



**Planning Department  
Transportation Development Services**

May 27, 2015

Rick Bennett  
RBA Architecture  
1104 Park Ave  
Albuquerque, NM

**Re: Bella Vista Assisted Living  
13101 Constitution NE  
Traffic Circulation Layout**  
Engineer's/Architect's Stamp dated 5-12-15 (J22-D067)

Dear Mr. Bennett,

Based upon the information provided in your submittal received 5-13-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Per the Development Process Manual, Chapter 27 Drafting Standards, "Standard sheets must be 24" by 36" having a margin of 2" along the left and 1" on the top and bottom."
2. The ADA van accessible sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."**
3. The ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
4. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details and dimension for sidewalks and crosswalks.
5. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please identify and dimension pedestrian pathway to all entrances and exits, also for sidewalks and crosswalks.
6. Design delivery vehicle route needs to be shown.
7. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval (if applicable).

PO Box 1293

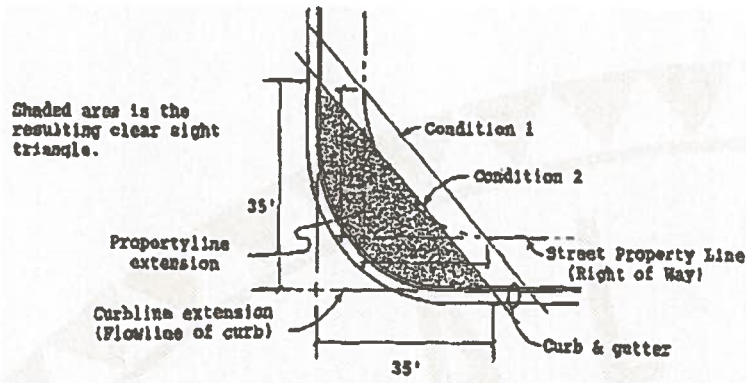
Albuquerque

New Mexico 87103

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8. Please provide a sight distance exhibit for each entryway off of Constitution Ave. (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*).



9. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
10. Work within the public right of way requires a work order with DRC approved plans.
11. Label red paint for curb along fire lane.
12. Show doorways to proposed new building.
13. Call out COA standard drawing numbers applicable for work done within COA Right-Of-Way including COA Standard Drawing 2425 for drive pads and 2426 for private entrances.
14. Provide curb ramps for private entrance on the east side of proposed building and provide detail of curb ramp, include detectable warning surface.
15. Please include two copies of the traffic circulation layout at the next submittal.

