

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

June 10, 2015

Rick Bennett
RBA Architecture
1104 Park Ave
Albuquerque, NM

**Re: Bella Vista Assisted Living
13101 Constitution NE
Traffic Circulation Layout**
Engineer's/Architect's Stamp dated: 6-5-15 C-1.0 (J22-D067)
6-3-15 C-2.0 (J22-D067)

Dear Mr. Bennett,

PO Box 1293

The TCL submittal received 6-4-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

Albuquerque

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

New Mexico 87103

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

PROJECT TITLE: BELLA VISTA ASSISTED LIVING ZONE MAP: J-22-2
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: 13101 CONSTITUTION NE ALB, NM

ENGINEERING FIRM: LORENZ DESIGN & CONSULTING CONTACT: DENNIS LORENZ
ADDRESS: 2501 RIO GRANDE BLVD NW PHONE: 505-888-6088
CITY, STATE: ALB, NM ZIP CODE: 87104
EMAIL: _____

OWNER: 13101 CONSTITUTION, LLC CONTACT: PHIL CASAS
ADDRESS: 134 RIO RANCHO BLVD PHONE: 505-892-6163
CITY, STATE: RIO RANCHO, NM ZIP CODE: 87124

ARCHITECT: RBA ARCHITECTURE CONTACT: RICK BENNETT
ADDRESS: 1104 PARK AVE PHONE: 242-1859
CITY, STATE: ALB, NM ZIP CODE: 87102
EMAIL: rick@rba81.com

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: CONSTRUCTION SW CONTACT: BILL SMITH
ADDRESS: 9798 COORS BLVD NW "BLDG" PHONE: 505-891-3695
CITY, STATE: ALB, NM SUITE 205 ZIP CODE: 87114

TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
<input type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/> DRAINAGE PLAN 1 st SUBMITTAL	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/> CONCEPTUAL G & D PLAN	<input checked="" type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL
<input type="checkbox"/> GRADING PLAN	<input type="checkbox"/> SECTOR PLAN APPROVAL
<input type="checkbox"/> EROSION CONTROL PLAN	<input type="checkbox"/> FINAL PLAT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (HYDROLOGY)	<input type="checkbox"/> FOUNDATION PERMIT APPROVAL
<input type="checkbox"/> CLOMR/LOMR	<input type="checkbox"/> BUILDING PERMIT APPROVAL
<input checked="" type="checkbox"/> TRAFFIC CIRCULATION LAYOUT	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM)
<input type="checkbox"/> ENGINEER'S CERT (TCL)	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (TEMP)
<input type="checkbox"/> ENGINEER'S CERT (DRB SITE PLAN)	<input type="checkbox"/> GRADING PERMIT APPROVAL
<input type="checkbox"/> OTHER (SPECIFY)	<input type="checkbox"/> PAVING PERMIT APPROVAL
	<input type="checkbox"/> WORK ORDER APPROVAL
	<input type="checkbox"/> GRADING CERTIFICATION
	<input type="checkbox"/> OTHER (SPECIFY) SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

