

# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

December 18, 2020

David Soule, P.E.  
Rio Grande Engineering  
PO Box 93924  
Albuquerque, New Mexico 87199

**Re: Chelwood Apartments**  
**900, 901 Chelwood Park**  
**Request for Certificate of Occupancy - Permanent**  
**Grading and Drainage Plan Stamp Date: 8/10/19**  
**Certification dated: 12/1/20**  
**Drainage File: J22D070**

Dear Mr. Soule,

PO Box 1293

Based on the Certification received 12/14/20 and subsequent site visit on 12/18/20, this certification is approved in support of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3986 or [earmijo@cabq.gov](mailto:earmijo@cabq.gov).

Sincerely,

NM 87103

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** chelwood apartments **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** lots 1A and 28A Block 11 Grandview Heights  
**City Address:** 900,901 chelwood ne

**Applicant:** rob mckinley **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** RIO GRANDE ENGINEERING **Contact:** DAVID SOULE  
**Address:** PO BOX 93924 ALB NM 87199  
**Phone#:** 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

**TYPE OF DEVELOPMENT:** ☐ PLAT ☐ RESIDENCE ☐ DRB SITE ☒ ADMIN SITE

Check all that Apply:

### DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION

### TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☒ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

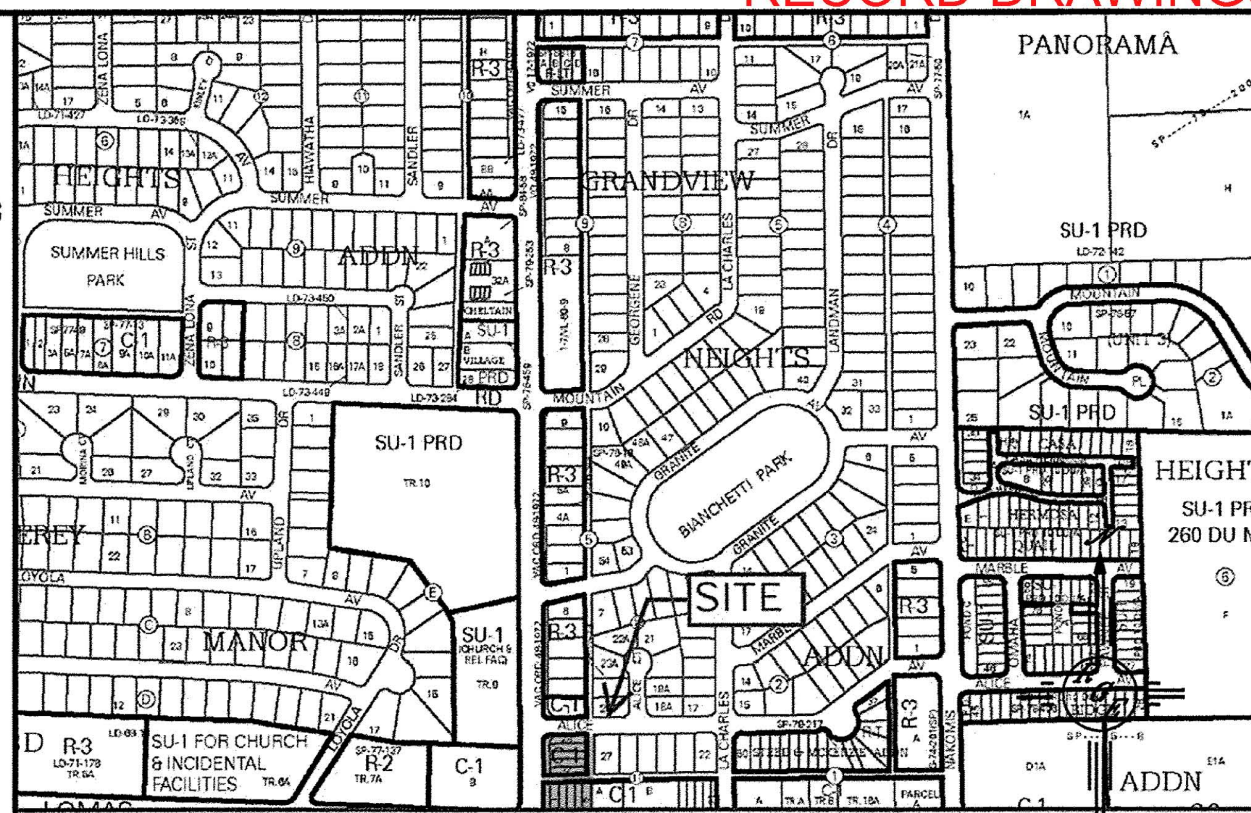
FEE PAID: \_\_\_\_\_



**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

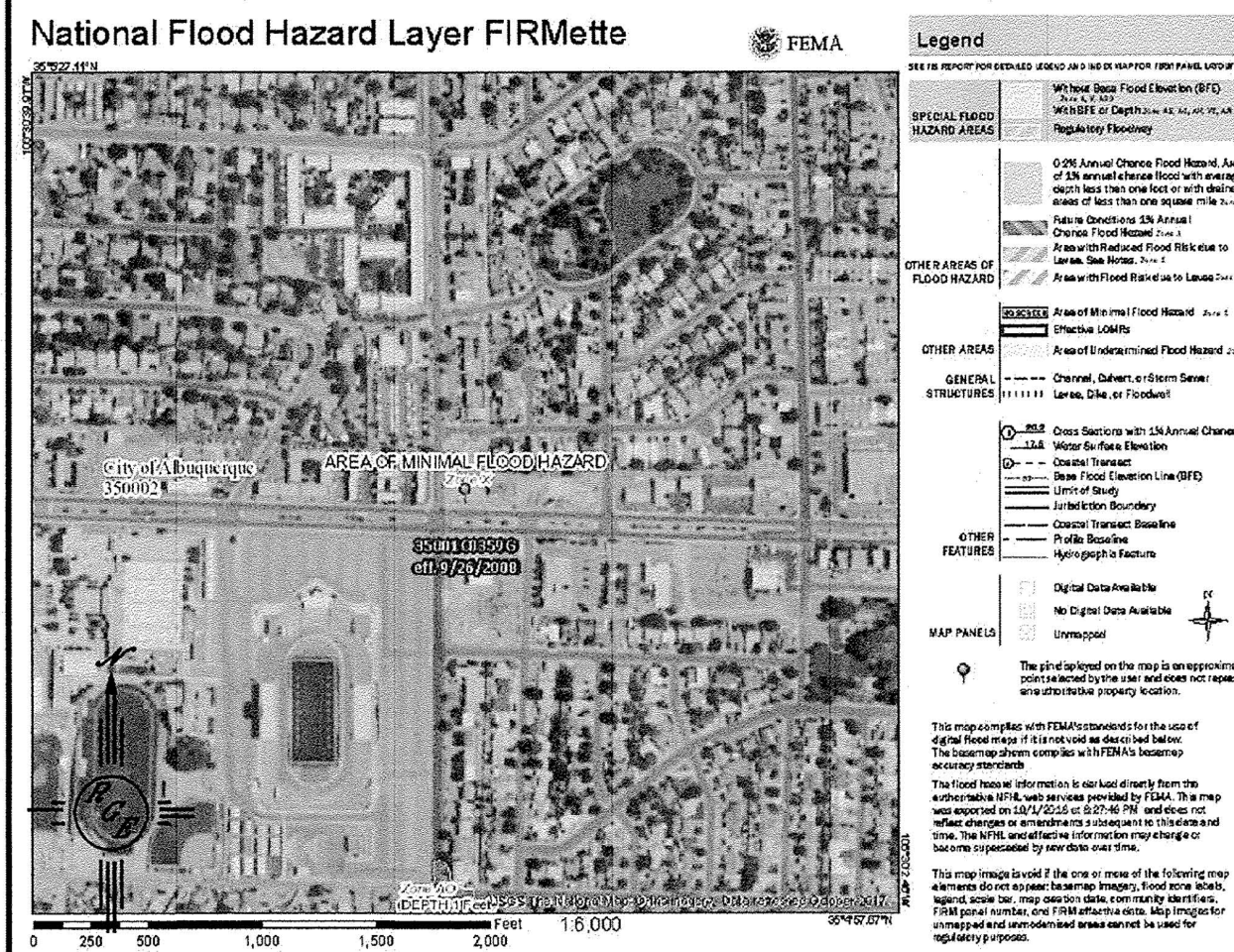
# EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