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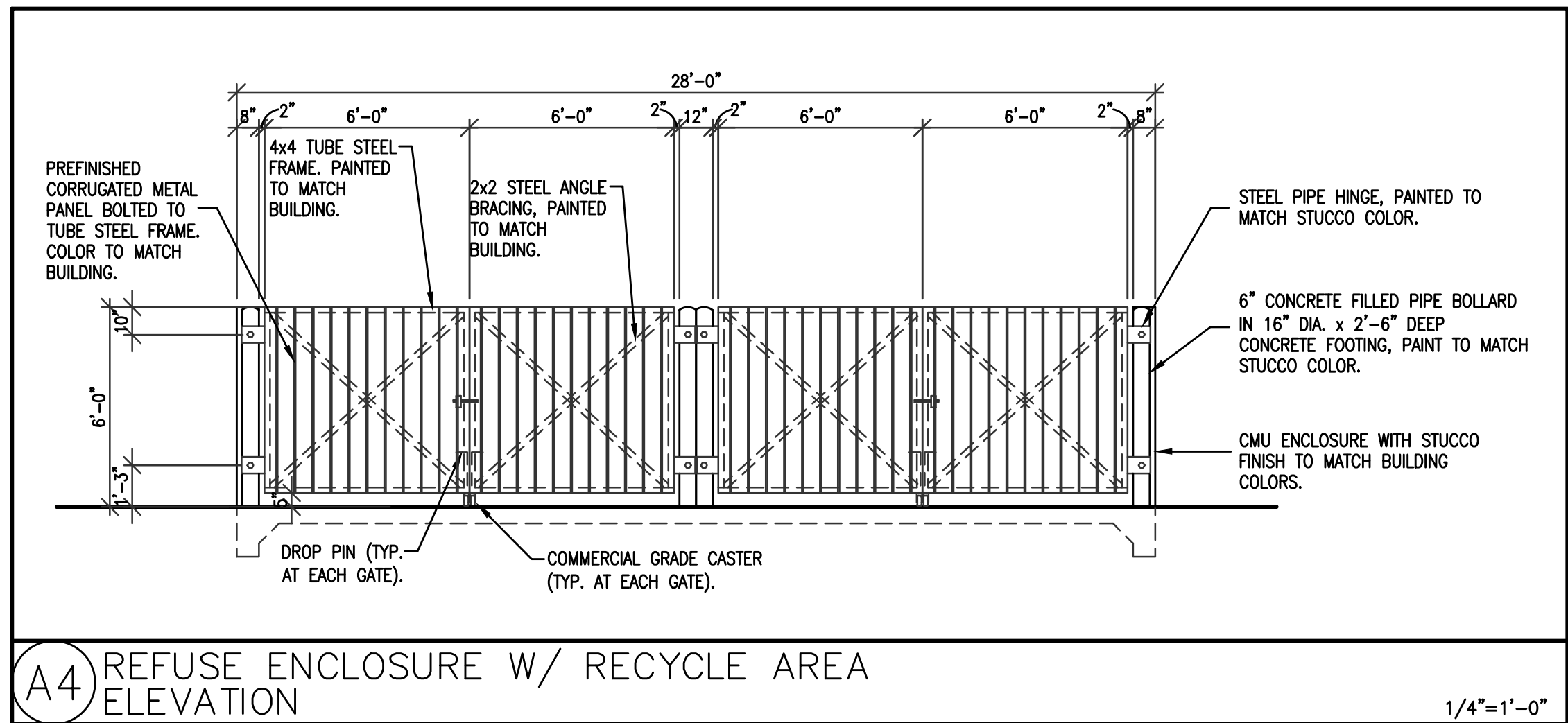