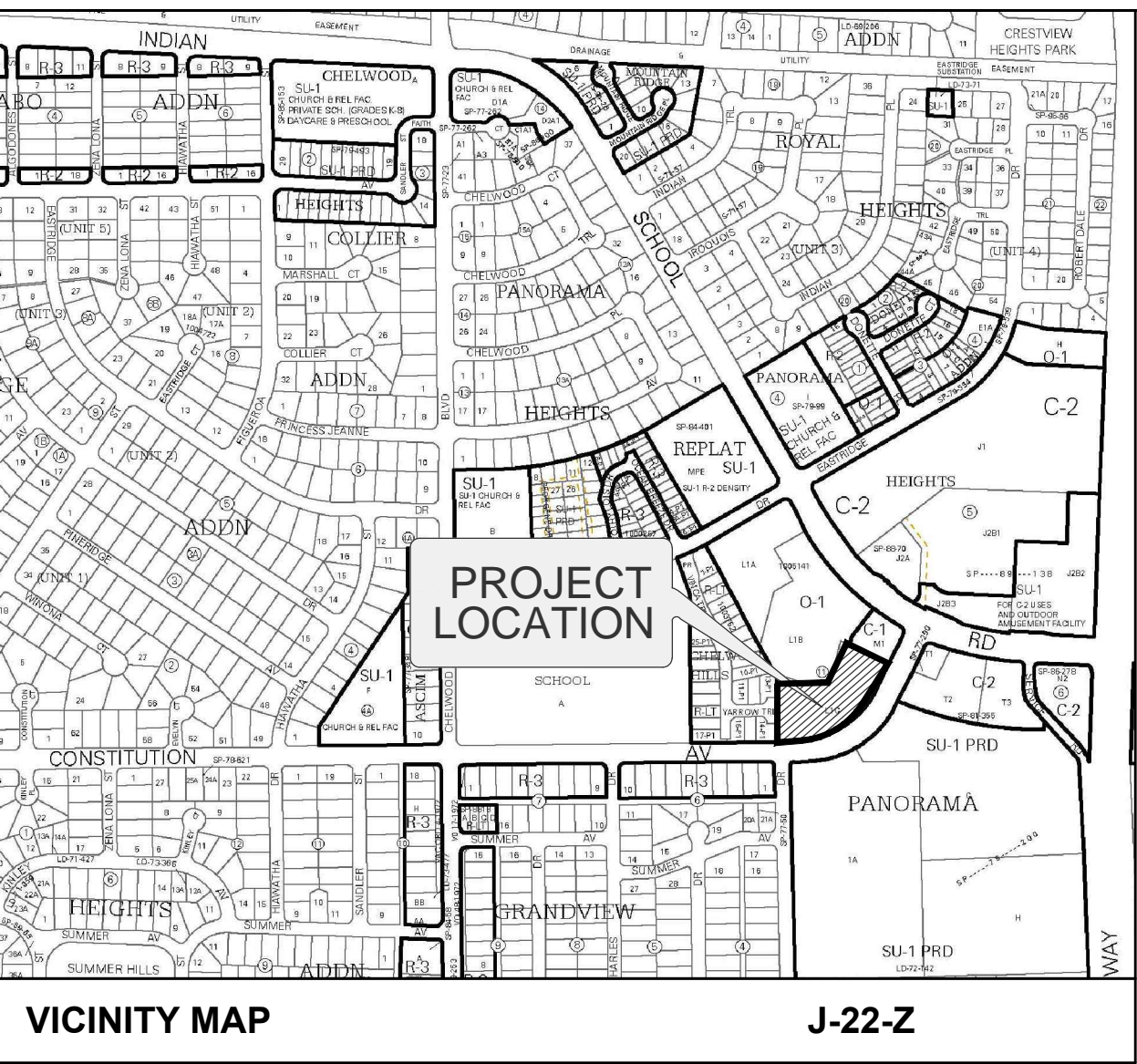
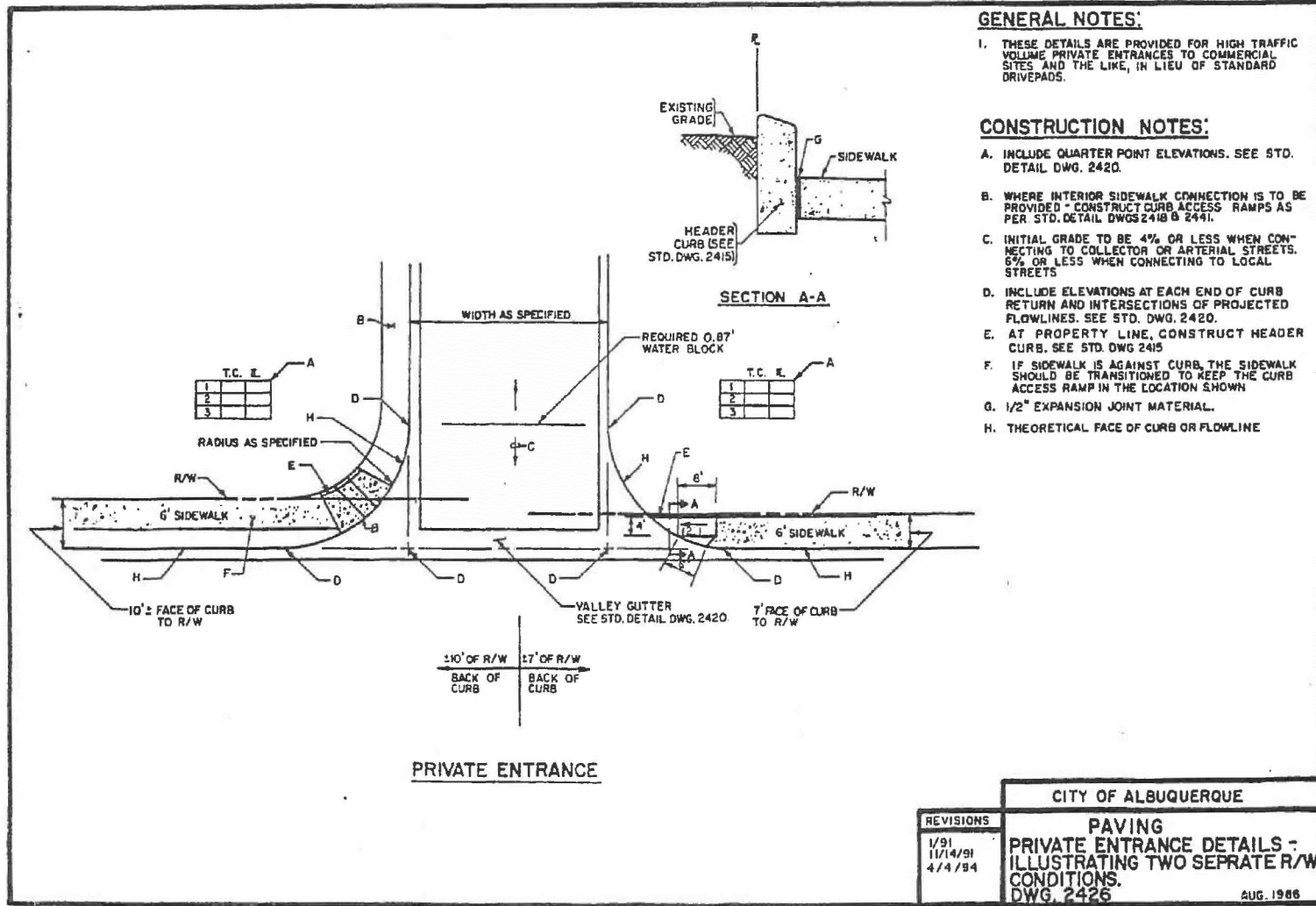