For more current information and more details visit: <http://www.cabq.gov/gis>

## VICINITY MAP: J-22-Z



## FIRM MAP:

## LEGAL DESCRIPTION:

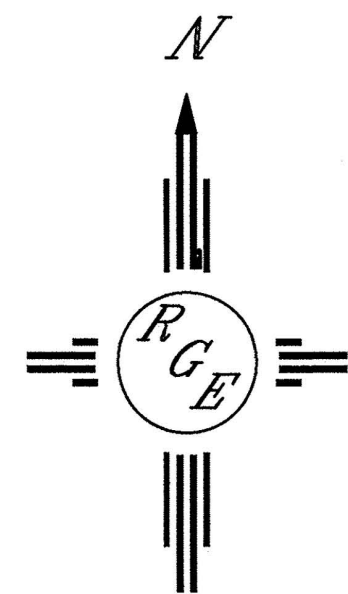
## NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.
3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. ALL NEW PAVING SHALL BE 6" PCC OVER 8" SUBGRADE PREPARATION IN CONFORMANCE TO ACI 330R-08. UNLESS OTHERWISE NOTED.
5. ANY CURBS OR PAVEMENT NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITY SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
6. ALL SITE WORK SHALL CONFORM TO CITY OF ALBUQUERQUE STANDARDS FOR PUBLIC WORKS CONSTRUCTION EDITION 9

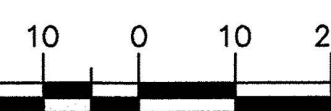
## LEGEND

---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
▲	SLOPE TIE
•	EXISTING SPOT ELEVATION
•	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED CURB
---	EXISTING CURB AND GUTTER
---	PROPOSED SIDEWALK-TO BE CONSTRUCTED UNDER WORK ORDER
---	EXISTING SIDEWALK
---	3" ADA PATH-2% MAX SLOPE
---	ROCK PLATING-SEE DETAIL THIS SHEET
---	FLOOD WALL-DESIGN BY OTHERS
---	RETAINING WALL INTEGRAL W/FOUNDATION-DESIGN BY OTHERS
---	STEM WALL-DESIGN BY OTHERS

FOUNDATION SCHEDULE  
A- RETAINING INTEGRAL TOP=70.91 BOT 70.34  
B- RETAINING INTEGRAL TOP=70.91 BOT 69.45  
C-EXTENDED STEM TOP=72.91 BOTTOMW=70.91  
D-EXTENDED STEM TOP=74.91 BOTTOMW=72.91



