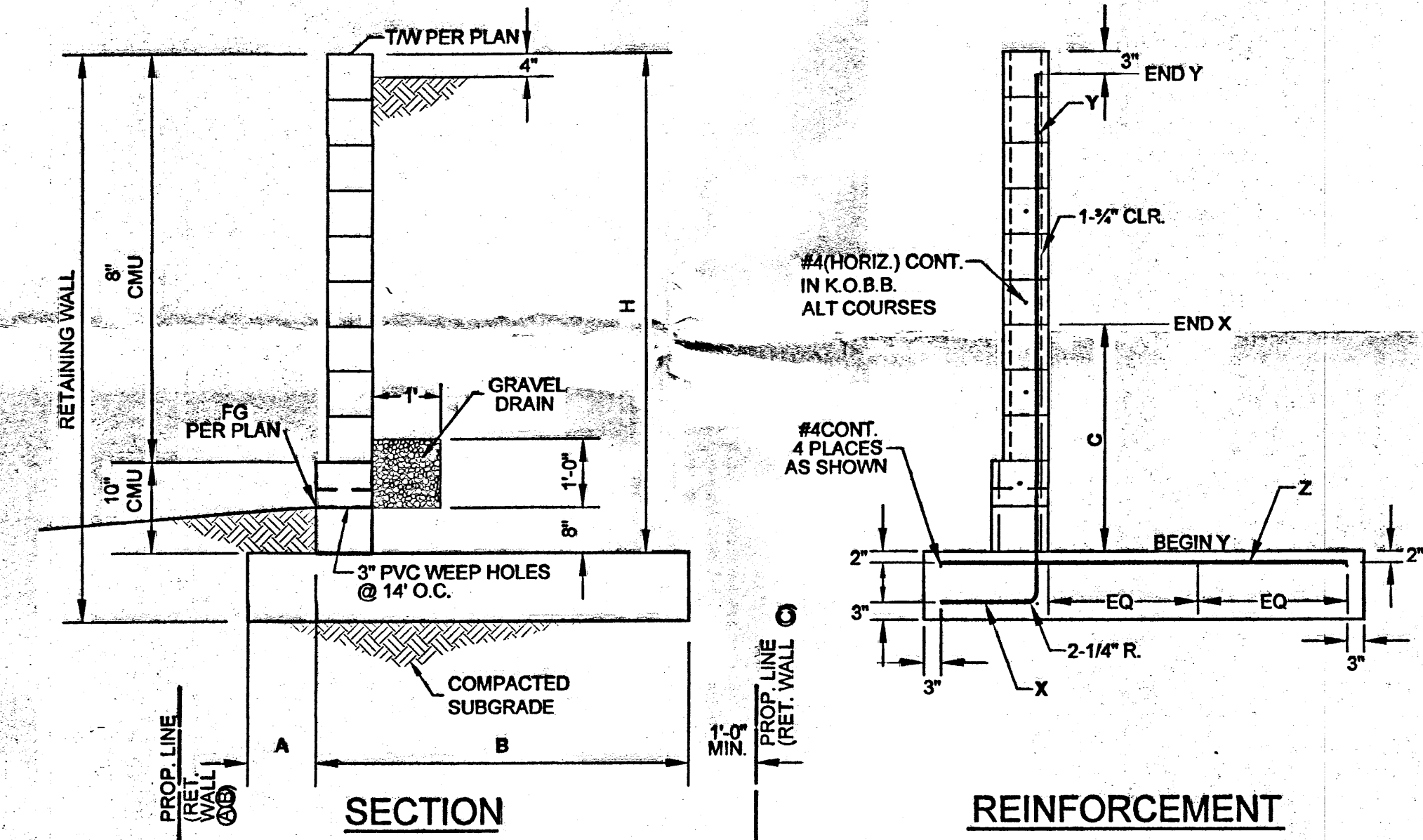


HC SIGN ASSEMBLY / BOLLARD DETAIL F
NTS C-2.0

6' HIGH REFUSE ENCLOSURE
REF. ARCHITECTURAL PLANS



REFUSE ENCLOSURE SLAB PLAN G
NTS C-2.0



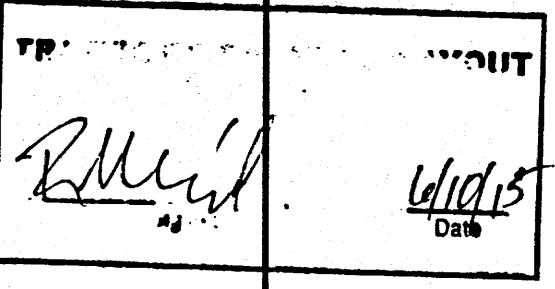
H	A	B	C	10" CMU	8" CMU	X	Y	Z
4'-8"	1'-0"	2'-5"	1'-4"	-	7 CRSSES	#5@16"	#4@16"	#4@16"
4'-0"	1'-0"	2'-0"	1'-4"	-	6 CRSSES	#4@16"	#4@16"	#4@16"
3'-4"	1'-0"	1'-8"	3'-0"	-	5 CRSSES	#4@16"	-	-
2'-8"	1'-0"	1'-8"	2'-4"	-	4 CRSSES	#4@16"	-	-
2'-0"	1'-0"	1'-8"	1'-8"	-	3 CRSSES	#4@16"	-	-

RETAINING WALL NOTES:

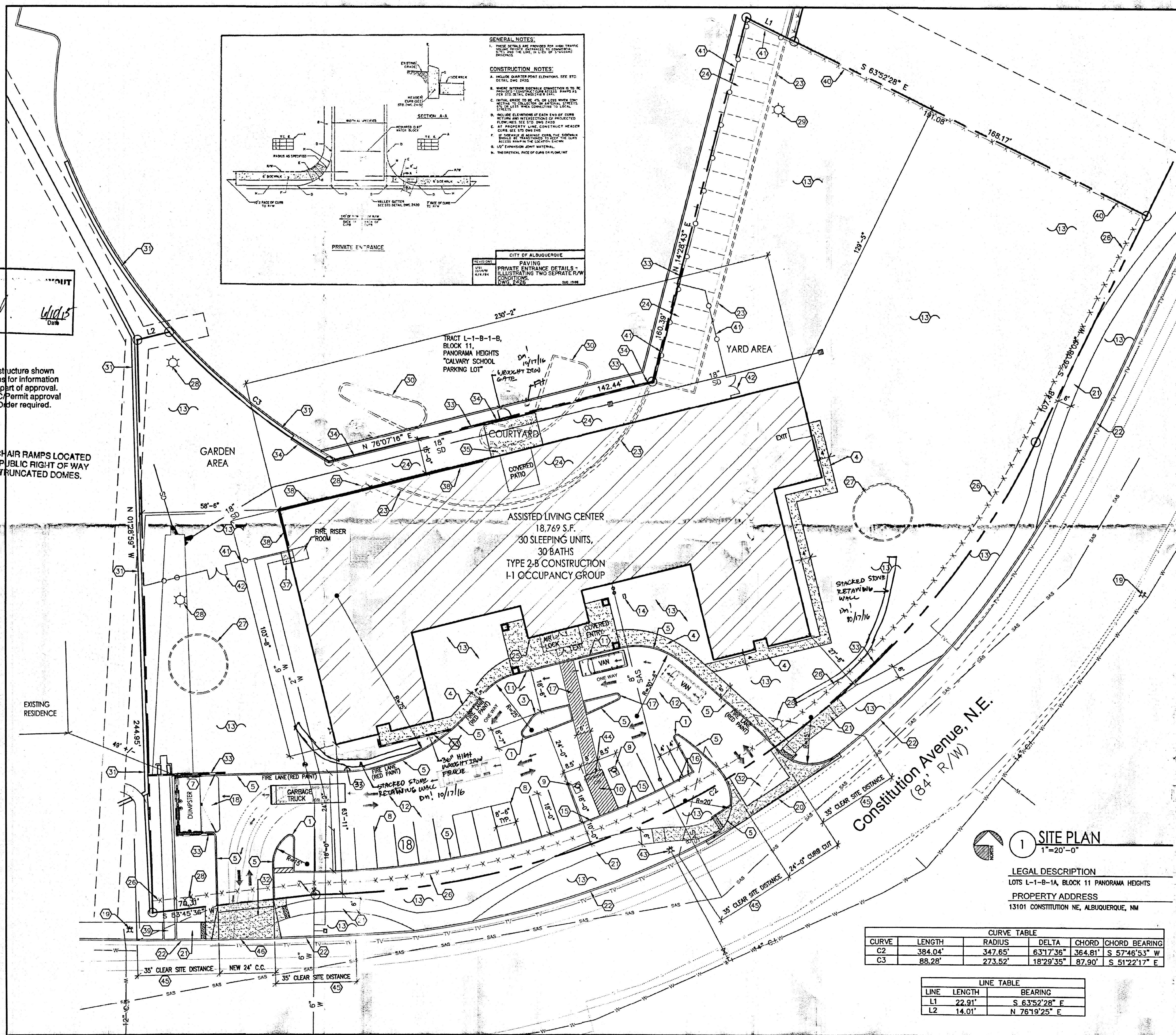
- All cells shall be completely filled with concrete.
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 γ_m =1500 pcf
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 Allowable soil bearing pressure = 1500 psf
 Acting pressure = 44 psf/ft
 Slope active pressure = 44 psf/ft
 Passive pressure = 350 psf/ft

