

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

November 23, 2021

Andrew Doerfler, P.E.
Burkhardt Engineers, Surveyors
28 North Cherry St.
Germantown, OH 45327

Re: Champion Xpress Car Wash
1520 Juan Tabo Blvd. NE
Traffic Circulation Layout
Engineer's Stamp 11-03-21 (J22-D071)

Dear Mr. Doerfler,

Based upon the information provided in your submittal received 11-19-21, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Juan Tabo Proposed Entrance:

- The proposed entrance Island: why you are not allowing left turn exit?
- Southern leg driveway: Since Juan Tabo was classified as a Principal Arterial a Curb Return design is recommended.

2. Please provide the width for the ADA aisle that adjacent to the building.

3. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details. This is Required.

4. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details. Provide this path dimension on site plan.

5. Provide pathway dimension from bicycle racks to the building entrance.

6. Please see attached for Sight Distance. Use Intersection Sight Distance for Juan Tabo Entrance, and use Mini Clear Sight Triangle for Princess Jeanne Ave. Entrance.

7. Exit radius from car wash need to be 15' on both side.

8. Provide COA std dwg Reference for ADA Ramp, and label the slope on the landing area (which is max. 2%)

9. Provide a copy of Refuse and Fire Marshal Approval.

10. Provide details for all pavement markings and striping.

11. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

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3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

For log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

PARKING AND STACKING SUMMARY

CHAMPION XPRESS CAR WASH
Building Area = 3,486sq-ft (1,033sq-ft non-wash bay/mechanical room)
Wash Bay Stacking Provided: 15 vehicles
Vacuum Parking Provided: 15 spaces (18'x12')
Employee/Standard Parking Provided: 5 spaces (18'x8.5')
Motorcycle Parking Provided: 1 Space (18'x9')
Bicycle Parking Provided: 4 Spaces (2 Racks)

REQUIRED STANDARD PARKING = 3 Stalls
Use = Car Wash
2 spaces / 1,000 sq-ft GFA of retail, office, and waiting area
per IDO Table 5-5-1: Off-street Parking Requirements

REQUIRED STACKING SPACES = 3 (three) 20' spaces from end of washing bay
Activity = Car Wash
per IDO Table 5-5-8: Required Stacking Spaces

REQUIRED MOTORCYCLE PARKING = 1 Space
per IDO Table 5-5-4: Motorcycle Parking Requirements

REQUIRED BICYCLE PARKING = 3 Spaces
per IDO Table 5-5-5: Bicycle Parking Requirements

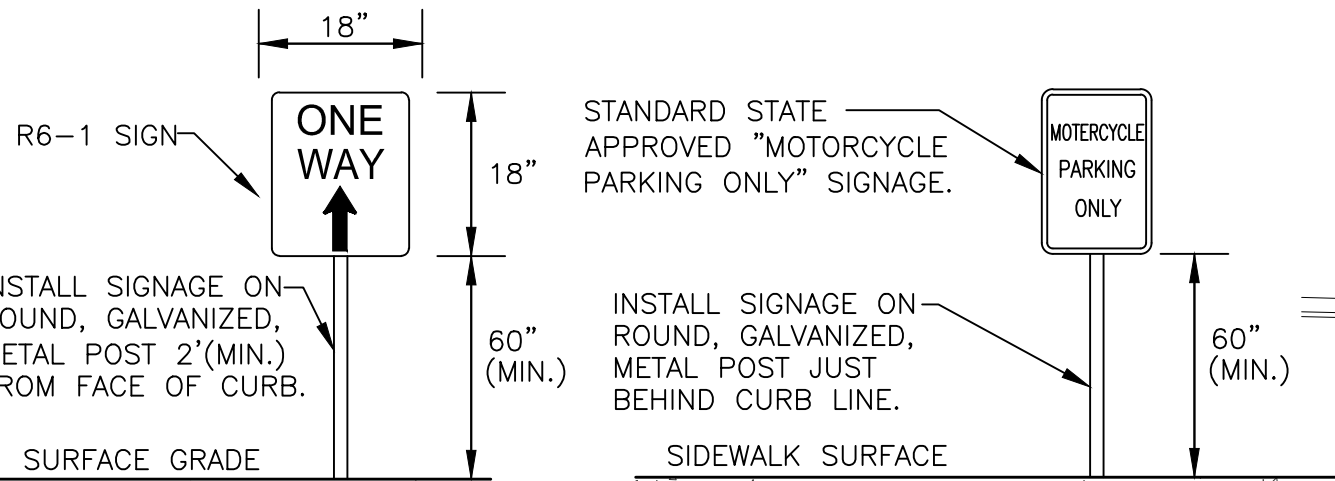
STANDARD STATE APPROVED HANDICAPPED SIGNAGE WITH "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING"

PROVIDE ADDITIONAL SIGNAGE BELOW THE HANDICAPPED SIGN AS REQUIRED.