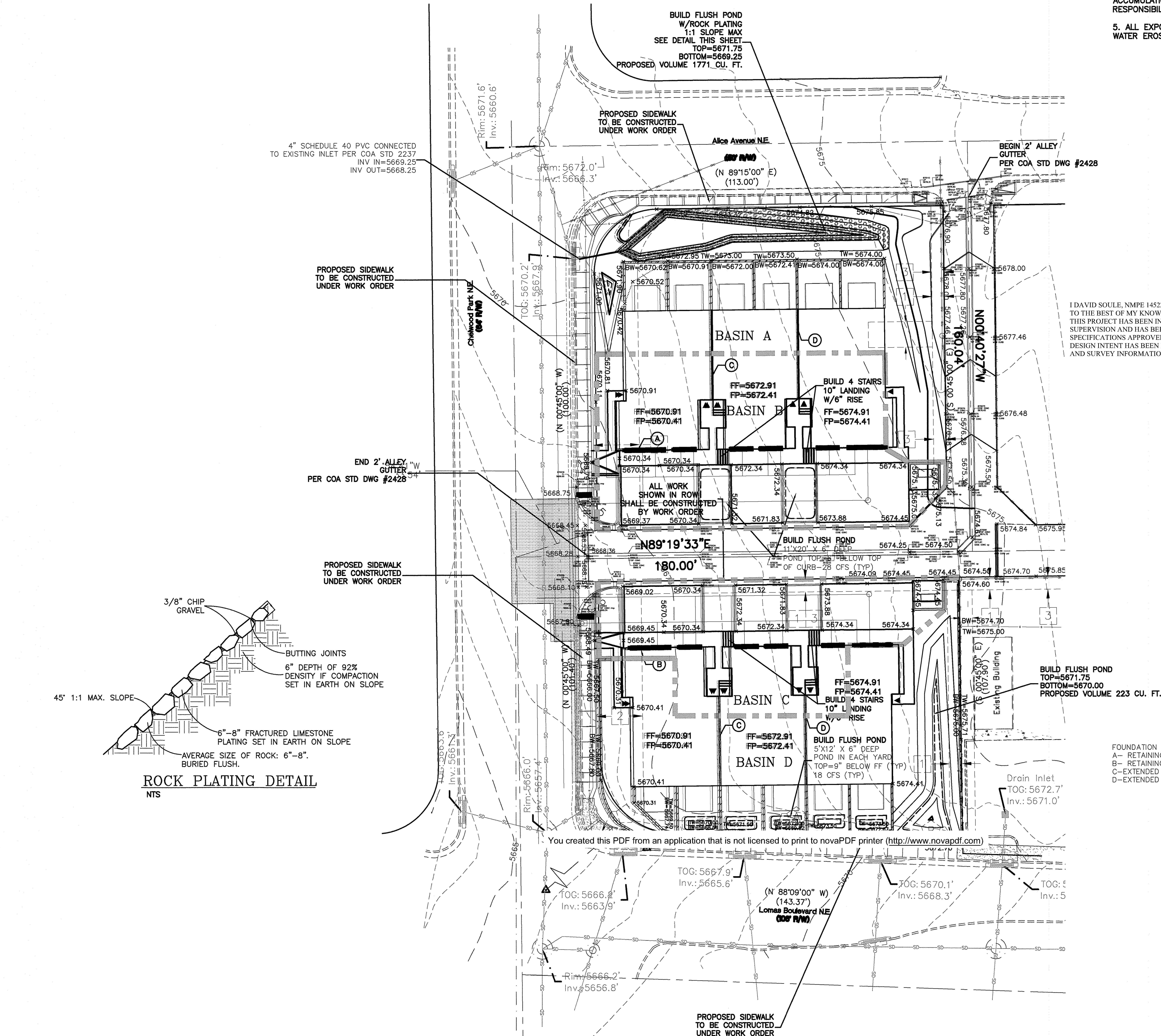
GRAPHIC SCALE



SCALE: 1"=20'

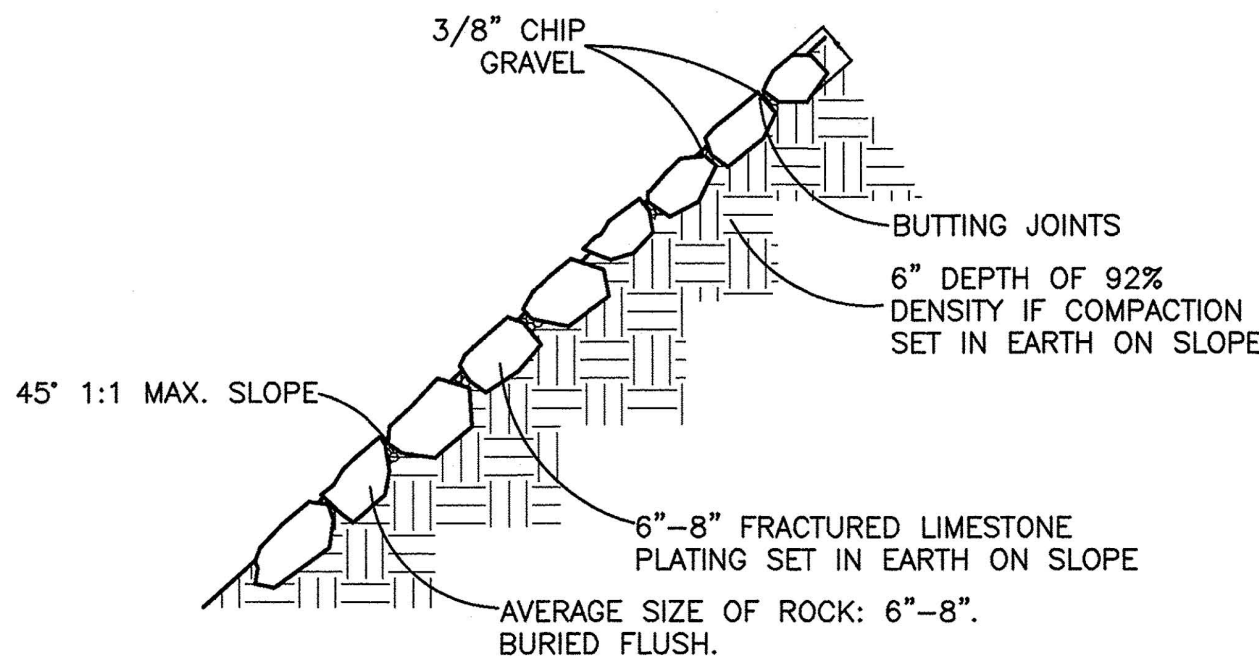
ENGINEER'S SEAL DAVID SOULE 14522 REGISTERED PROFESSIONAL ENGINEER	CHELWOOD APARTMENTS	DRAWN BY WCVJ
	GRADING AND DRAINAGE PLAN	DATE 6-18-19
		218149-LAYOUT-6-18-19
		SHEET #
		JOB # 218149

*Rio Grande Engineering*  
1806 CENTRAL AVENUE SE  
SUITE 201  
ALBUQUERQUE, NM 87106  
(505) 872-1008



## ROCK PLATING DETAIL

NTS



PROPOSED SIDEWALK TO BE CONSTRUCTED UNDER WORK ORDER