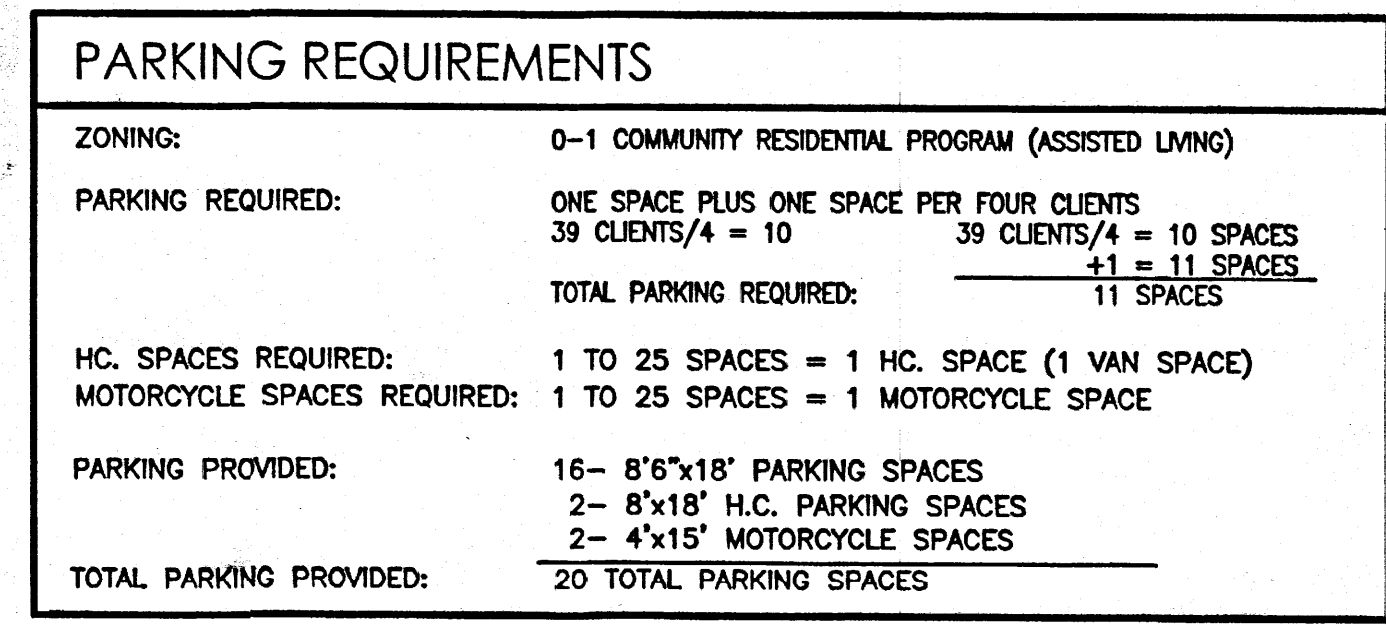
CMU RETAINING WALL DETAIL H
NTS C-2.0

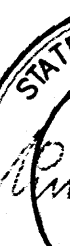



ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

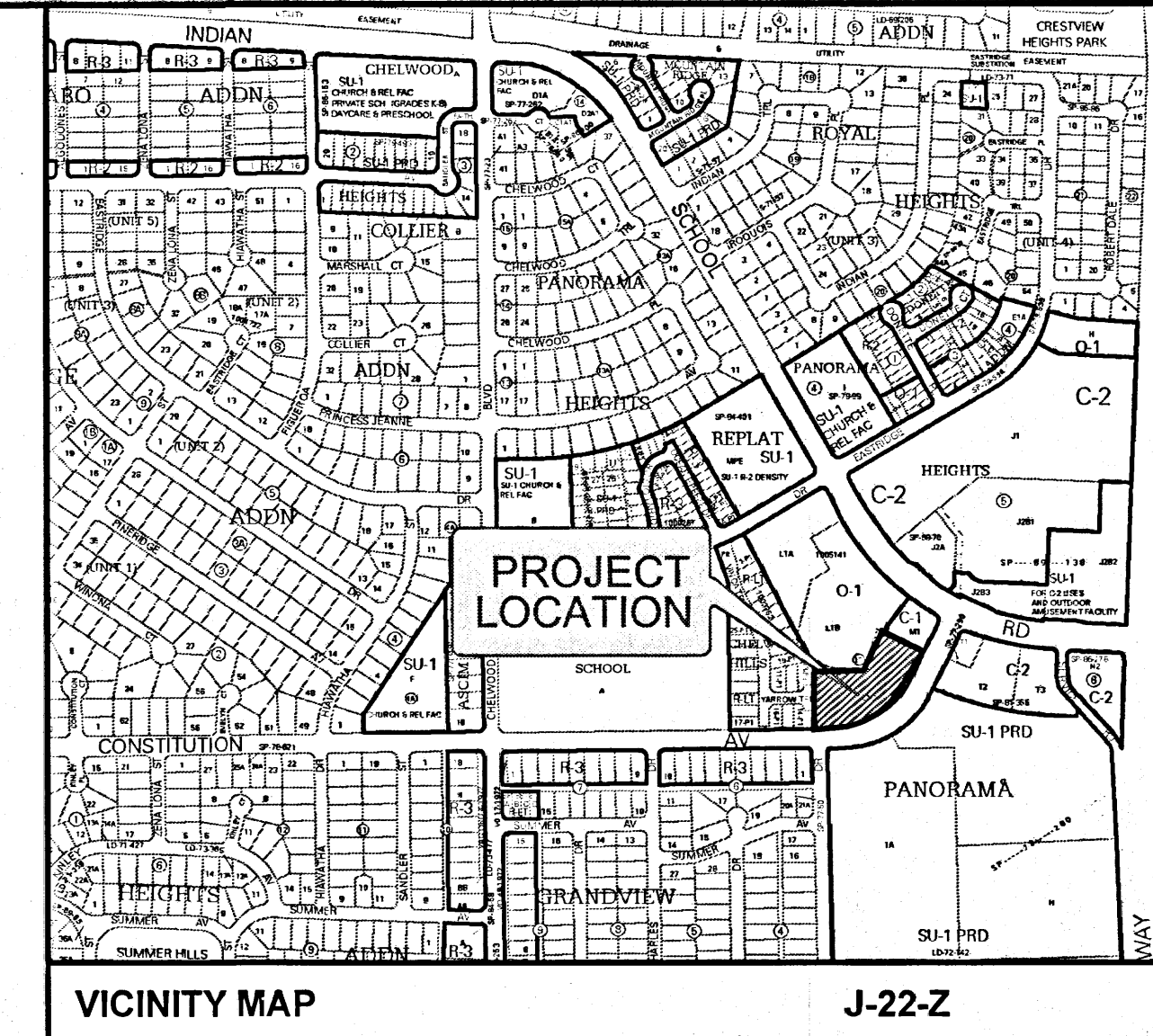
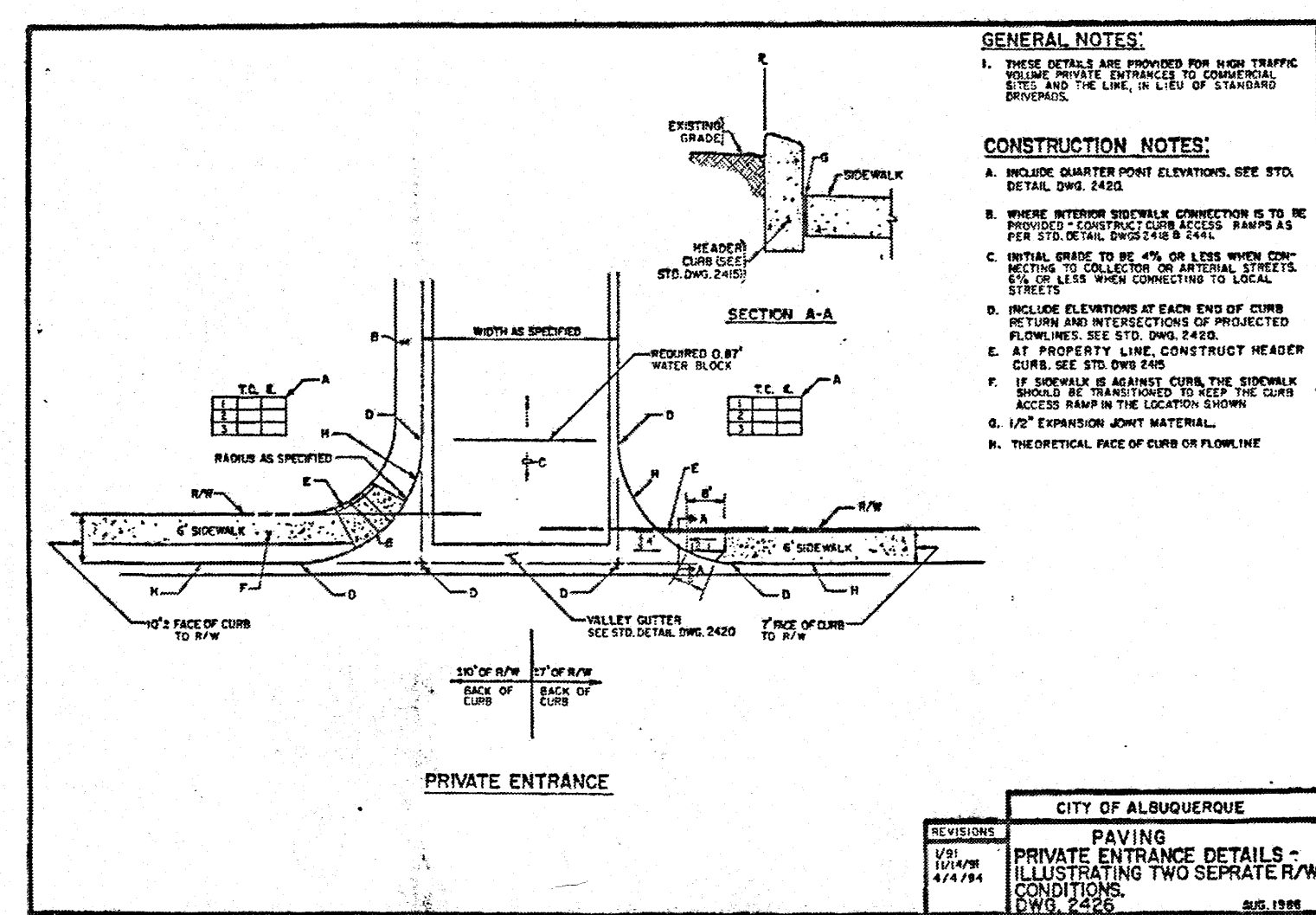