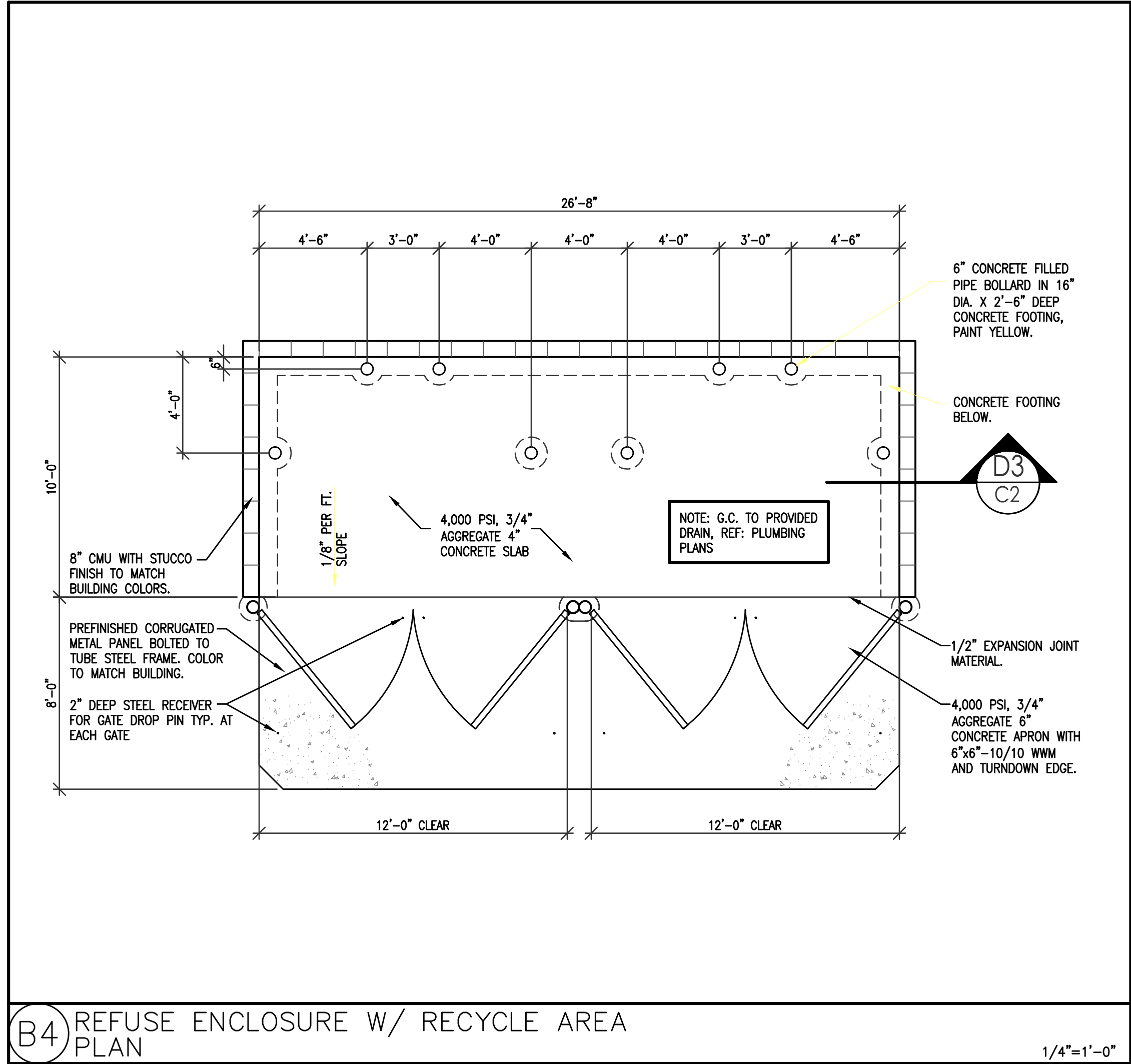
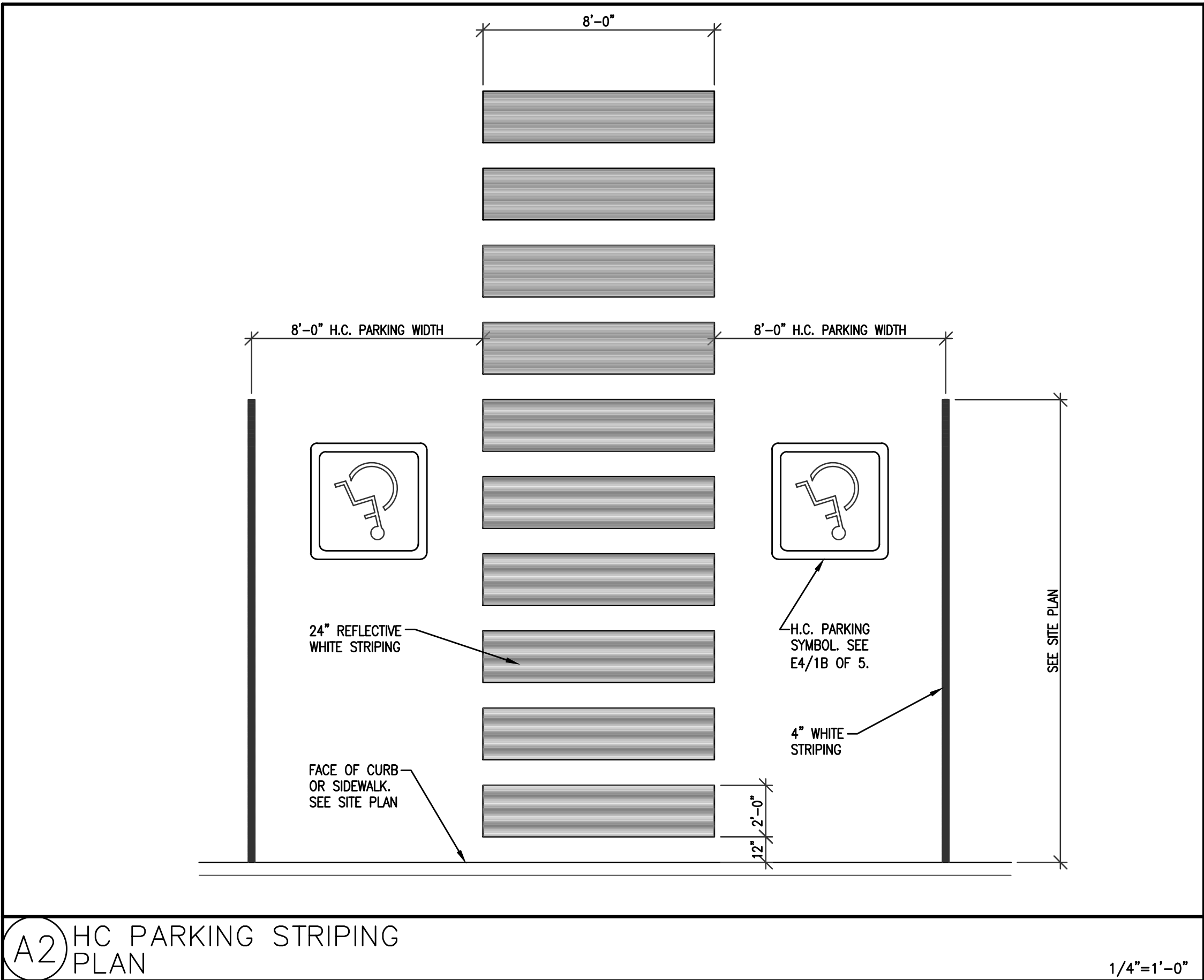
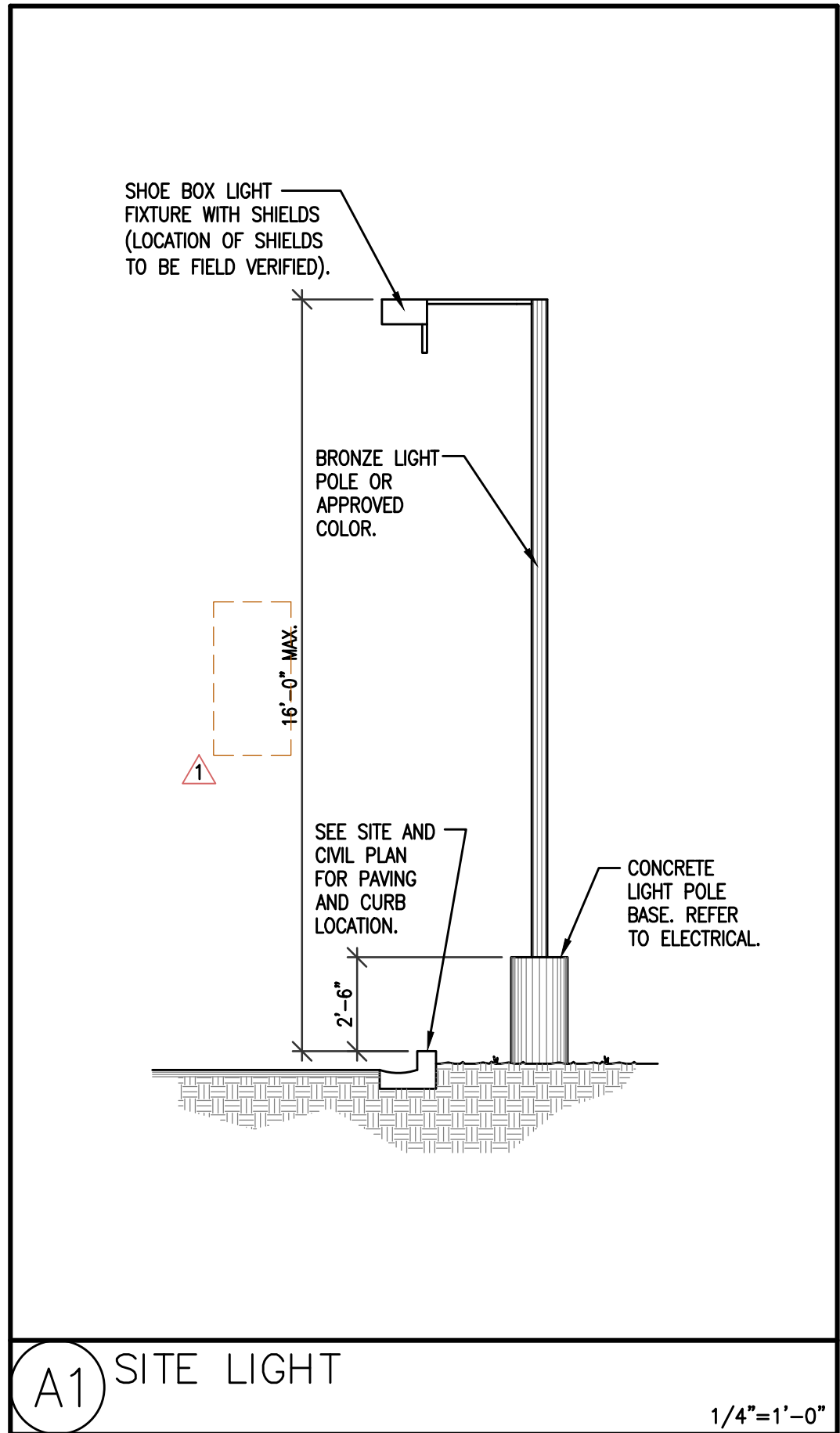