INSTALL SIGNAGE ON ROUND, GALVANIZED, METAL POST JUST BEHIND CURB LINE.

ADA PARKING SIGNAGE

NOT TO SCALE

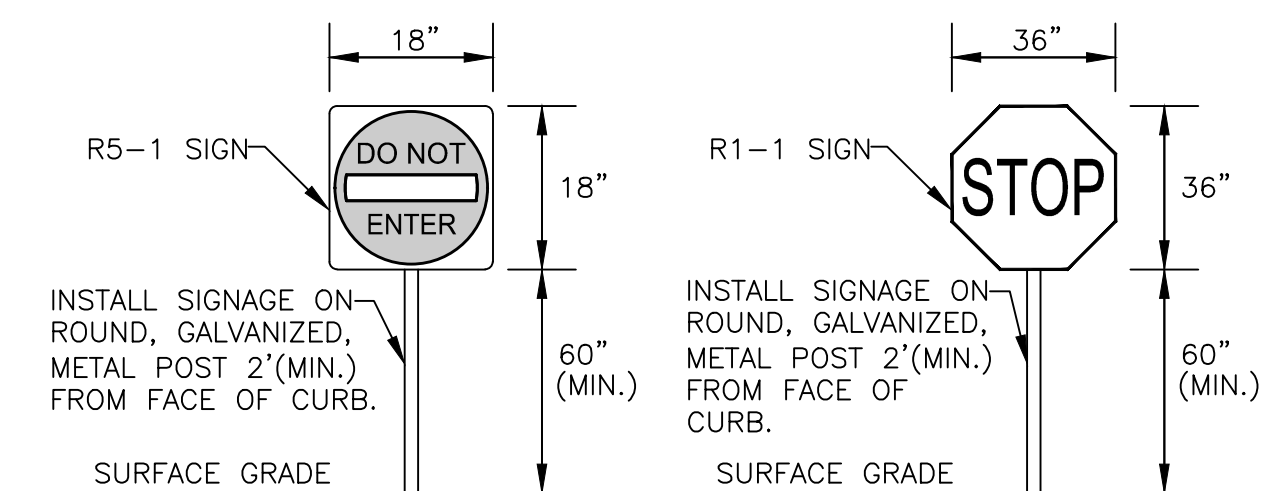


"ONE WAY" SIGNAGE

NOT TO SCALE

MOTORCYCLE PARKING SIGNAGE

NOT TO SCALE



"DO NOT ENTER" SIGNAGE

NOT TO SCALE

"STOP" SIGNAGE

NOT TO SCALE

- See Fire 1 Plan, sheet C-2.1 for Fire Marshal's Office Hydrant and fire Access approval.
- See Site Plan, sheet C-2.2 for detailed site installations.
- See Grading and Drainage Plan, sheet C-3.0 for pavement slope details.
 - *Access Drive area slope range = 1.0%minimum to 6.0%maximum
 - *Parking area slope range = 1.0%minimum to 8.0%maximum
 - *Handicap Parking area slope range = 1.0%minimum to 2.0%maximum