LINE TABLE		
LINE	LENGTH	BEARING
L1	22.91'	S 63°52'28" E
L2	14.01'	N 76°19'25" E



- | | |
|--|--|
| BELLA VISTA ASSISTED LIVING
PROPOSED SITE PLAN
ALBUQUERQUE, NM
PROJECT #1410 | |
| REVISION DATE
06/5/2015 | |
|  | |
| <div style="display: flex; justify-content: space-between;"> <div style="width: 30%;"> <p>RBA
 REGISTERED
 ARCHITECT</p> </div> <div style="width: 40%; text-align: center;"> <p>PLANNING
 &
 DESIGN</p> </div> <div style="width: 30%; text-align: right;"> <p>1102 Ketter Ave. Ste. 81103
 Albuquerque, NM 87109
 P: 505-262-1000 F: 505-262-1400
 www.rbaa.com</p> </div> </div> | |
|  | |
| DATE
05-15-2015 | |
| SHEET NUMBER
CA-1.0 | |

ALL WHEEL CHAIRS LOCATED
WITHIN THE
MUST HAVE A CHAIR

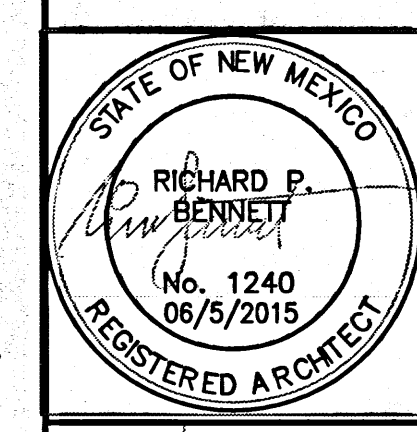


PARKING REQUIREMENTS	
ZONING:	0-1 COMMUNITY RESIDENTIAL PROGRAM (ASSISTED LIVING)
PARKING REQUIRED:	ONE SPACE PLUS ONE SPACE PER FOUR CLIENTS 39 CLIENTS/4 = 10 39 CLIENTS/4 = 10 SPACES <div style="text-align: right;"><u> +1 = 11 SPACES</u></div> TOTAL PARKING REQUIRED: 11 SPACES
HC. SPACES REQUIRED:	1 TO 25 SPACES = 1 HC. SPACE (1 VAN SPACE)
MOTORCYCLE SPACES REQUIRED:	1 TO 25 SPACES = 1 MOTORCYCLE SPACE
PARKING PROVIDED:	16- 8'0"x18' PARKING SPACES 2- 8'x18' H.C. PARKING SPACES 2- 4'x15' MOTORCYCLE SPACES
TOTAL PARKING PROVIDED:	<u>20 TOTAL PARKING SPACES</u>

- KEYED NOTES
1. 2'-0" RADIUS.
 2. 5'-0" RADIUS.
 3. 7'-0" RADIUS.
 4. CONCRETE SIDEWALK, SLOPE SIDEWALK 1/4"/FT. AWAY FROM BUILDING.
 5. 6' RAISED CONCRETE CURB, REF: GRADING AND DRAINAGE PLAN.
 6. 6' ASPHALT CURB.
 7. DUMPFSTER ENCLOSURE WITH GATES, REF: CA-2.0 FOR DETAILS, NOTE: G.C. TO PROVIDE DRAIN, REF: PLUMBING PLANS.
 8. 2" WIDE PAINTED PARKING STRIPE PER CITY OF ALBUQUERQUE STANDARDS, REF: CA-2.0 FOR DETAILS.
 9. HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, REF: CA-2.0 FOR DETAILS. HANDICAP ACCESSIBLE ASLE PER CITY OF ALBUQUERQUE STANDARDS, REF: CA-2.0 FOR DETAIL.
 10. TURNDOWN SIDEWALK, NO CURB, TOP OF CURB/SIDEWALK AND ASPHALT PAVING TO BE FLUSH, REF: GRADING AND DRAINAGE PLAN.
 12. ASPHALT PAVING.
 13. EXISTING LANDSCAPING TO REMAIN, REMOVE ANY DEAD L.S. AS REQUIRED, REF: NEW LANDSCAPING PLAN.
 14. BIKE RACK, REF: CA-2.0 FOR DETAIL.
 15. HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: CA-2.0 FOR DETAILS.
 16. MOTORCYCLE PARKING SIGNAGE PER CITY REQUIREMENTS.
 17. 6' WIDE ADA ACCESSIBLE PEDESTRIAN PATH-WAY.
 18. CONCRETE SLAB AND APRON AT DUMPFSTER ENCLOSURE, REF: CA-2.0.
 19. EXISTING FIRE HYDRANT.
 20. SAW CUT CURB AND GUTTER AND REMOVE FOR NEW CURB CUT AND DRIVE PAD, BUILD NEW DRIVE PAD PER C.O.A. STANDARD DRAWING 2426, REF: GRADING AND DRAINAGE PLANS. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
 21. EXISTING CONCRETE SIDEWALK TO REMAIN.
 22. EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
 23. REMOVE EXISTING CONCRETE CURB AND GUTTER SHOWN DASHED.
 24. REMOVE EXISTING ASPHALT PAVING AND PAVING, REMOVE EXISTING ASPHALT PAVING AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS INTO BUILDING AND FIRE RISER ROOM, MOUNT BOX 5'-0" HIGH A.F.F.
 26. EXISTING CHAIN LINK FENCE TO BE REMOVED AT END OF PROJECT.
 27. REMOVE EXISTING TREE WELLS.
 28. EXISTING LIGHT POLE AND CONCRETE BASE TO BE REMOVED.
 29. EXIST. LIGHT POLE W/ CONC. BASE AND CAMERA TO BE REMOVED
 30. REMOVE EXIST. RAISED CONCRETE CURB ISLAND, PATCH IN AREA WITH NEW ASPHALT PAVING, REF: GRADING AND DRAINAGE PLAN.
 32. CONCRETE RETAINING WALL TO REMAIN.
 33. REMOVE PART OF EXIST. SIDEWALK SHOWN DASHED.
 35. 8' WIDE NEW CONCRETE RETAINING WALL BY SEPARATE BUILDING PERMIT, REF: GRADING AND DRAINAGE PLAN.
 36. 8' HIGH 8" RIGID CURB TO BE BUILT ON CONCRETE RETAINING WALL. EXTEND CMU WALL TO EXIST. WEST CONCRETE RETAINING WALL.
 35. 3000 PSI 4" THICK CONCRETE SLAB AT PATIO WITH W.W.M. OVER COMPACTED FILL.
 36. 6' RAISED CONCRETE CURB, REF: GRADING AND DRAINAGE PLAN.
 37. 3000 PSI 4" THICK CONCRETE STOOP, TYP.
 38. BUILDING CONCRETE RETAINING WALL, REF: FOUNDATION PLAN AND DETAILS.
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 40. EXIST. 6' HIGH WROUGHT IRON FENCE.
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 45. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENT. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AT MEASURED FROM THE GUTTER WILL NOT BE ACCEPTABLE IN THIS AREA. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
 46. SAW CUT CURB AND GUTTER AND REMOVE FOR NEW CURB CUT AND DRIVE PAD, BUILD NEW DRIVE PAD PER C.O.A. STANDARD DRAWING 2426, REF: GRADING AND DRAINAGE PLANS. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
 47. 24" TRUNCATED DOMES, REF: GRADING AND DRAINAGE PLANS.