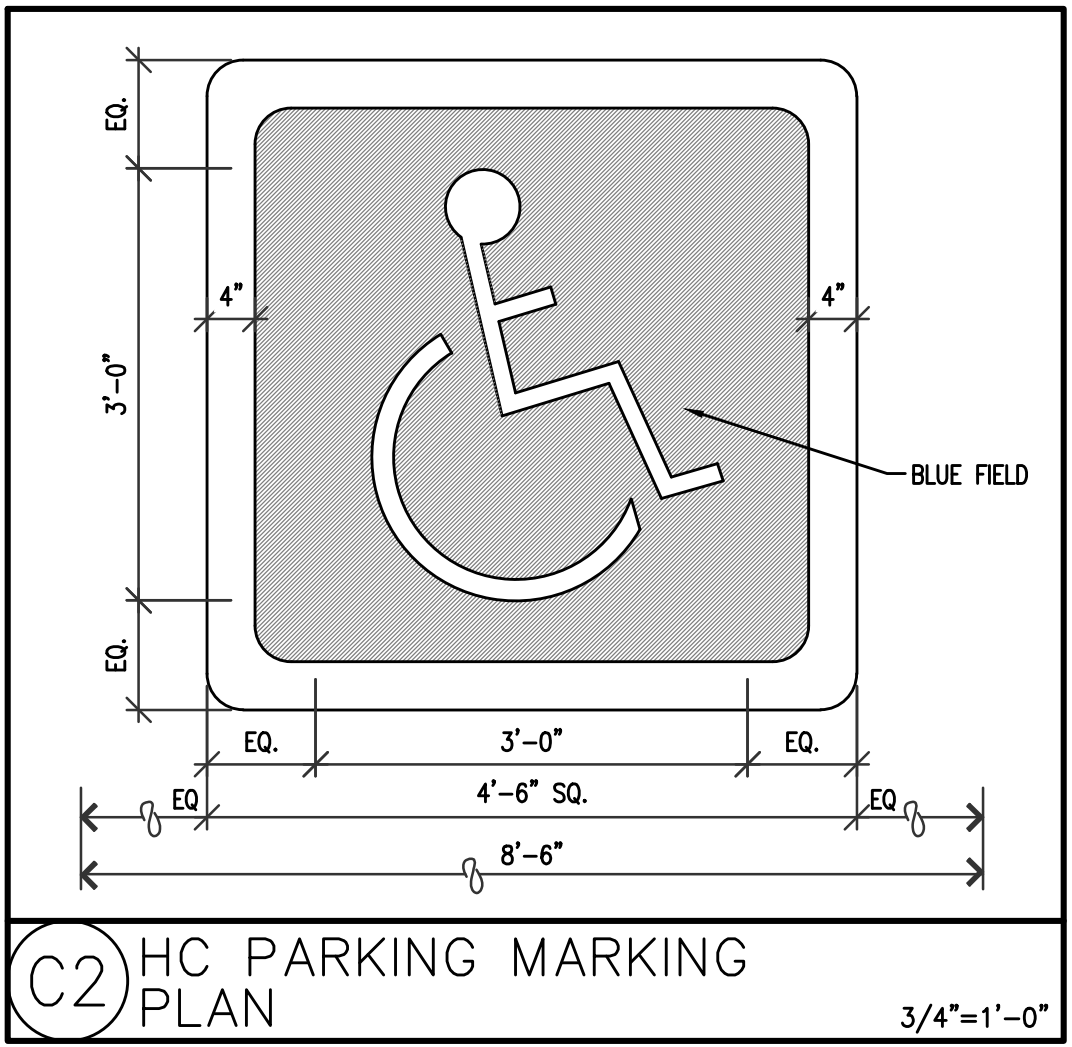
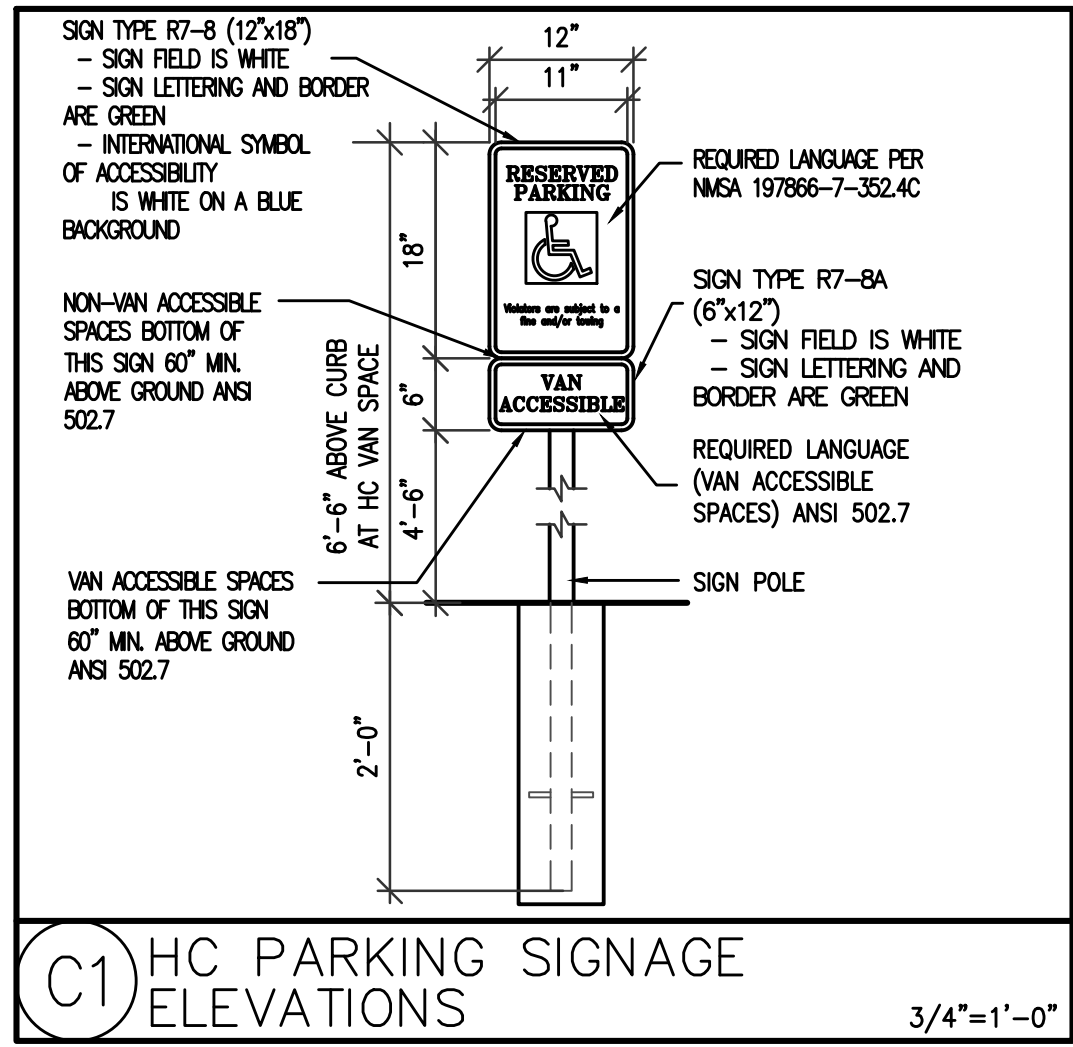
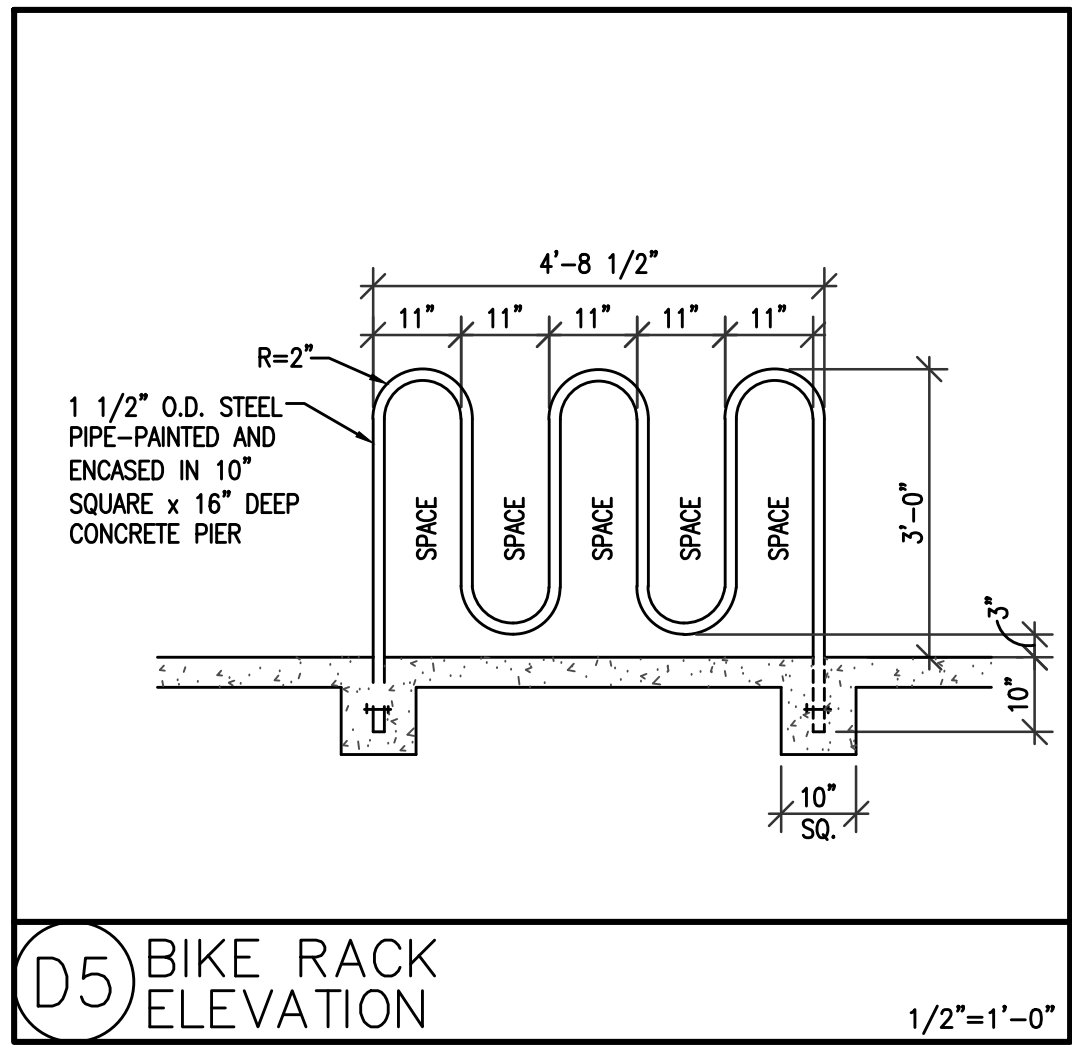
