

CITY OF ALBUQUERQUE



November 24, 2020

Roger Cinelli, R.A.
Roger Cinelli & associates Inc.
2418 Manuel Torres Ln NW
Albuquerque, NM 87107

**Re: Cima Townhouses for Worque LLC
900 & 910 Chelwood Blvd NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 7-20-19 (J22D070)
Certification dated 11-19-20**

Dear Mr. Cinelli,

Based upon the information provided in your submittal received 11-19-20, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

Jeanne Wolfenbarger

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

Cinelli

ARCHITECTS

OFFICE (505) 243-8211 FAX (505) 243-8196

ROGER CINELLI & ASSOCIATES, INC. 2418 MANUEL TORRES LANE N.W. ALBUQUERQUE, NEW MEXICO 87107

11/19/2020

CITY OF ALBUQUERQUE
TRANSPORTATION DEVELOPMENT SECTION
PLAZA DEL SOL BUILDING
600 2ND STREET N.W.
ALBUQUERQUE, NEW MEXICO 87102

RE: TWO STORY TOWNHOUSE PROJECT WORKING DRAWINGS - (12) UNITS TOTAL - 900 &
910 CHELWOOD PK BLVD. N.E., ALBUQUERQUE, NEW MEXICO - J22D070 - ARCHITECT'S
STAMP DATED 7/20/19 - TCL APPROVED 5/28/19 - FINAL SITE CERTIFICATION

DEAR SIRs,

I, ROGER CINELLI, NMRA 1102, OF THE FIRM, ROGER CINELLI & ASSOCIATES INC,
HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN
ACCORDANCE WITH THE DESIGN INTENT OF THE TCL APPROVED PLAN, APPROVAL LETTER
DATED 5/28/19.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON
NOVEMBER 19, 2020..

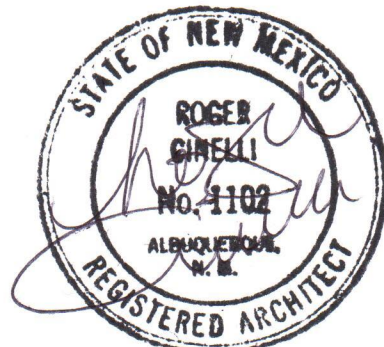
I FURTHER SUBMIT THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF
ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND
BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT
CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE
AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF
THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN
INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SINCERELY,