BELLA VISTA ASSISTED LIVING
PROPOSED SITE PLAN
ALBUQUERQUE, NM
PROJECT #1410

REVISION DATE
06/5/2015



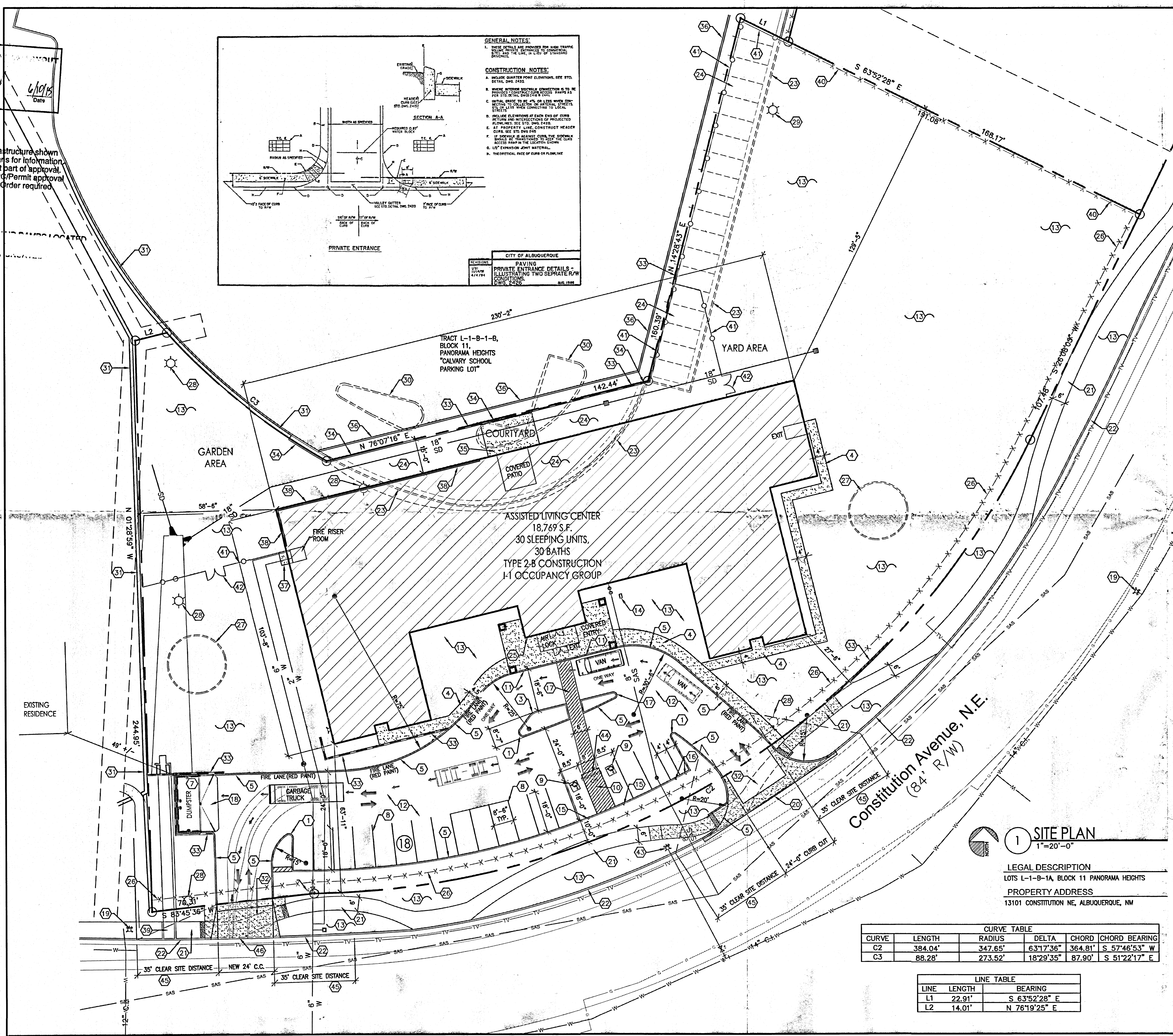
RBA
ARCHITECTURE
PLANNING
DESIGN

1105 PINE AVE. SW
ALBUQUERQUE, NM 87102