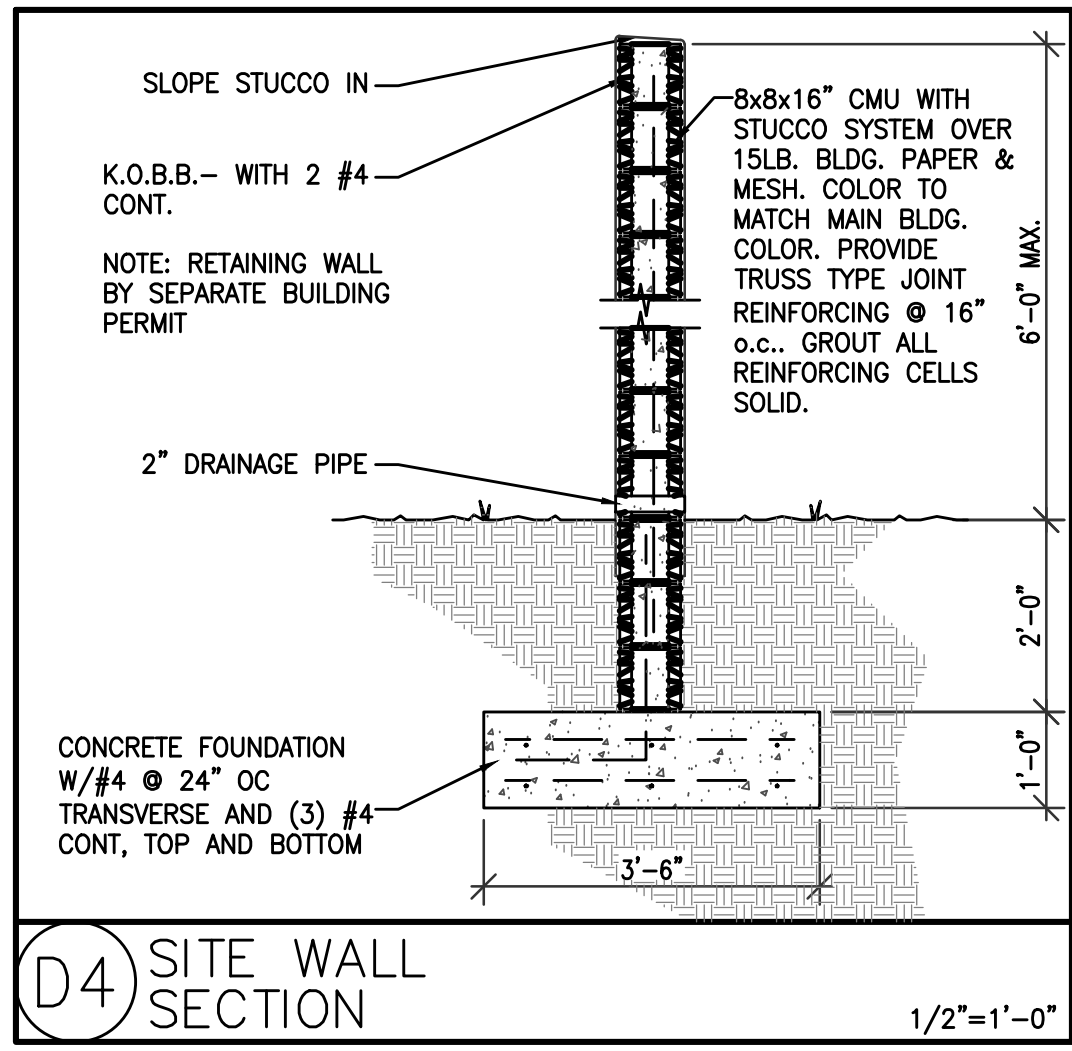
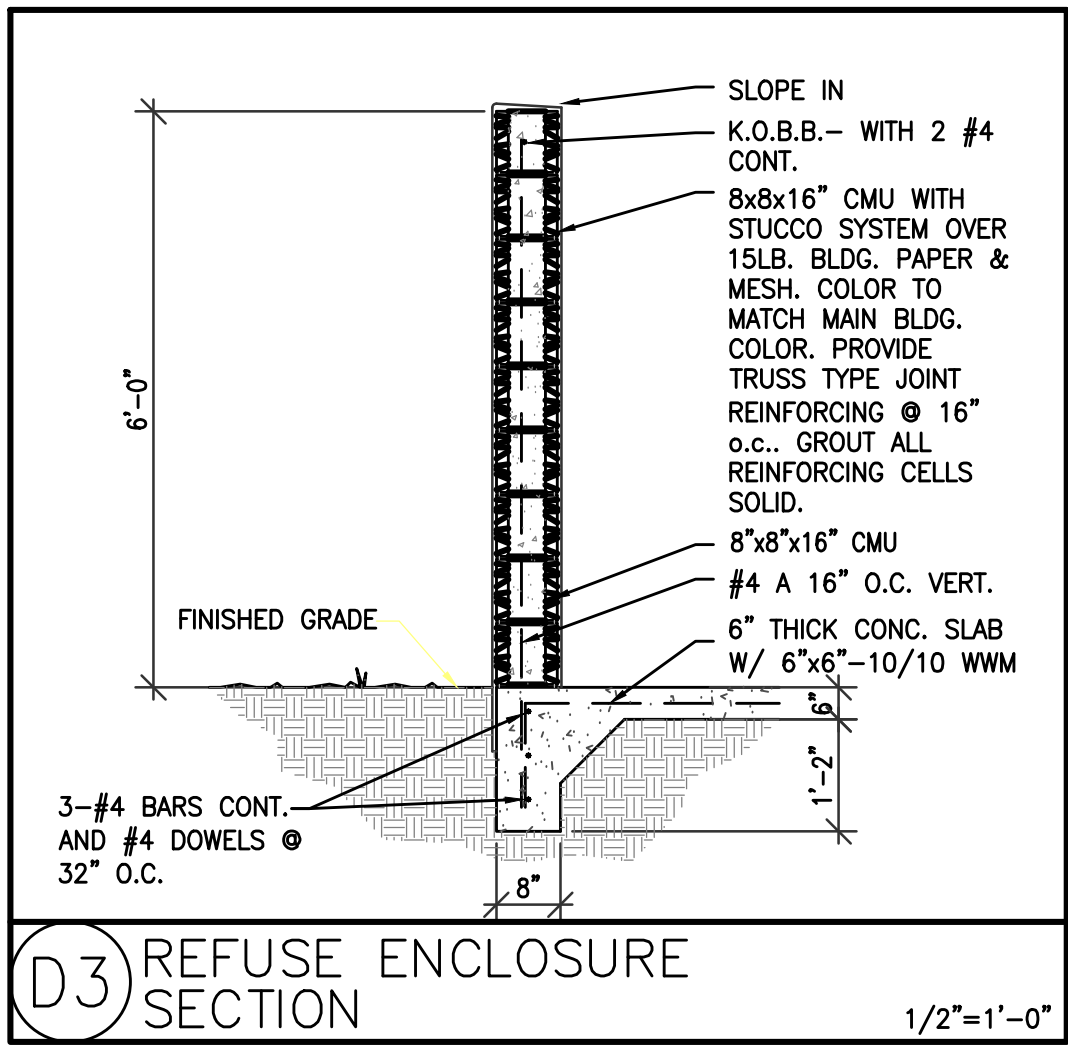