ROGER CINELLI, ARCHITECT

11/19/2020
DATE

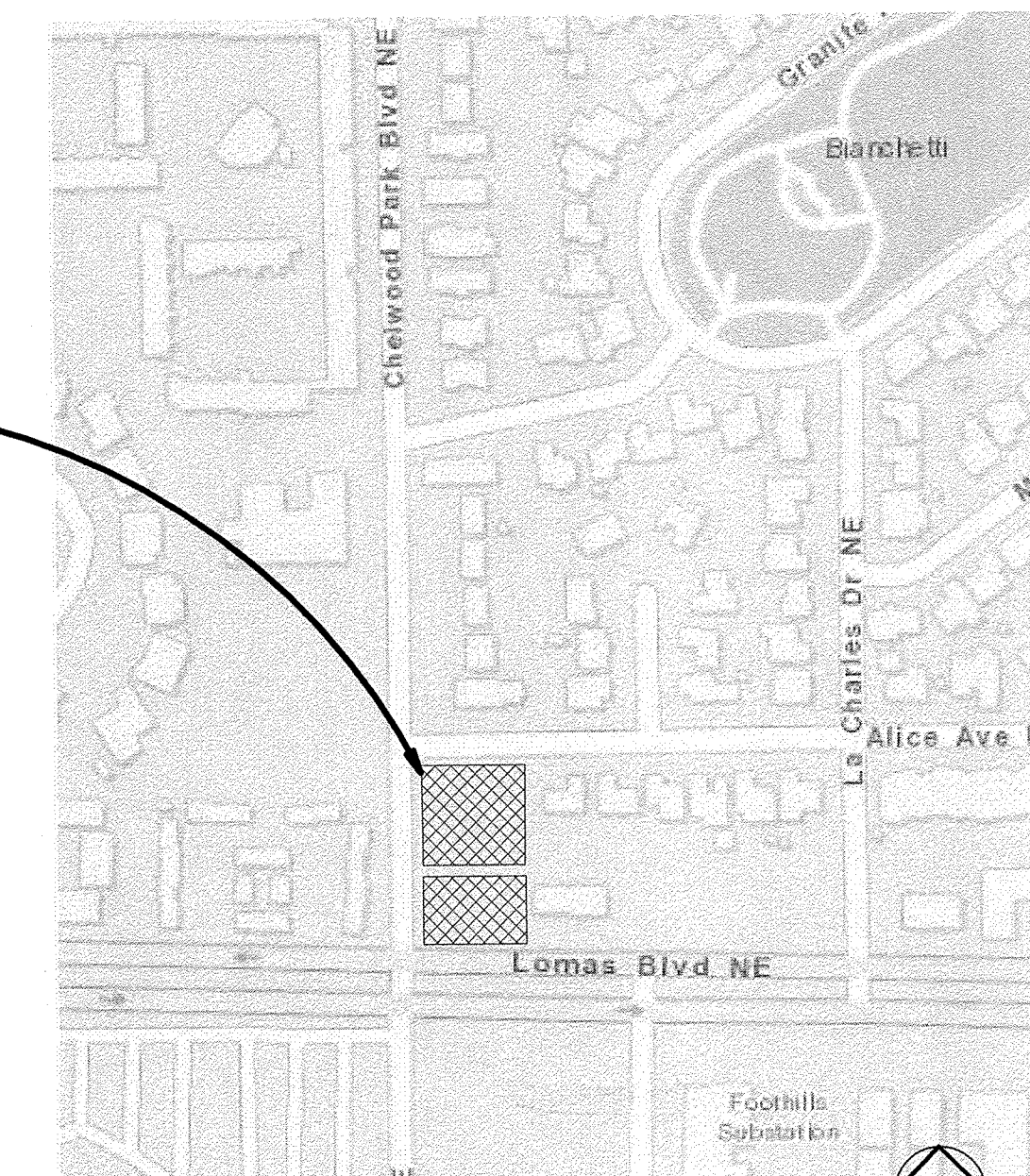


11/19/2020

Order 05/28/11
Signed _____ Date _____

**12 UNIT TOWNHOUSE PROJECT TOR
WORQUE L.L.C.
900 & 910 CHELWOOD BLVD. N.E.
ALBUQUERQUE, NEW MEXICO**

SUBJECT PROPERTY:
900 CHELWOOD PARK BLVD N.E.
910 CHELWOOD PARK BLVD. N.E.



VICINITY MAP - J-22

1" = 400'-0"

TCL DESIGN CRITERIA

A 12 UNIT TOWNHOUSE DEVELOPMENT FOR WORQUE, L.L.C.

PROJECT LOCATION: NORTHEAST OF INTERSECTION OF CHELWOOD PARK BLVD N.E. AND LOMAS BOULEVARD N.E. 900 & 910 CHELWOOD PARK BLVD. N.E., ALBUQUERQUE, NM

ZONE ATLAS MAP: J-22-Z

LEGAL DESCRIPTION:
900 CHELWOOD PARK BLVD. N.E. -LOT 1A, BLOCK 11,
GRANDVIEW HEIGHTS SUBD.
910 CHELWOOD PARK BLVD. N.E. - LOT 28A, BLOCK 11
GRANDVIEW HEIGHTS SUBD.

ZONE DISTRICT: MX-L

SITE PARKING CALCULATION:

1.5 PARKING SPACES PER UNIT PER TABLE 14-16-5-5-1

900 CHELWOOD PARK BLVD. N.E. - (6) TWO BR UNIT:
6 X 1.5= 9.0 PARKING SPACES REQUIRED.
910 CHELWOOD PARK BLVD. N.E. - (6) TWO BR UNIT:
6 X 1.5= 9.0 PARKING SPACES REQUIRED

MOTORCYCLE PARKING NOT REQUIRED FOR RESIDENTIAL - SEE
15-6-5-5D)(1)

PROPOSED PARKING:

900 CHELWOOD PARK BLVD. N.E. - (14) PARKING SPACES PLUS
(1) GUEST SPACE - **COMPLIES**
910 CHELWOOD PARK BLVD. N.E. - (14) PARKING SPACES PLUS
(1) GUEST SPACE - **COMPLIES**

BICYCLE PARKING:

900 CHELWOOD PARK BLVD. N.E. - (3) BICYCLE PARKING SPACES
REQUIRED, (6) PROVIDED IN GARAGES.
COMPLIES

910 CHELWOOD PARK BLVD. N.E. - (3)BICYCLE PARKING SPACES
REQUIRED ,(6) PROVIDED IN GARAGES. **COMPLIES**

Cinelli / Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
ARCHITECTS (505) 243-8211

PROJECT TITLE: 12 UNIT TOWNHOUSE PROJ.
CIMA TOWNHOMES
900 & 910 CHELWOOD BLVD. . N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
TRAFFIC CONTROL PLAN