1 (505) 242-1891 / (505) 242-6490
www.rba1.com

DATE
05-15-2015

SHEET NUMBER

CA-1.0



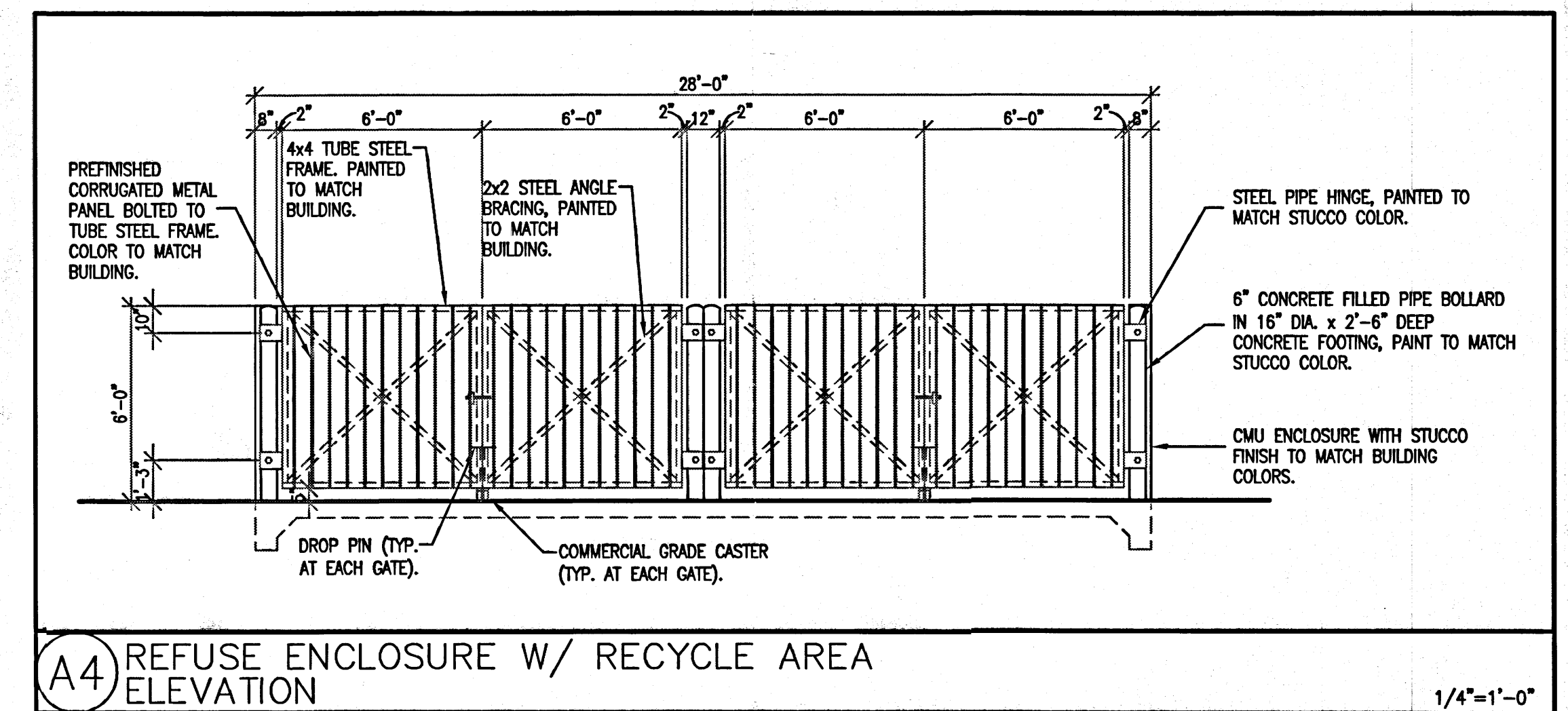
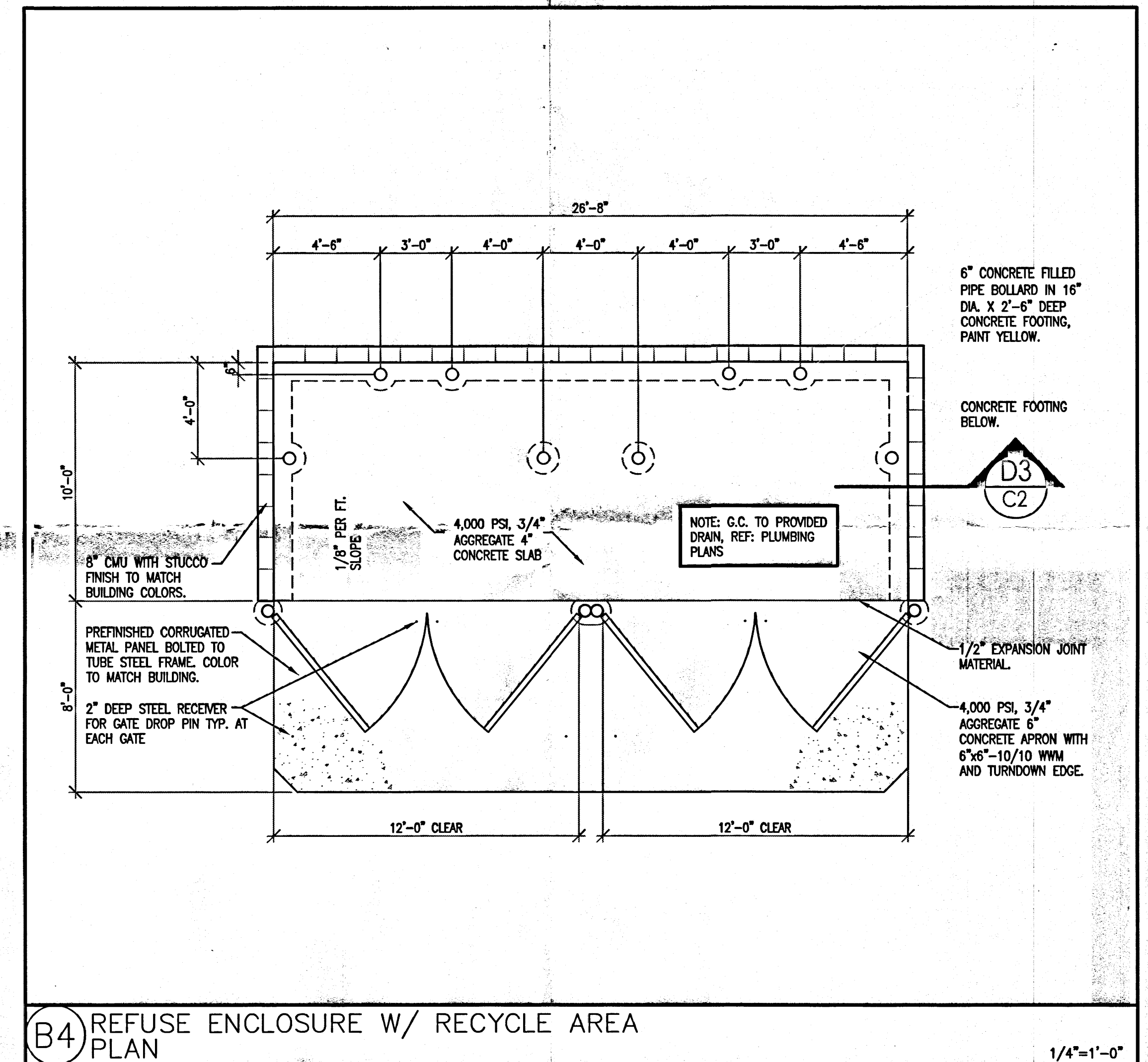
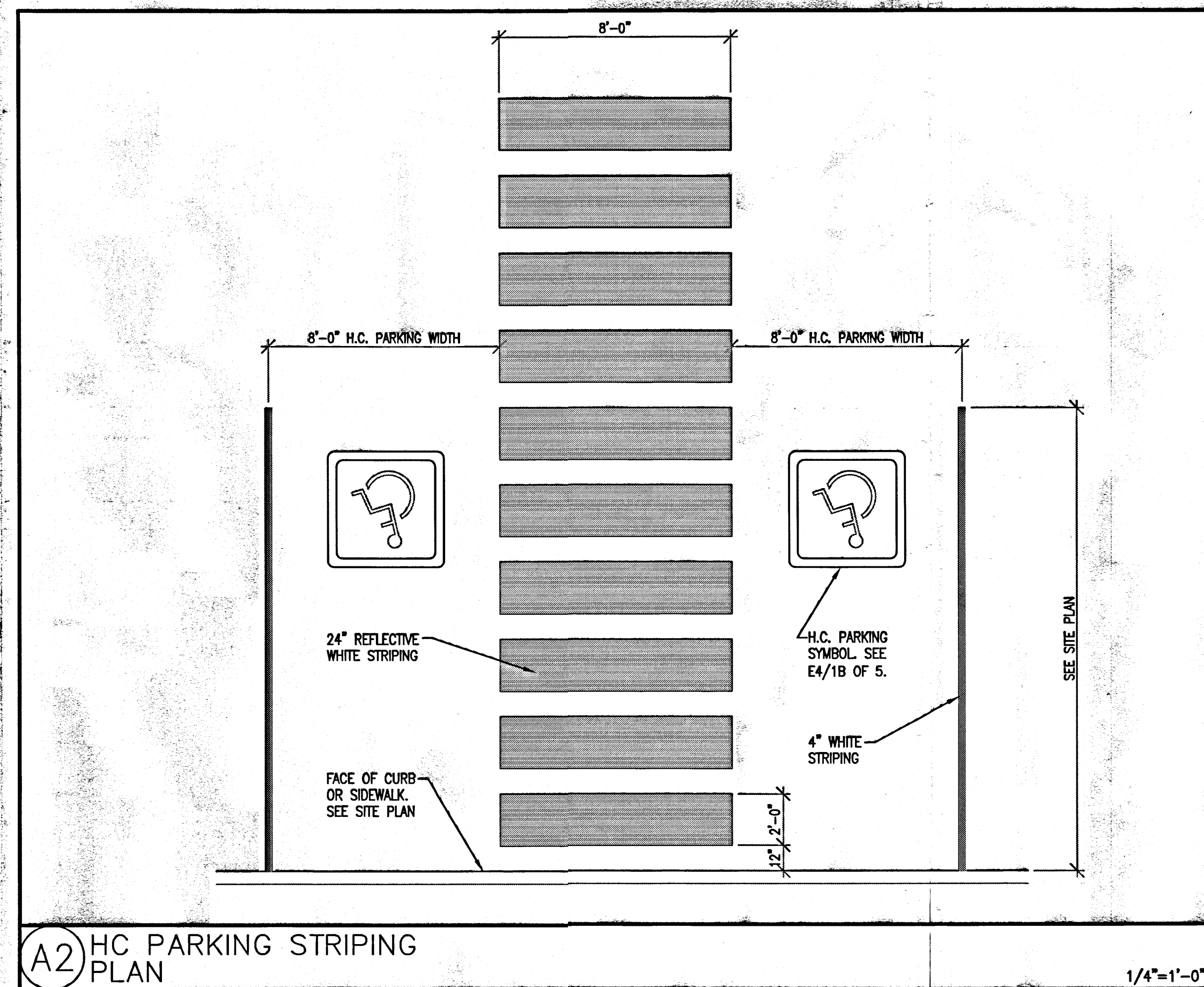