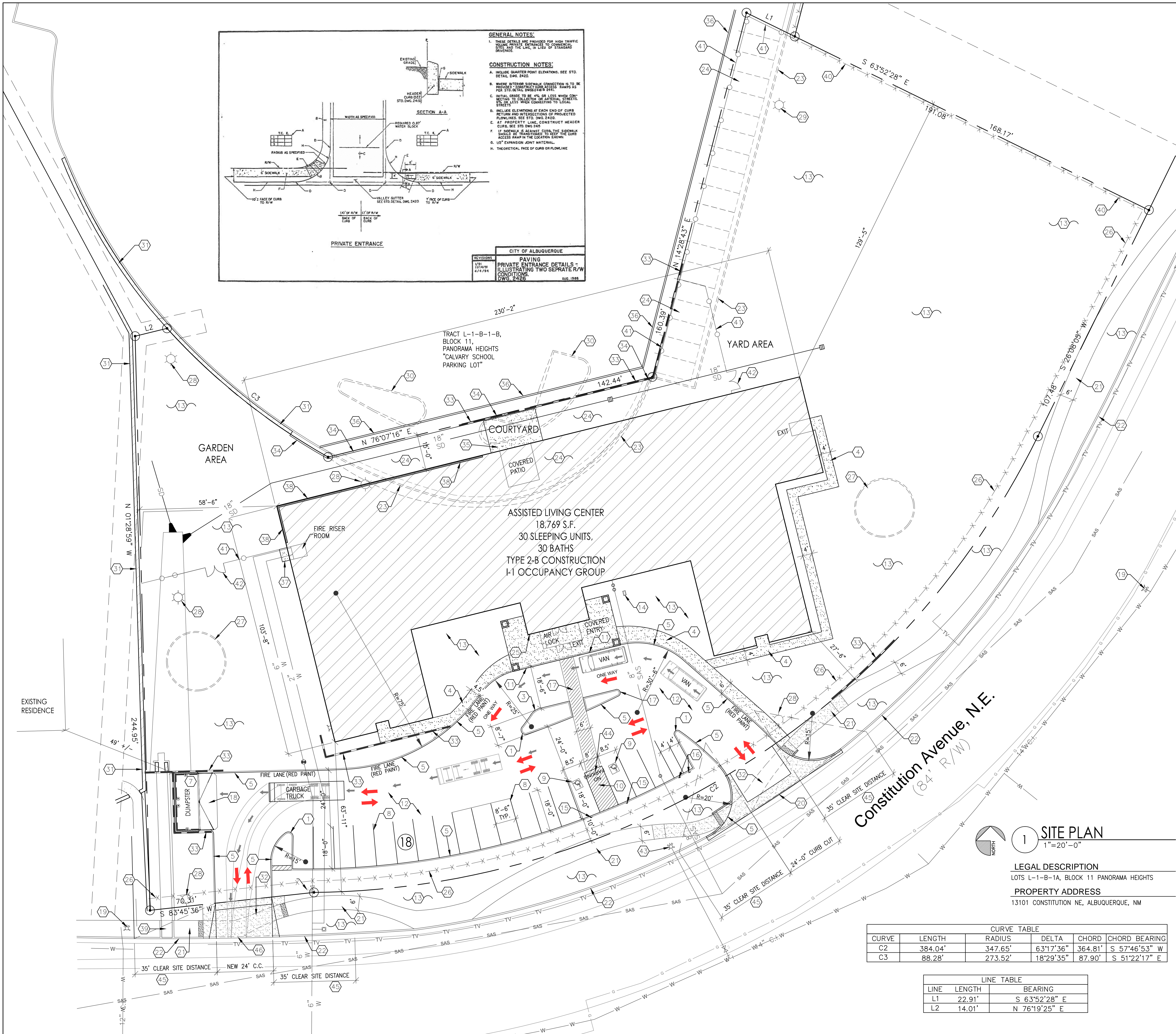
☒ YES
☒ NO

