

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

November 15, 2021

Regina Okoye
Modulus Architects
100 Sun Ave. NE suite 600
Albuquerque, NM 87109

Re: Champion Xpress Car Wash
1520 Juan Tabo Blvd. NE
Traffic Circulation Layout
Engineer's Stamp 11-03-21 (J22-D071)

Dear Ms. Regina,

Based upon the information provided in your submittal received 11-03-21, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of parking spaces required by the IDO as well as the proposed number of parking spaces including bicycle and motorcycle parking.
2. Identify all existing access easements and rights of way width dimensions.
3. Identify the right of way width, medians, curb cuts, and street lanes widths on Juan Tabo.
4. Maximum access width for arterial, collector, and local streets are as follows:

	Arterial& Collector	Local Streets
One-way Drive	20'-25'	12'-20'
Two-Lane Drive	22'-30'	22'-24'
Three-Lane Drive	24'-35'	22'-30'
Larger Vehicles	≤50'	≤30'

- Juan Tabo is Principal Arterial.
5. Jaun Tabo Proposed Entrance:
 - Provide entrance details. Reference COA standard DWG.
 - The proposed entrance Island needs to located on the private property. Is this Island will obstruct the efficiency of egress and ingress traffic?
 - Provide the dimension from the face of the curb to the adjasent property line.
 - Provide existing sidewalk width.
 - Please verify if there will be any conflict between northren leg segment of driveway access and existing Stormwater Inlet.

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- Southern leg driveway: Please verify if there will be any interfere between proposed ADA ramp and adjacent property line.
 - It appears you are proposing a tight radius. Per DPM curb return radius is 15 ft for cars only. Radius for delivery trucks, fire trucks, etc. is 25 ft. or larger.
6. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown.
7. The minimum parking stall dimensions are:

Type of parking	Min. Width	Min. Length	Min. Overhang
Standard	8.5'	18'	2'
Compact	7.5'	15'	1.5'
Motorcycle	4'	8'	N/A
ADA	8.5'	18'	2'
ADA Van Aisle	8'	18	N/A
ADA Aisle	5	18	N/A

PO Box 1293

Albuquerque

NM 87103

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8. The ADA van accessible parking stall bumper and signage are in conflict. Please address this concern.
9. Princess Jeanne Ave. Entrance
- Provide entrance details. Reference COA standard DWG.
 - Due to the limited space, provide paving strips (for NO parking allowed) at the 4th parallel parking space adjacent to the entrance.
10. Label the motorcycle parking spaces by placing (MC) on the pavement of each space.
11. All bicycle racks shall be designed according to the following guidelines:
- a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
12. Bicycle racks shall be sturdy and anchored to a concrete pad.
13. A 1-foot clear zone around the bicycle parking stall shall be provided.
14. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
15. A 5 ft. keyway is required for dead-end parking aisles.

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16. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
17. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
18. Provide a copy of Refuse and Fire Marshal Approval.
19. Please mention all signage location on the site plan.
20. Add a note (proposed monument sign must locate inside the private property including air space).
21. The minimum drive through lane width is 12 feet with a 25 foot minimum radius (inside edge) for all turns. (A 15 foot radius can be used with an increase in lane width to 14 feet). Please dimension all lane widths and radii.
22. All one-way drives shall have "One Way" and "Do Not Enter" signage and pavement markings. Please show detail and location of posted signs and striping.
23. Provide details for all pavement markings and striping.
24. Please provide a sight distance exhibit
25. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
26. Please specify the City Standard Drawing Number when applicable.
27. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
28. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
29. Please provide a letter of response for all comments given.
30. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).
- 31.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

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For log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

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City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Champion Xpress Car Wash Building Permit #: _____ Hydrology File #: _____
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract Lettered B-1, Block 11 Dale J. Bellamah's Eastridge Unit 4
City Address: 1520 Juan Tabo Blvd NE

Applicant: Andrew Doerfler Contact: _____
Address: 28 North Cherry Street Germantown, OH 45327
Phone#: 937-388-0060 Fax#: _____ E-mail: adoerfler@burkhardtinc.com

Other Contact: Modulus Architects Contact: Regina Okoye
Address: 100 Sun Ave. NE, suite 600, Albuquerque, NM 87109
Phone#: 505-267-7686 Fax#: _____ E-mail: rokoye@modulusarchitects.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ By: Andrew Doerfler

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

PARKING AND STACKING SUMMARY

CHAMPION XPRESS CAR WASH

Building Area = 3,486sq-ft (1,033sq-ft non-wash bay/mechanical room)