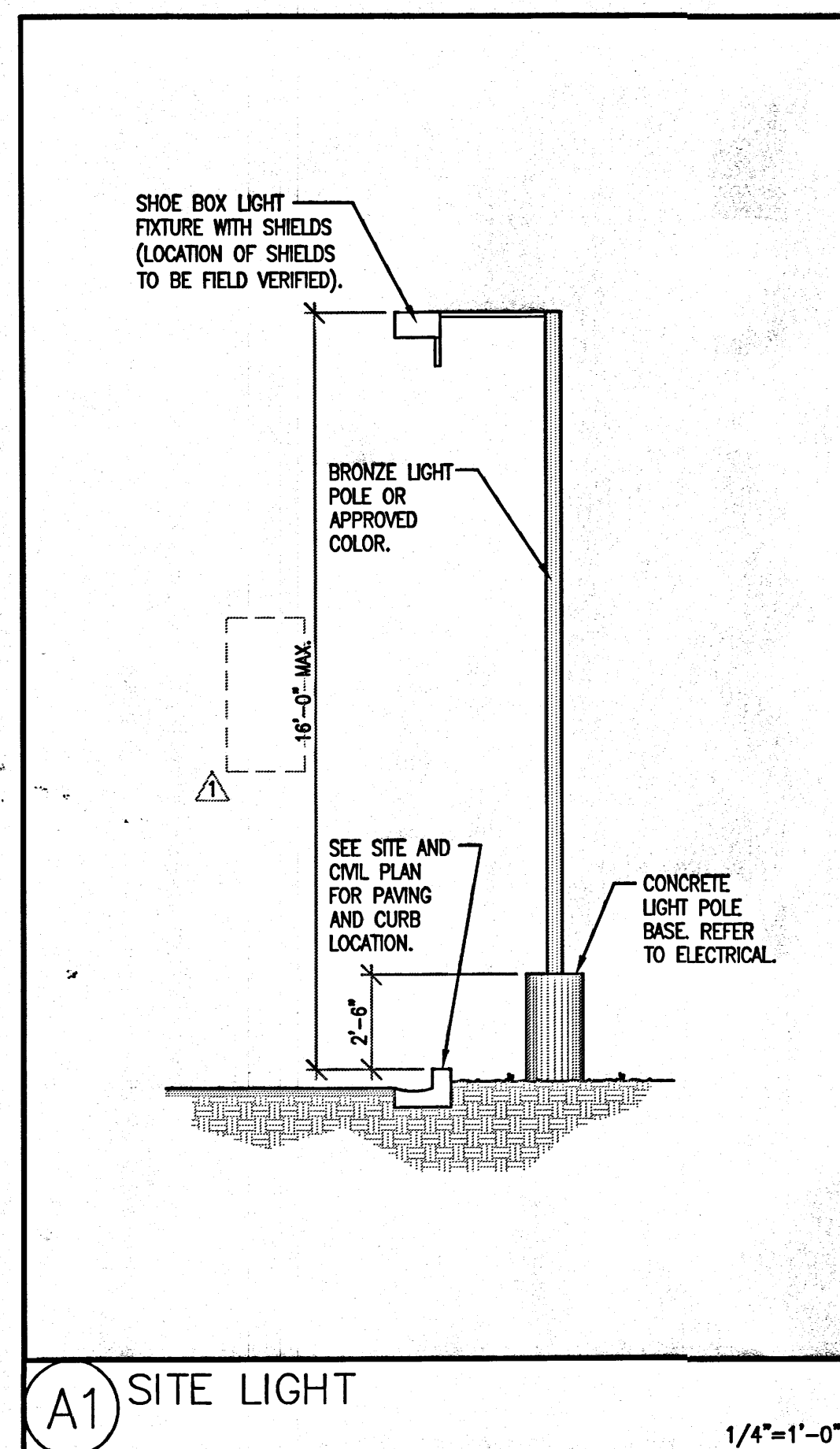
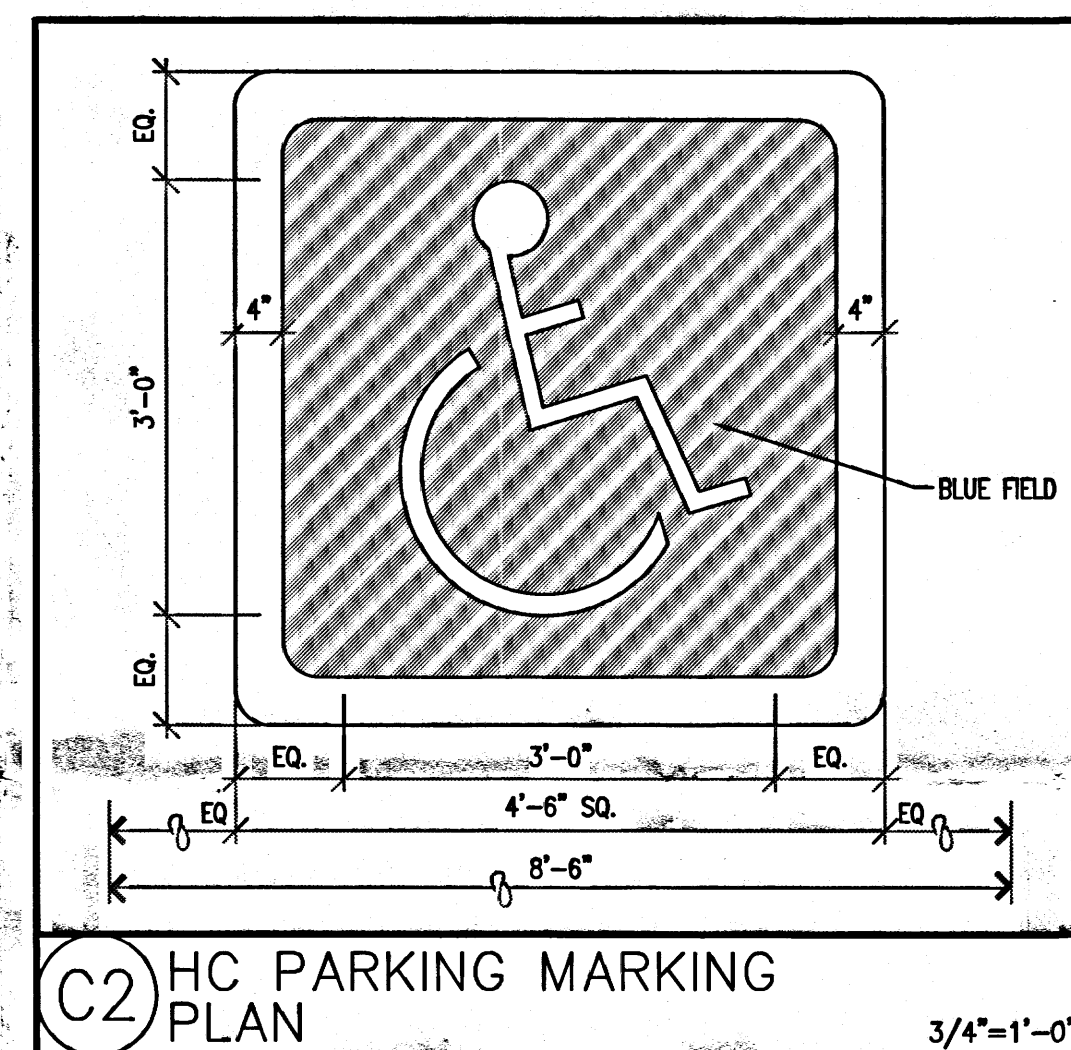
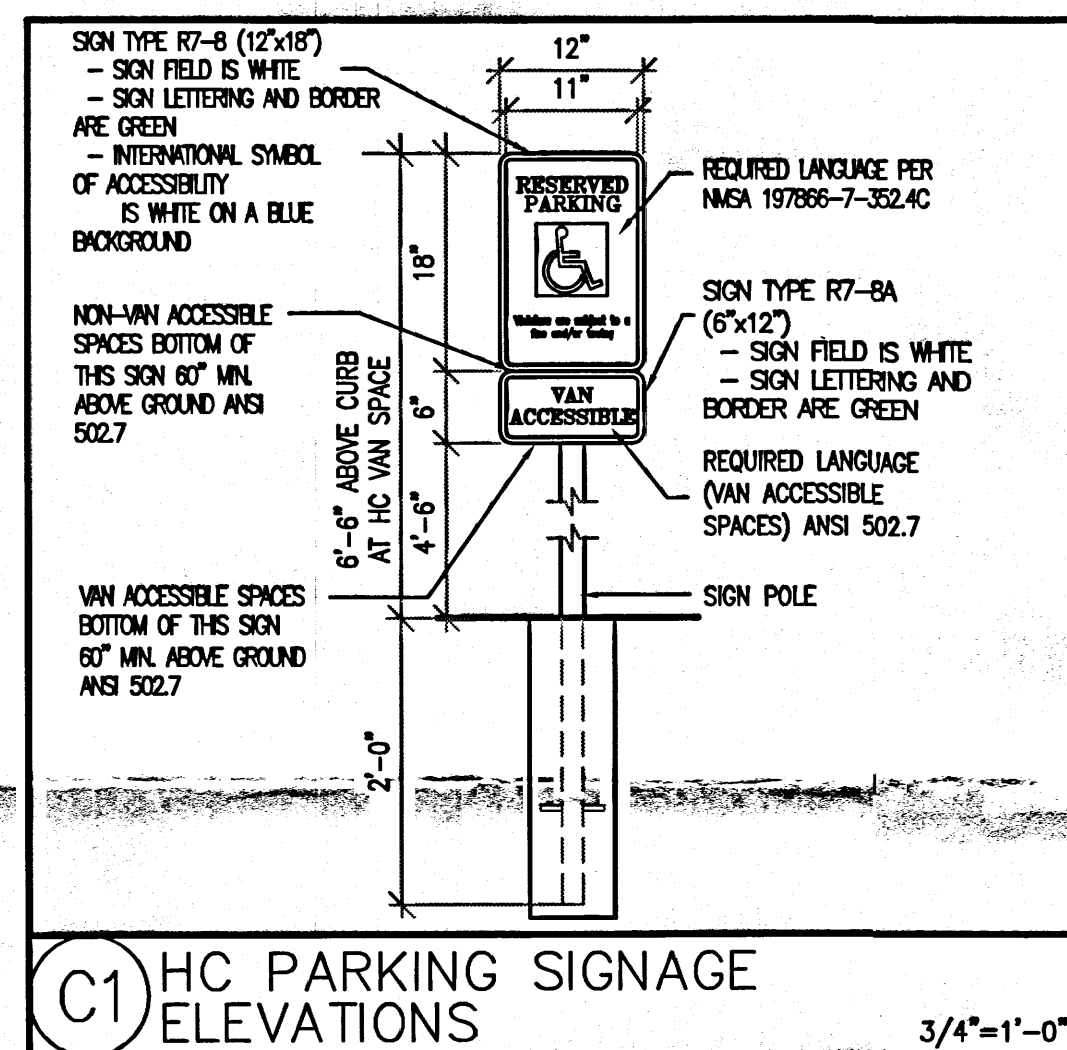
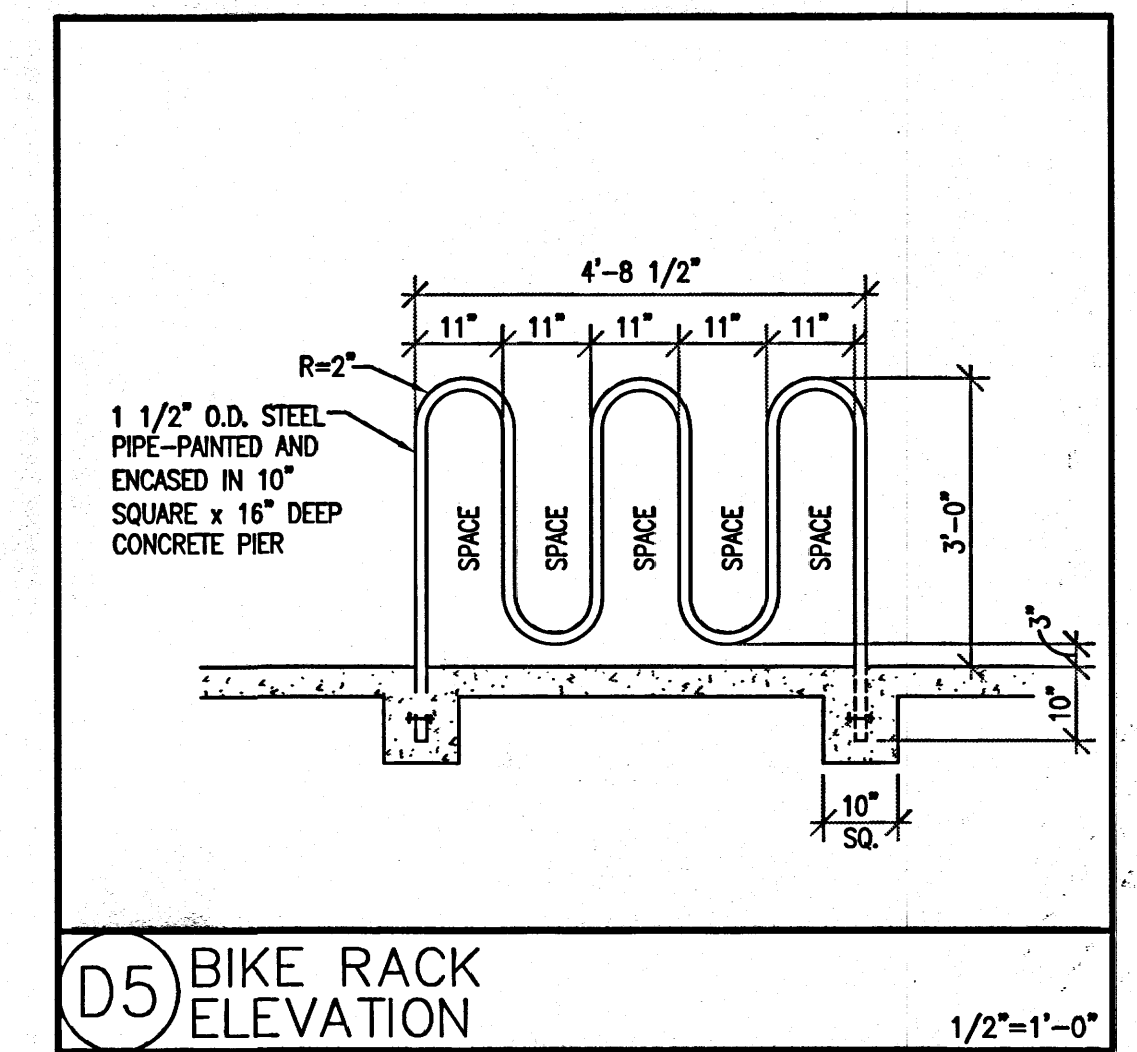
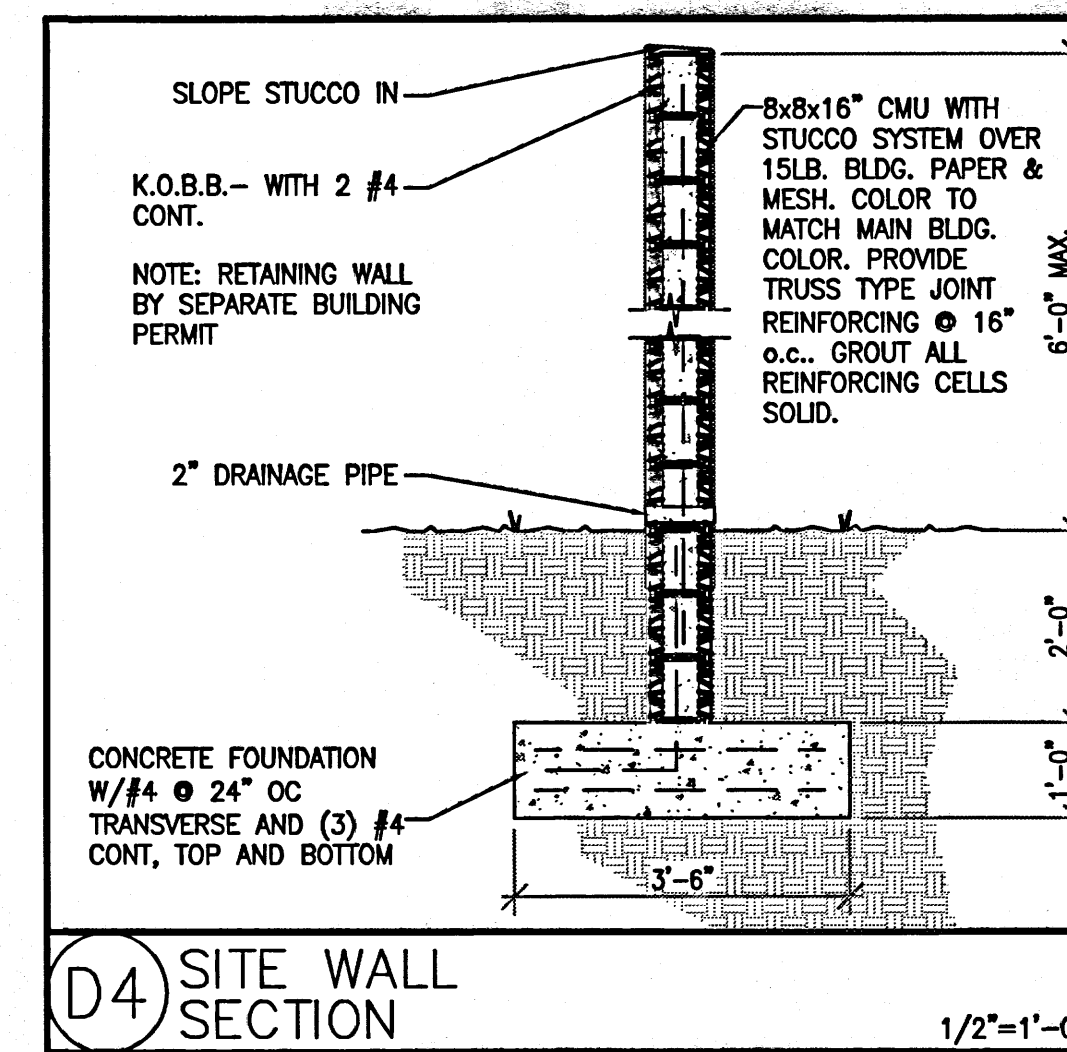