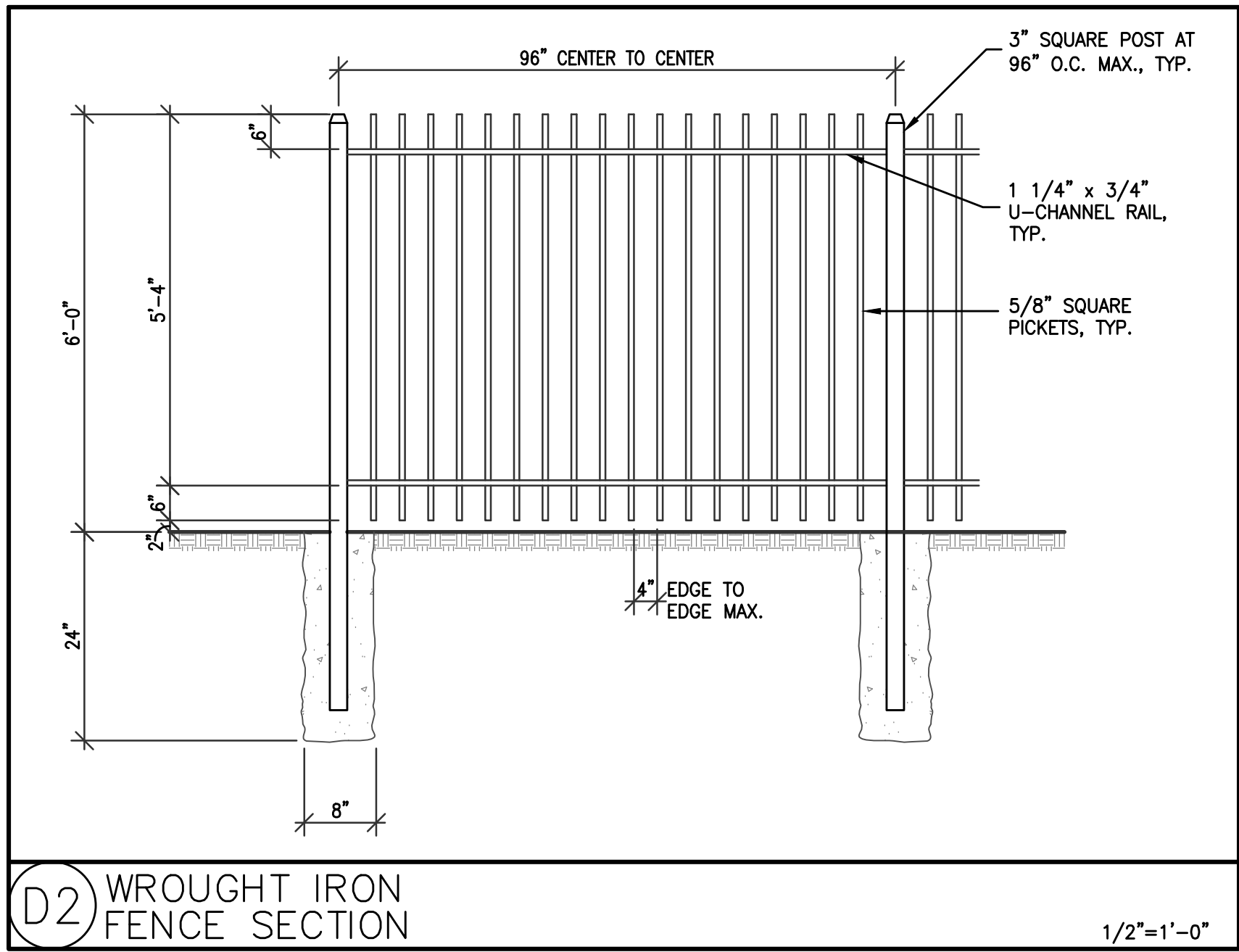
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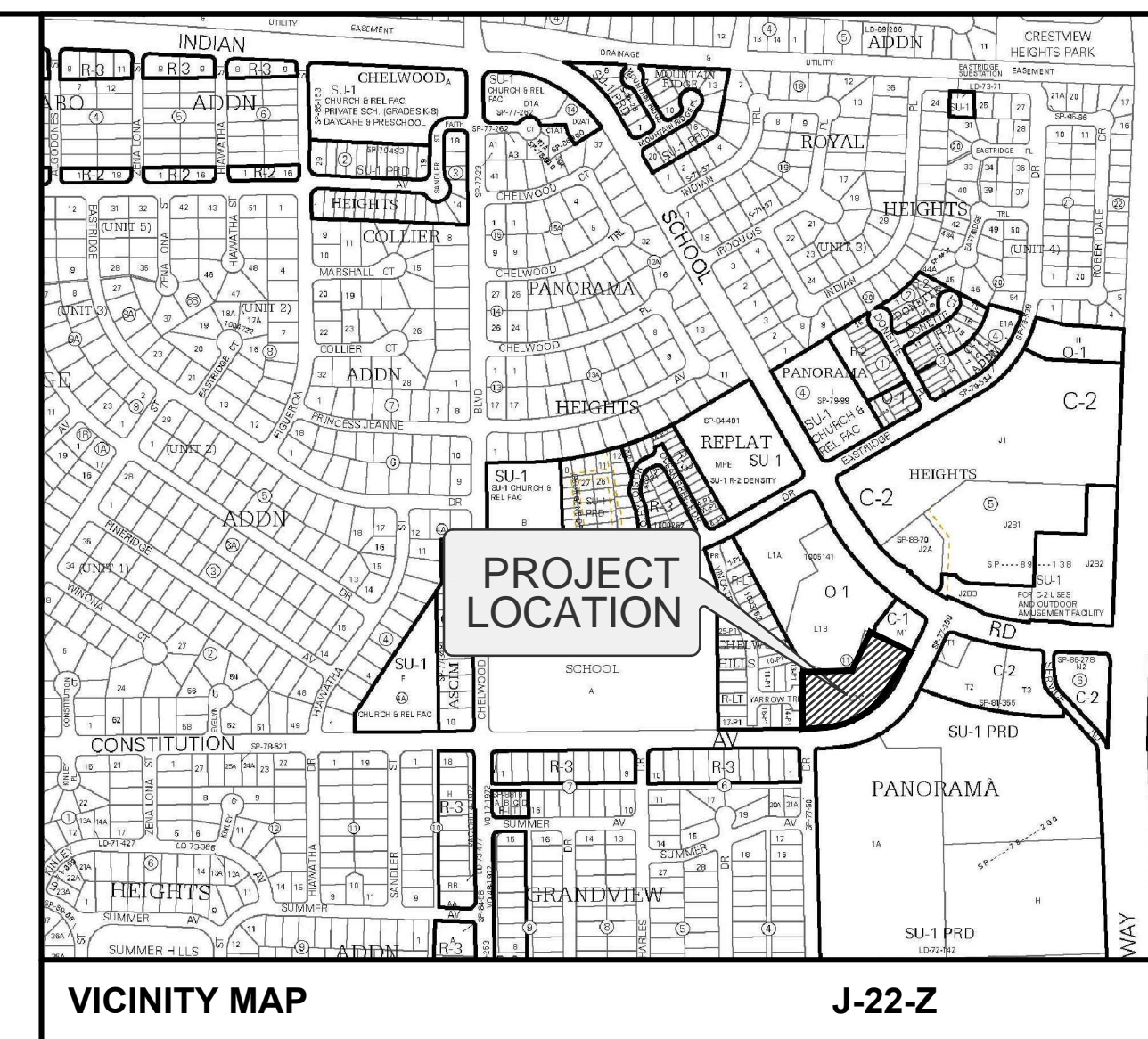