COPY PROVIDED

DATE SUBMITTED: 06/04/2015 BY: DJ MIERA

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



PARKING REQUIREMENTS	
ZONING:	0-1 COMMUNITY RESIDENTIAL PROGRAM (ASSISTED LIVING)
PARKING REQUIRED:	ONE SPACE PLUS ONE SPACE PER FOUR CLIENTS 39 CLIENTS/4 = 10 39 CLIENTS/4 = 10 SPACES +1 = 11 SPACES
TOTAL PARKING REQUIRED:	11 SPACES
HC. SPACES REQUIRED:	1 TO 25 SPACES = 1 HC. SPACE (1 VAN SPACE)
MOTORCYCLE SPACES REQUIRED:	1 TO 25 SPACES = 1 MOTORCYCLE SPACE
PARKING PROVIDED:	16- 8'6"x18' PARKING SPACES 2- 8'x18' H.C. PARKING SPACES 2- 4'x15' MOTORCYCLE SPACES
TOTAL PARKING PROVIDED:	20 TOTAL PARKING SPACES

- KEYED NOTES**
- 2'-0" RADIUS.
 - 5'-0" RADIUS.
 - 7'-0" RADIUS.
 - CONCRETE SIDEWALK, SLOPE SIDEWALK 1/4"/FT. AWAY FROM BUILDING.
 - 6" RAISED CONCRETE CURB, REF: GRADING AND DRAINAGE PLAN.
 - ROLLED ASPHALT CURB.
 - DUMPSTER ENCLOSURE WITH GATES, REF: CA-2.0 FOR DETAILS, NOTE: G.C. TO PROVIDE DRAIN, REF: PLUMBING PLANS.
 - 2" WIDE PAINTED PARKING STRIPE PER CITY OF ALBUQUERQUE STANDARDS, REF: CA-2.0 FOR DETAILS.
 - HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, REF: CA-2.0 FOR DETAILS.
 - HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS, REF: CA-2.0 FOR DETAIL.
 - TURNDOWN SIDEWALK, NO CURB, TOP OF CURB/SIDEWALK AND ASPHALT PAVING TO BE FLUSH, REF: GRADING AND DRAINAGE PLAN.
 - ASPHALT PAVING.
 - EXISTING LANDSCAPING TO REMAIN, REMOVE ANY DEAD L.S. AS REQUIRED, REF: NEW LANDSCAPING PLAN.
 - BIKE RACK, REF: CA-2.0 FOR DETAIL.
 - HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: CA-2.0 FOR DETAILS.
 - MOTORCYCLE PARKING SIGNAGE PER CITY REQUIREMENTS.
 - 6" WIDE ADA ACCESSIBLE PEDESTRIAN PATH-WAY.
 - CONCRETE SLAB AND APRON AT DUMPSTER ENCLOSURE, REF: CA-2.0.
 - EXISTING FIRE HYDRANT.
 - SAW CUT CURB AND GUTTER AND REMOVE FOR NEW CURB CUT AND DRIVE PAD, BUILD NEW DRIVE PAD PER C.O.A. STANDARD DRAWING 2426, REF: GRADING AND DRAINAGE PLANS. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
 - EXISTING CONCRETE SIDEWALK TO REMAIN.
 - EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
 - REMOVE EXISTING CONCRETE CURBS AND GUTTER SHOWN DASHED.
 - REMOVE EXISTING ASPHALT PAVING AND PARKING SPACES SHOWN DASHED.
 - G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS INTO BUILDING AND FIRE RISER ROOM, MOUNT BOX 5'-0" HIGH A.F.F.