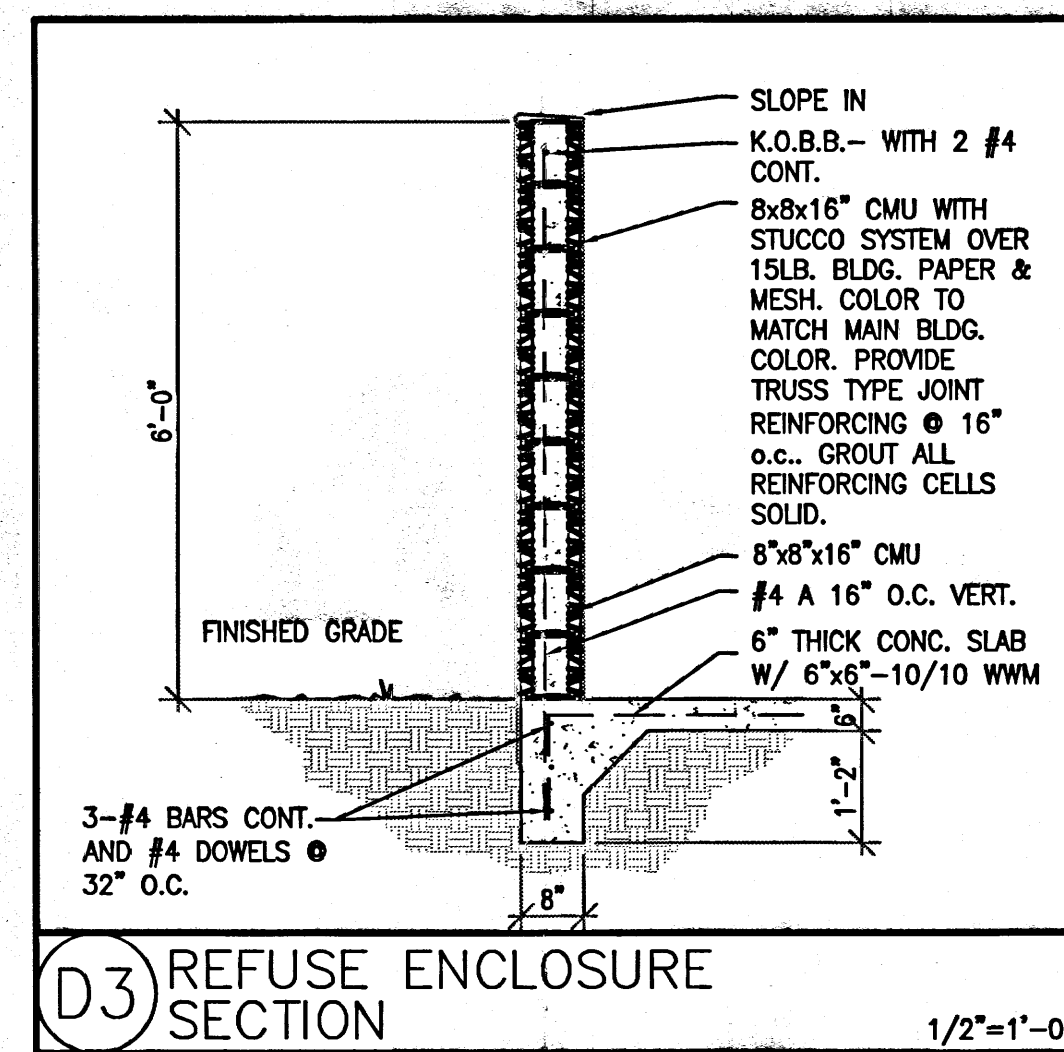
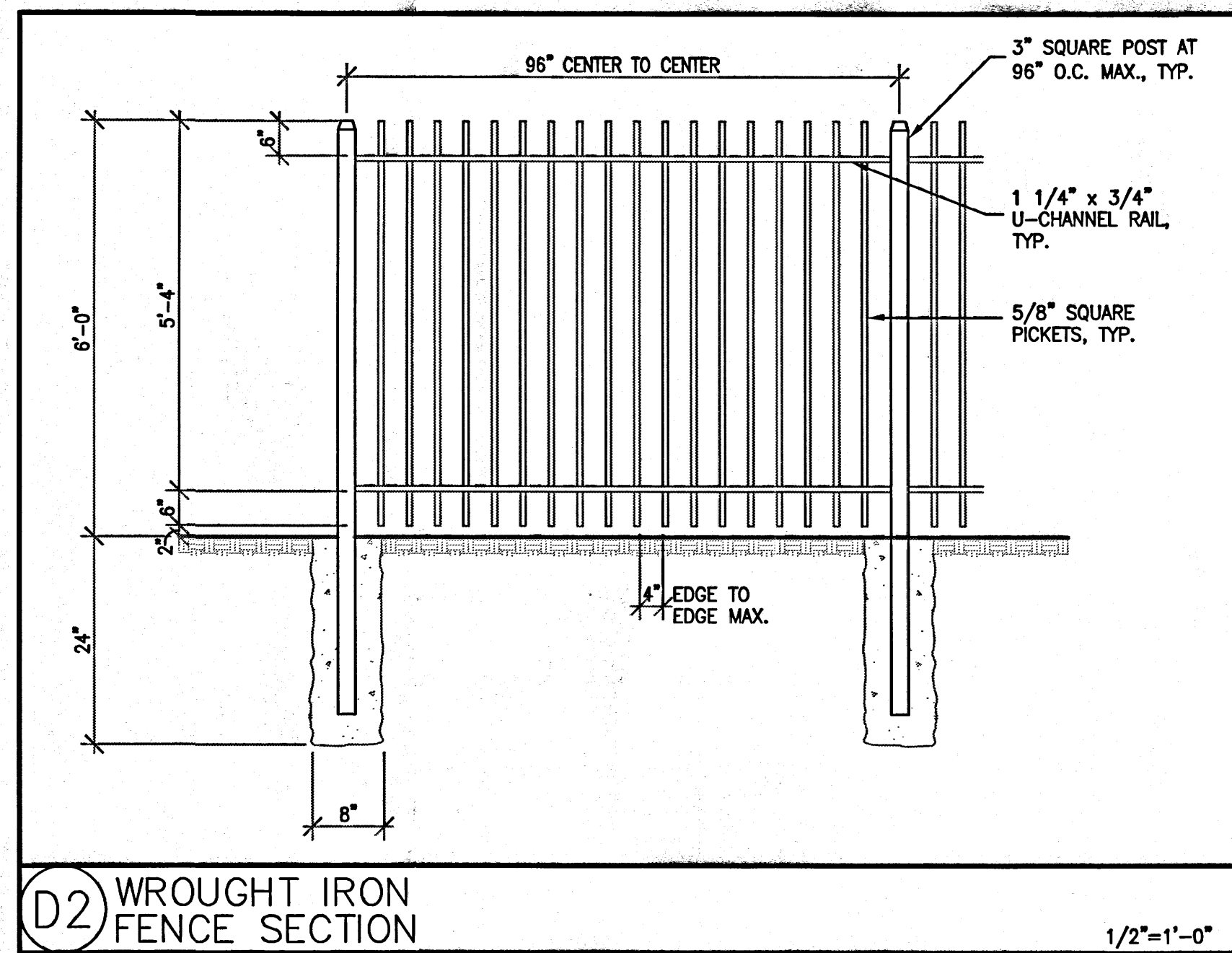
CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C2	384.04'	347.65'	63°17'36"	364.81'	S 57°46'53" W
C3	88.28'	273.52'	18°29'35"	87.90'	S 51°22'17" E