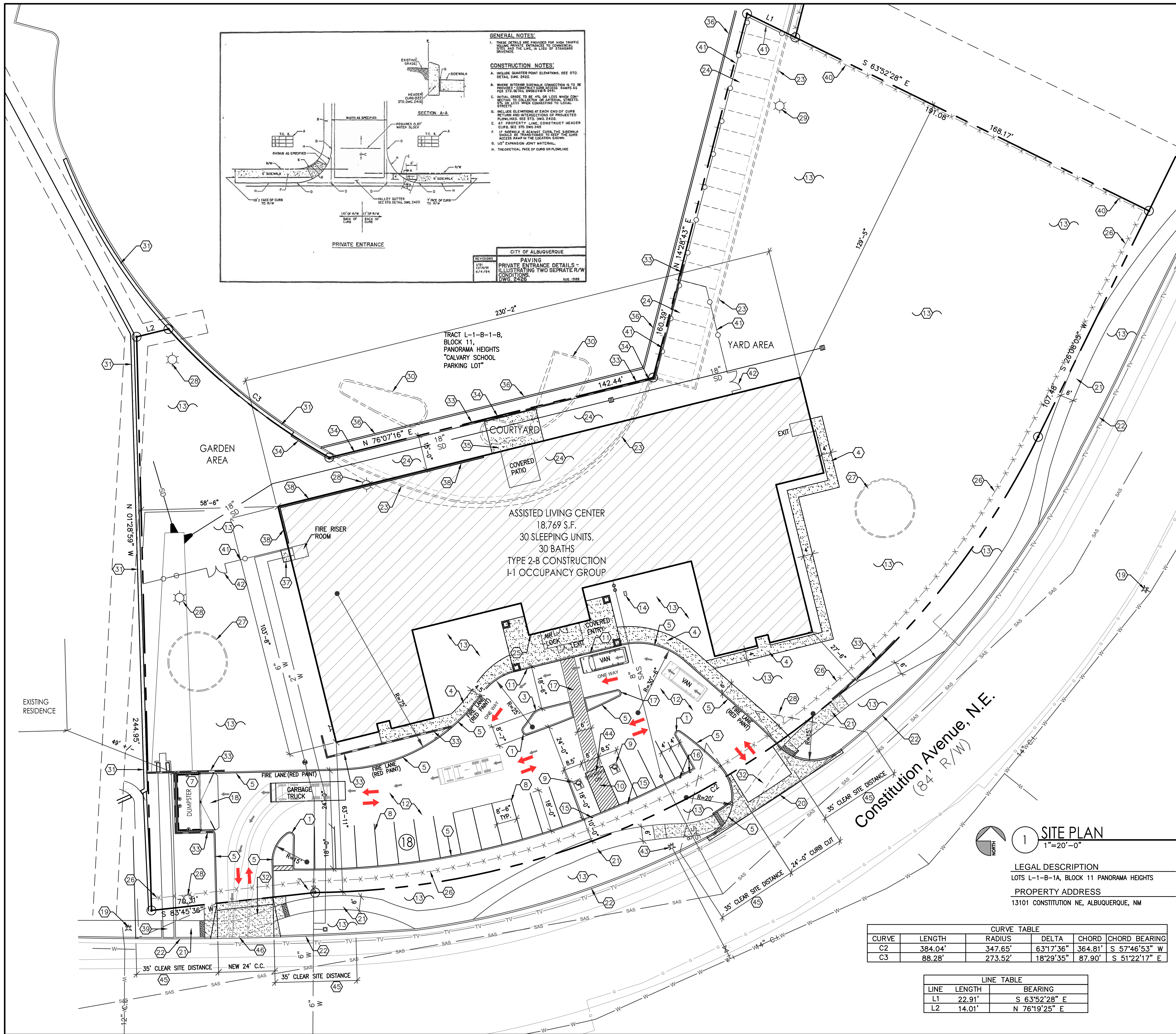
Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3924.