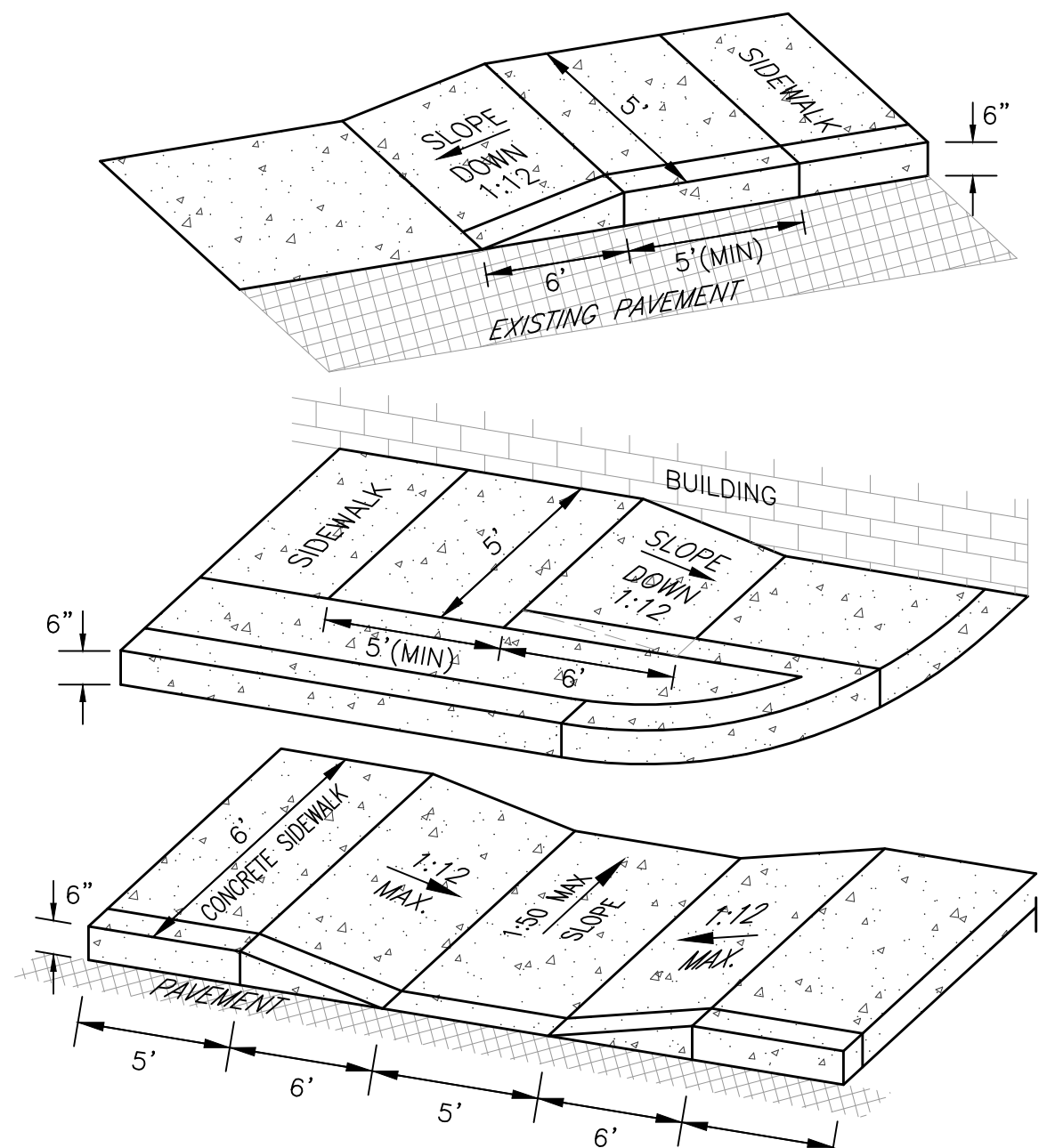
All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter per the City of Albuquerque Standard Drawing No. 2415 and No. 2430.

ACCESSIBLE PARKING SYMBOL & MARKING NOTES

- A paved accessible parking space must include:
 - The International Symbol of Accessibility conspicuously on the surface in a color that contrasts the pavement.
 - The words "NO PARKING" painted on any access aisle adjacent to the parking space.
- Words must be painted in all capital letters with a letter height of at least twelve inches, a stroke width of at least two inches, and centered within each access aisle adjacent to the parking space.

WORK WITHIN PUBLIC RIGHT-OF-WAY REQUIRES DRC-APPROVED PLANS.

THERE ARE NO EASEMENTS ON THIS PROPERTY.



NOTES:
1. HANDICAP RAMPS TO BE INSTALLED PER ADA REQUIREMENTS.
ADA ACCESSIBLE RAMP DETAILS
NOT TO SCALE



PROJECT SUMMARY

Project will include the demolition and removal of existing structures, utilities, vegetation, pavement, etc. as necessary to construct a new Champions Xpress Car Wash and its associated pavement, parking facilities, utilities, landscaping, signage and any other proposed improvements which are needed to service the facility.

PROPERTY INFORMATION

Address: 1520 Juan Tabo Blvd. NE, Albuquerque, NM 87112
Legal Description: Tract lettered B-1, Block 11 Dale J. Bellamah's Eastridge Unit 4, City of Albuquerque, Bernalillo County, New Mexico.
Area: 0.8730 Acres
Zoning: MX-L, Mixed-Use-Low Intensity Zone District
Flood Zone Designation: FIRM # 35001C0357H, effective date: August 16, 2012
Zone "X": Areas determined to be outside the 0.2% annual chance floodplain

SITE AND PAVEMENT LEGEND

- CONCRETE WHEEL STOP
- ADA PARKING SYMBOL
- PROPOSED LIGHT POLE
- DIRECTIONAL PARKING LOT ARROW
- ADA ACCESSIBLE PEDESTRIAN PATHWAY
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
1520 JUAN TABO BLVD NE
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO

BURKHARDT
ENGINEERS & SURVEYORS
28 North Cherry Street | Guntamtown, Ohio 43027 | Phone: 937-388-0069 | BURKHARDTINC.COM
CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

Design: AFD Proj: 21.215
Draw: AFD Dwg: 21.215.dwg
Check: RJM Tab: C2.0-SP

Scale: 1" = 20'
Date: 11.18.2021

Sheet: TRAFFIC CIRCULATION LAYOUT PLAN

Sheet No.: C-2.0