Wash Bay Stacking Provided: 15 vehicles
Vacuum Parking Provided: 15 spaces (18'x12')
Employee/Standard Parking Provided: 5 spaces (18'x8.5')
Motorcycle Parking Provided: 1 Space (18'x9')
Bicycle Parking Provided: 4 Spaces (2 Racks)

REQUIRED STANDARD PARKING = 3 Stalls

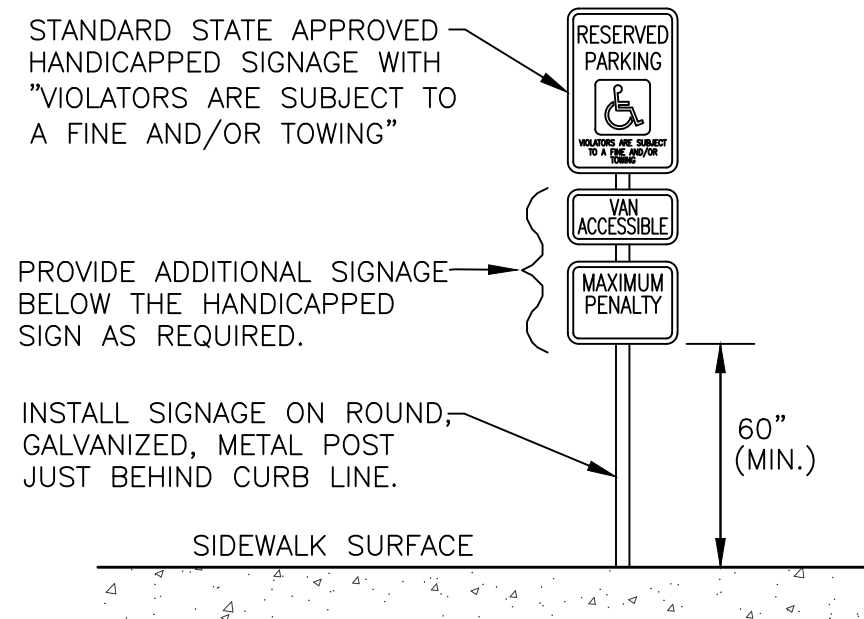
Use = Car Wash
2 spaces / 1,000 sq-ft GFA of retail, office, and waiting area
per IDO Table 5-5-1: Off-street Parking Requirements

REQUIRED STACKING SPACES = 3 (three) 20' spaces from end of washing bay

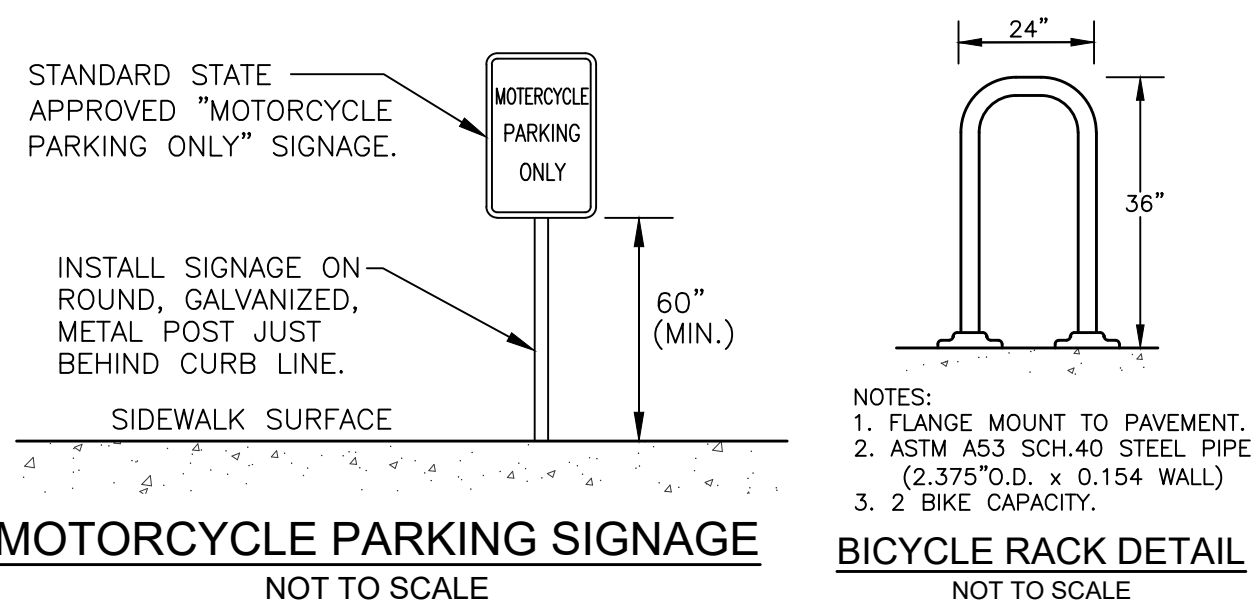
Activity = Car Wash
per IDO Table 5-5-8: Required Stacking Spaces