LINE TABLE		
LINE	LENGTH	BEARING
L1	22.91'	S 63°52'28" E
L2	14.01'	N 76°19'25" E

DATE _____

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRG/Permit approval and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

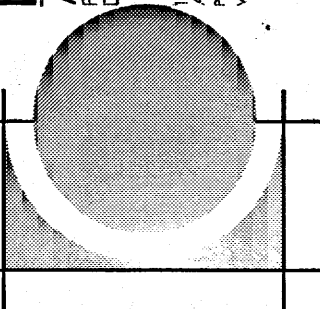


BELLA VISTA ASSISTED LIVING
SITE DETAILS
ALBUQUERQUE, NM
PROJECT #1410

REVISION DATE
06/3/2015

STATE OF NEW MEXICO
RICHARD P. BENNETT
No. 1240
06/3/2015
REGISTERED ARCHITECT

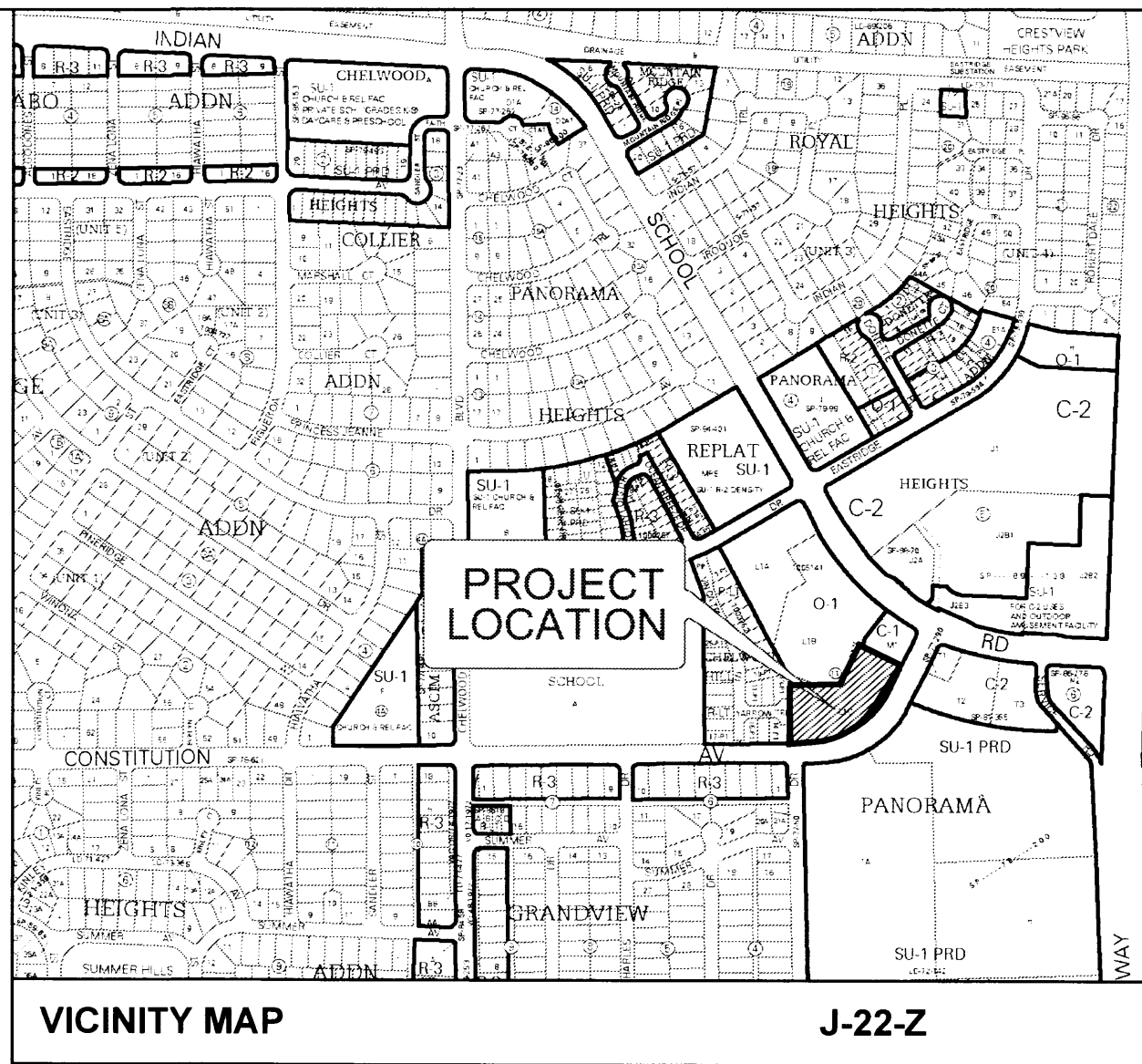
RBA ARCHITECTURE, PC
ARCHITECTURE
PLANNING
DESIGN
1240 Park Ave. SW
Albuquerque, NM 87102
505.243.1100
www.rbaarch.com



DATE
05-15-2015

SHEET NUMBER

CA-2.00



PARKING REQUIREMENTS

ZONING:	0-1 COMMUNITY RESIDENTIAL PROGRAM (ASSISTED LIVING)								
PARKING REQUIRED:	<table> <tr> <td>ONE SPACE PLUS ONE SPACE PER FOUR CLIENTS</td> <td></td> </tr> <tr> <td>39 CLIENTS/4 = 10</td> <td>39 CLIENTS/4 = 10 SPACES</td> </tr> <tr> <td></td> <td>+1 = 11 SPACES</td> </tr> <tr> <td>TOTAL PARKING REQUIRED:</td> <td>11 SPACES</td> </tr> </table>	ONE SPACE PLUS ONE SPACE PER FOUR CLIENTS		39 CLIENTS/4 = 10	39 CLIENTS/4 = 10 SPACES		+1 = 11 SPACES	TOTAL PARKING REQUIRED:	11 SPACES
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TOTAL PARKING REQUIRED:	11 SPACES								
HC. SPACES REQUIRED:	1 TO 25 SPACES = 1 HC. SPACE (1 VAN SPACE)								
MOTORCYCLE SPACES REQUIRED:	1 TO 25 SPACES = 1 MOTORCYCLE SPACE								
PARKING PROVIDED:	<table> <tr> <td>16- 8'6"x18' PARKING SPACES</td> <td></td> </tr> <tr> <td>2- 8'x18' H.C. PARKING SPACES</td> <td></td> </tr> <tr> <td>2- 4'x15' MOTORCYCLE SPACES</td> <td></td> </tr> <tr> <td>TOTAL PARKING PROVIDED:</td> <td>20 TOTAL PARKING SPACES</td> </tr> </table>	16- 8'6"x18' PARKING SPACES		2- 8'x18' H.C. PARKING SPACES		2- 4'x15' MOTORCYCLE SPACES		TOTAL PARKING PROVIDED:	20 TOTAL PARKING SPACES
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KEYED NOTES

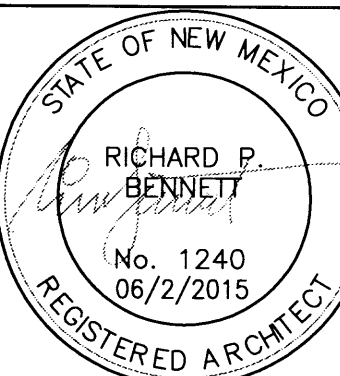
2. 2'-0" RADIUS.
3. 5'-0" RADIUS.
3. 7'-0" RADIUS.
4. CONCRETE SIDEWALK, SLOPE SIDEWALK 1/4"/FT. AWAY FROM BUILDING.
5. RAISED CONCRETE CURB, REF: GRADING AND DRAINAGE PLAN.
6. GRAVEL ASPHALT CURB.
7. DUMPSTER ENCLOSURE WITH GATES, REF: CA-2.0 FOR DETAILS, NOTE: G.C. TO PROVIDE DRAIN, REF: PLUMBING PLANS.
8. 2" WIDE PAINTED PARKING STRIPE PER CITY OF ALBUQUERQUE STANDARDS, REF: CA-2.0 FOR DETAILS.
9. HANDCAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, REF: CA-2.0 FOR DETAILS.
10. HANDICAP ACCESSIBLE ASILE PER CITY OF ALBUQUERQUE STANDARDS, REF: CA-2.0 FOR DETAIL.
11. TURNDOWN SIDEWALK, NO CURB, TOP OF CURB/SIDEWALK AND ASPHALT PAVING TO BE FLUSH, REF: GRADING AND DRAINAGE PLAN.
12. ASPHALT PAVING.
13. EXISTING LANDSCAPING TO REMAIN, REMOVE ANY DEAD L.S. AS REQUIRED, REF: NEW LANDSCAPING PLAN.
14. BIKE RACK, REF: CA-2.0 FOR DETAIL.
15. HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: CA-2.0 FOR DETAILS.
16. MOTORCYCLE PARKING SIGNAGE PER CITY REQUIREMENTS.
17. 6" WIDE ADA ACCESSIBLE PEDESTRIAN PATH-WAY.
18. CONCRETE SLAB AND APRON AT DUMPSTER ENCLOSURE, REF: CA-2.0.
19. EXISTING FIRE HYDRANT.
20. SAW CUT CURB AND GUTTER AND REMOVE FOR NEW CURB CUT AND DRIVE PAD, BUILD NEW DRIVE PAD PER C.O.A. STANDARD DRAWING 2426, REF: GRADING AND DRAINAGE PLANS. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
21. EXISTING CONCRETE SIDEWALK TO REMAIN.
22. EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
23. REMOVE EXISTING CONCRETE CURB AND GUTTER SHOWN DASHED.
24. REMOVE EXISTING ASPHALT PAVING AND PARKING SPACES SHOWN DASHED.
25. G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS TO BUILDING AND FIRE RESER ROOM, MOUNT BOX 5'-0" HIGH A.F.F.
26. EXISTING CHAIN LINK FENCE TO BE REMOVED AT END OF PROJECT.
27. REMOVE EXISTING TREE WELLS.
28. EXISTING LIGHT POLE AND CONCRETE BASE TO BE REMOVED.
29. EXIST. LIGHT POLE W/ CONC. BASE AND CAMERA TO BE REMOVED
30. REMOVE EXIST. RAISED CONCRETE CURB ISLAND, PATCH IN AREA WITH NEW ASPHALT PAVING.
31. EXIST. CONCRETE RETAINING WALL TO REMAIN.
32. REMOVE PART OF EXIST. SIDEWALK SHOWN DASHED.
33. 8" WIDE NEW CONCRETE RETAINING WALL BY SEPARATE BUILDING PERMIT, REF: GRADING AND DRAINAGE PLAN.
34. NEW 6' HIGH CMU WALL TO BE BUILT ON CONCRETE RETAINING WALL, EXTEND CMU WALL TO EXIST. WEST CONCRETE RETAINING WALL.
35. 3000 PSI 4" THICK CONCRETE SLAB AT PATIO WITH W.W.M. OVER COMPACTED FILL.
36. RAISED CONCRETE CURB, REF: GRADING AND DRAINAGE PLAN.
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RBA
ARCHITECTURE
PLANNING
DESIGN

DATE
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SHEET NUMBER

CA-1.0