SEA

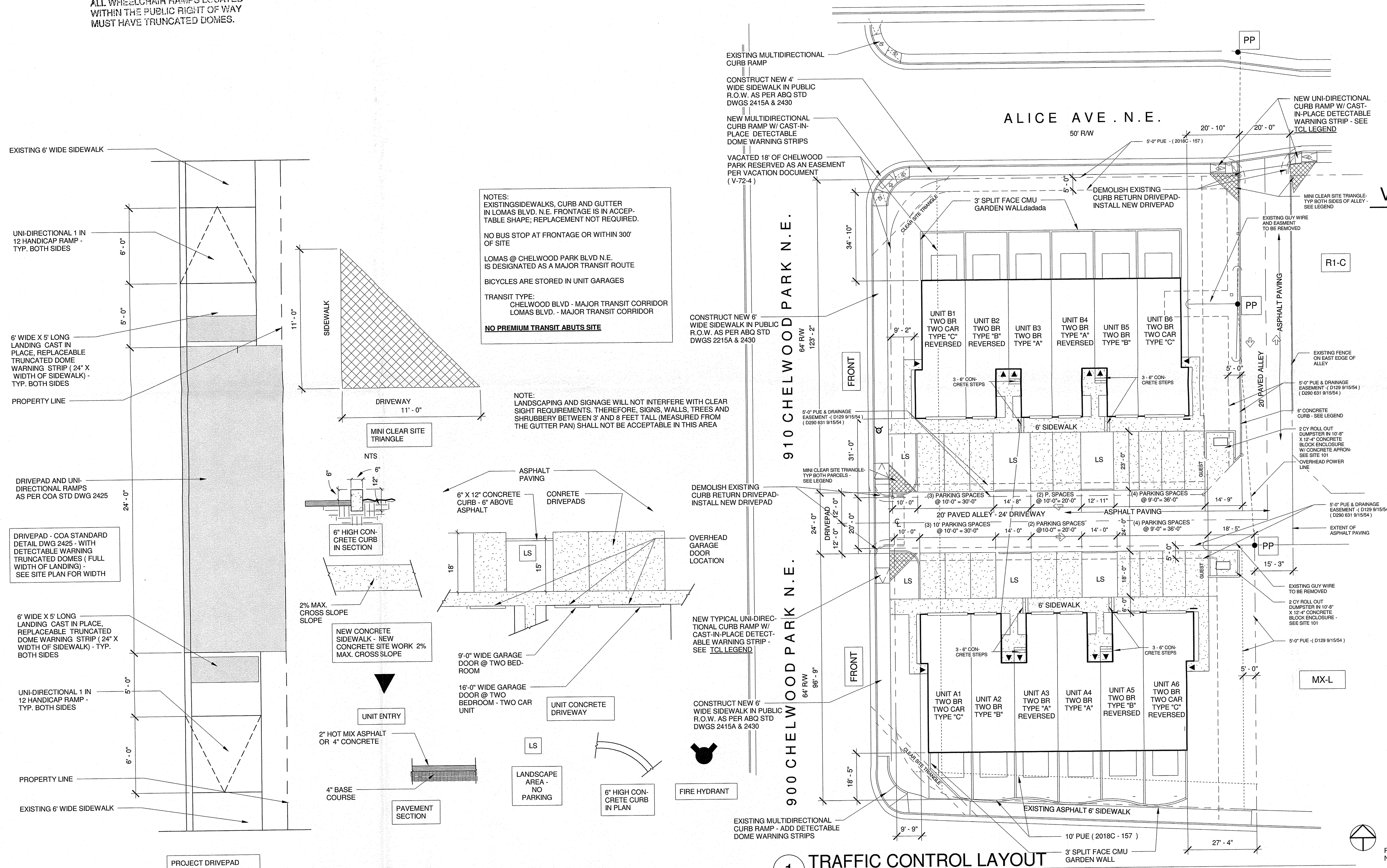
DATE

PROJECT NO.

DRAWING NO.

CIVIL101

7/20/19



TRAFFIC CONTROL PLAN LEGEND

1 TRAFFIC CONTROL LAYOUT

Scale: 1" = 20'-0"

LOMAS BLVD. N.E.
106' RM

PLAN
NORTH



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: CIMA TOWNHOUSES FOR WORQUE L.L.C. **Building Permit #:** 2019-28143,28145 **City Drainage #:** J22D070
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT1A AND 28A, BLOCK 11, GRANDVIEW HEIGHTS SUBD.
City Address: 900 AND 910 CHELWOOD BLVD N.E.

Engineering Firm: RIO GRANDE ENGINEERING **Contact:** _____
Address: 1606 CENTRAL AVE S.E., SUITE 201, ABQ., N.M.
Phone#: 505-872-0999 **Fax#:** _____ **E-mail:** david@riograndeengineering.com

Owner: WORQUE LLC **Contact:** _____
Address: 25 FOREST VIEW DRIVE, ALBUQUERQUE, NM 87122
Phone#: 505-220-1457 **Fax#:** _____ **E-mail:** rob@worque.net

Architect: ROGER CINELLI & ASSOCIATES INC **Contact:** _____
Address: 2418 MANUEL TORRES LN N.W. ABQ., N.M. 87107
Phone#: 505-243-8211 **Fax#:** FOR-243-8196 **E-mail:** rcinelli@q.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 11/19/2020 **By:** Roger Cinelli

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____