 - EXISTING CHAIN LINK FENCE TO BE REMOVED AT END OF PROJECT.
 - REMOVE EXISTING TREE WELLS.
 - EXISTING LIGHT POLE AND CONCRETE BASE TO BE REMOVED.
 - EXIST. LIGHT POLE W/ CONC. BASE AND CAMERA TO BE REMOVED
 - REMOVE EXIST. RAISED CONCRETE CURB ISLAND, PATCH IN AREA WITH NEW ASPHALT PAVING, REF: GRADING AND DRAINAGE PLAN.
 - EXIST. CONCRETE RETAINING WALL TO REMAIN.
 - REMOVE PART OF EXIST. SIDEWALK SHOWN DASHED.
 - 8" WIDE NEW CONCRETE RETAINING WALL BY SEPARATE BUILDING PERMIT, REF: GRADING AND DRAINAGE PLAN.
 - NEW 6" HIGH CMU WALL TO BE BUILT ON CONCRETE RETAINING WALL, EXTEND CMU WALL TO EXIST. WEST CONCRETE RETAINING WALL.
 - 3000 PSI 4" THICK CONCRETE SLAB AT PATIO WITH W.W.M. OVER COMPACTED FILL.
 - 6" RAISED CONCRETE CURB, REF: GRADING AND DRAINAGE PLAN.
 - 3000 PSI 4" THICK CONCRETE STOOP, TYP.
 - BUILDING CONCRETE RETAINING WALL, REF: FOUNDATION PLAN AND DETAILS.
 - EXIST. SIDEWALK CULVERT TO REMAIN.
 - EXIST. 6" HIGH WROUGHT IRON FENCE.
 - 6" HIGH WROUGHT IRON FENCE (MATCH EXIST.) TIE IN TO EXIST. NORTH EAST WROUGHT IRON FENCE.
 - DOUBLE 36" WIDE x 6' HIGH WROUGHT IRON GATES.
 - NEW FIRE HYDRANT.
 - "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE PLACES. (66-1-4.1.B NMSA 1978)
 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENT. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AT MEASURED FROM THE GUTTER WILL NOT BE ACCEPTABLE IN THIS AREA.
 - NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
 - SAW CUT CURB AND GUTTER AND REMOVE FOR NEW CURB CUT AND DRIVE PAD, BUILD NEW DRIVE PAD PER C.O.A. STANDARD DRAWING 2426, REF: GRADING AND DRAINAGE PLANS. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
 - 24" TRUNCATED DOMES, REF: GRADING AND DRAINAGE PLANS.

1 SITE PLAN
1"=20'-0"

LEGAL DESCRIPTION

LOTS L-1-B-1A, BLOCK 11 PANORAMA HEIGHTS

PROPERTY ADDRESS

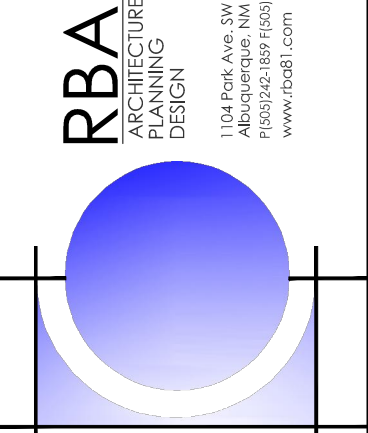
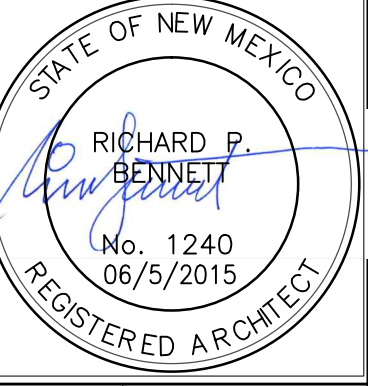
13101 CONSTITUTION NE, ALBUQUERQUE, NM

CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD
C2	384.04'	347.65'	63°17'36"	364.81'
C3	88.28'	273.52'	18°29'35"	87.90'

LINE TABLE	
LINE	BEARING
L1	S 63°52'28" E
L2	N 76°19'25" E

BELLA VISTA ASSISTED LIVING
PROPOSED SITE PLAN
ALBUQUERQUE, NM
PROJECT #1410

REVISION DATE
06/5/2015



DATE
05-15-2015

SHEET NUMBER

CA-1.0