Sincerely,

  
Jeanne Wolfenbarger, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

c: File  
CO Clerk



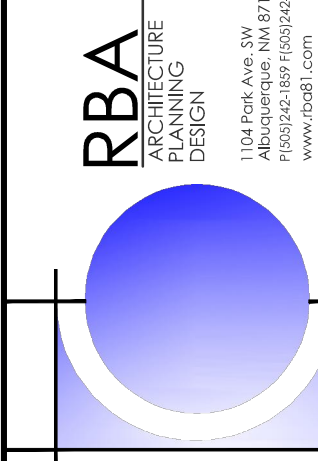
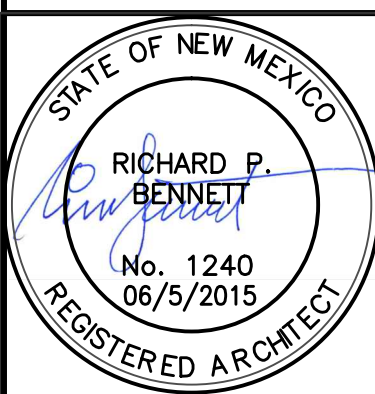


PARKING REQUIREMENTS	
ZONING:	0-1 COMMUNITY RESIDENTIAL PROGRAM (ASSISTED LIVING)
PARKING REQUIRED:	ONE SPACE PLUS ONE SPACE PER FOUR CLIENTS 39 CLIENTS/4 = 10 39 CLIENTS/4 = 10 SPACES +1 = 11 SPACES TOTAL PARKING REQUIRED: 11 SPACES
HC. SPACES REQUIRED:	1 TO 25 SPACES = 1 HC. SPACE (1 VAN SPACE)
MOTORCYCLE SPACES REQUIRED:	1 TO 25 SPACES = 1 MOTORCYCLE SPACE
PARKING PROVIDED:	16- 8'6"x18' PARKING SPACES 2- 8'x18' H.C. PARKING SPACES 2- 4'x15' MOTORCYCLE SPACES TOTAL PARKING PROVIDED: 20 TOTAL PARKING SPACES

- KEYED NOTES**
- 2'-0" RADIUS.
  - 5'-0" RADIUS.
  - 7'-0" RADIUS.
  - CONCRETE SIDEWALK, SLOPE SIDEWALK 1/4" / FT. AWAY FROM BUILDING.
  - 6" RAISED CONCRETE CURB, REF: GRADING AND DRAINAGE PLAN.
  - ROLLED ASPHALT CURB.
  - DUMPSTER ENCLOSURE WITH GATES, REF: CA-2.0 FOR DETAILS, NOTE: G.C. TO PROVIDE DRAIN, REF: PLUMBING PLANS.
  - 2" WIDE PAINTED PARKING STRIPE PER CITY OF ALBUQUERQUE STANDARDS, REF: CA-2.0 FOR DETAILS.
  - HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, REF: CA-2.0 FOR DETAILS.
  - HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS, REF: CA-2.0 FOR DETAIL.
  - TURNDOWN SIDEWALK, NO CURB, TOP OF CURB/SIDEWALK AND ASPHALT PAVING TO BE FLUSH, REF: GRADING AND DRAINAGE PLAN.
  - ASPHALT PAVING.
  - EXISTING LANDSCAPING TO REMAIN, REMOVE ANY DEAD L.S. AS REQUIRED, REF: NEW LANDSCAPING PLAN.
  - BIKE RACK, REF: CA-2.0 FOR DETAIL.
  - HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: CA-2.0 FOR DETAILS.
  - MOTORCYCLE PARKING SIGNAGE PER CITY REQUIREMENTS.
  - 6" WIDE ADA ACCESSIBLE PEDESTRIAN PATH-WAY.
  - CONCRETE SLAB AND APRON AT DUMPSTER ENCLOSURE, REF: CA-2.0.
  - EXISTING FIRE HYDRANT.
  - SAW CUT CURB AND GUTTER AND REMOVE FOR NEW CURB CUT AND DRIVE PAD, BUILD NEW DRIVE PAD PER C.O.A. STANDARD DRAWING 2426, REF: GRADING AND DRAINAGE PLANS. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
  - EXISTING CONCRETE SIDEWALK TO REMAIN.
  - EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
  - REMOVE EXISTING CONCRETE CURB AND GUTTER SHOWN DASHED.
  - REMOVE EXISTING ASPHALT PAVING AND PARKING SPACES SHOWN DASHED.
  - G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS INTO BUILDING AND FIRE RISER ROOM, MOUNT BOX 5'-0" HIGH A.F.F.
  - EXISTING CHAIN LINK FENCE TO BE REMOVED AT END OF PROJECT.
  - REMOVE EXISTING TREE WELLS.
  - EXISTING LIGHT POLE AND CONCRETE BASE TO BE REMOVED.
  - EXIST. LIGHT POLE W/ CONC. BASE AND CAMERA TO BE REMOVED.
  - REMOVE EXIST. RAISED CONCRETE CURB ISLAND, PATCH IN AREA WITH NEW ASPHALT PAVING, REF: GRADING AND DRAINAGE PLAN.
  - EXIST. CONCRETE RETAINING WALL TO REMAIN.
  - REMOVE PART OF EXIST. SIDEWALK SHOWN DASHED.
  - 8" WIDE NEW CONCRETE RETAINING WALL BY SEPARATE BUILDING PERMIT, REF: GRADING AND DRAINAGE PLAN.
  - NEW 6" HIGH CMU WALL TO BE BUILT ON CONCRETE RETAINING WALL, EXTEND CMU WALL TO EXIST. WEST CONCRETE RETAINING WALL.
  - 3000 PSI 4" THICK CONCRETE SLAB AT PATIO WITH W.W.M. OVER COMPACTED FILL.
  - 6" RAISED CONCRETE CURB, REF: GRADING AND DRAINAGE PLAN.
  - 3000 PSI 4" THICK CONCRETE STOOP, TYP.
  - BUILDING CONCRETE RETAINING WALL, REF: FOUNDATION PLAN AND DETAILS.
  - EXIST. SIDEWALK CULVERT TO REMAIN.
  - EXIST. 6" HIGH WROUGHT IRON FENCE.
  - 6" HIGH WROUGHT IRON FENCE (MATCH EXIST.) TIE IN TO EXIST. NORTH EAST WROUGHT IRON FENCE.
  - DOUBLE 36" WIDE x 6' HIGH WROUGHT IRON GATES.
  - NEW FIRE HYDRANT.
  - "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE PLACES. (66-1-4.1.8 NMSA 1978)
  - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENT. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AT MEASURED FROM THE GUTTER WILL NOT BE ACCEPTABLE IN THIS AREA.
  - NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
  - SAW CUT CURB AND GUTTER AND REMOVE FOR NEW CURB CUT AND DRIVE PAD, BUILD NEW DRIVE PAD PER C.O.A. STANDARD DRAWING 2426, REF: GRADING AND DRAINAGE PLANS. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
  - 24" TRUNCATED DOMES, REF: GRADING AND DRAINAGE PLANS.

BELLA VISTA ASSISTED LIVING  
PROPOSED SITE PLAN  
ALBUQUERQUE, NM  
PROJECT #1410

REVISION DATE  
06/5/2015



DATE  
05-15-2015

SHEET NUMBER  
CA-1.0