REQUIRED MOTORCYCLE PARKING = 1 Space
per IDO Table 5-5-4: Motorcycle Parking Requirements

REQUIRED BICYCLE PARKING = 3 Spaces
per IDO Table 5-5-5: Bicycle Parking Requirements

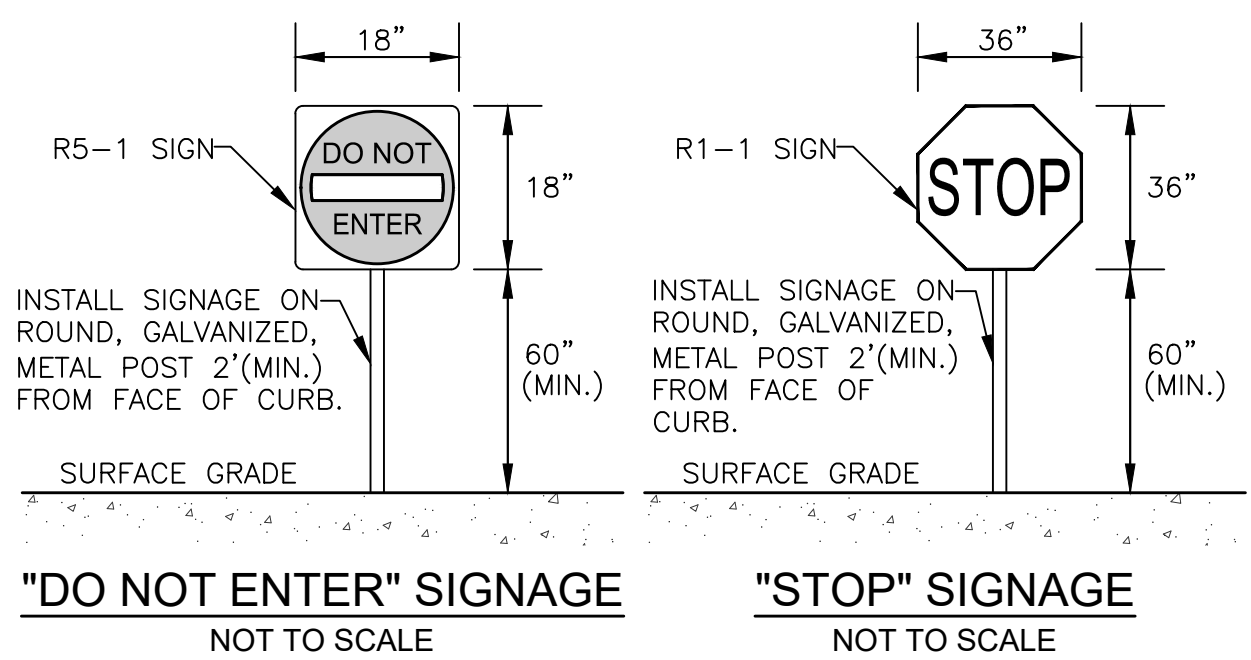


ADA PARKING SIGNAGE
NOT TO SCALE



MOTORCYCLE PARKING SIGNAGE
NOT TO SCALE

BICYCLE RACK DETAIL
NOT TO SCALE



"DO NOT ENTER" SIGNAGE
NOT TO SCALE

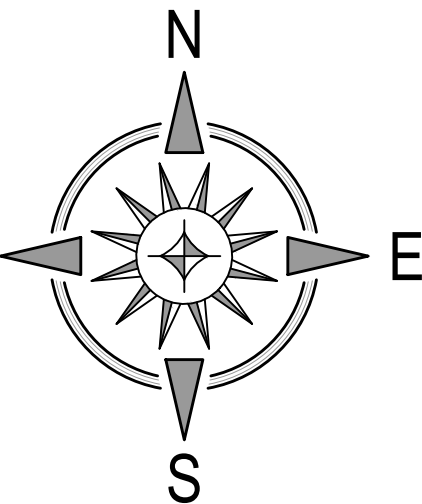
"STOP" SIGNAGE
NOT TO SCALE

- See Fire 1 Plan, sheet C-2.1 for Fire Marshal's Office Hydrant and fire Access approval.
- See Site Plan, sheet C-2.2 for detailed site installations.
- See Grading and Drainage Plan, sheet C-3.0 for pavement slope details.
- *Access Drive area slope range = 1.0%minimum to 6.0%maximum
- *Parking area slope range = 1.0%minimum to 8.0%maximum
- *Handicap Parking area slope range = 1.0%minimum to 2.0%maximum

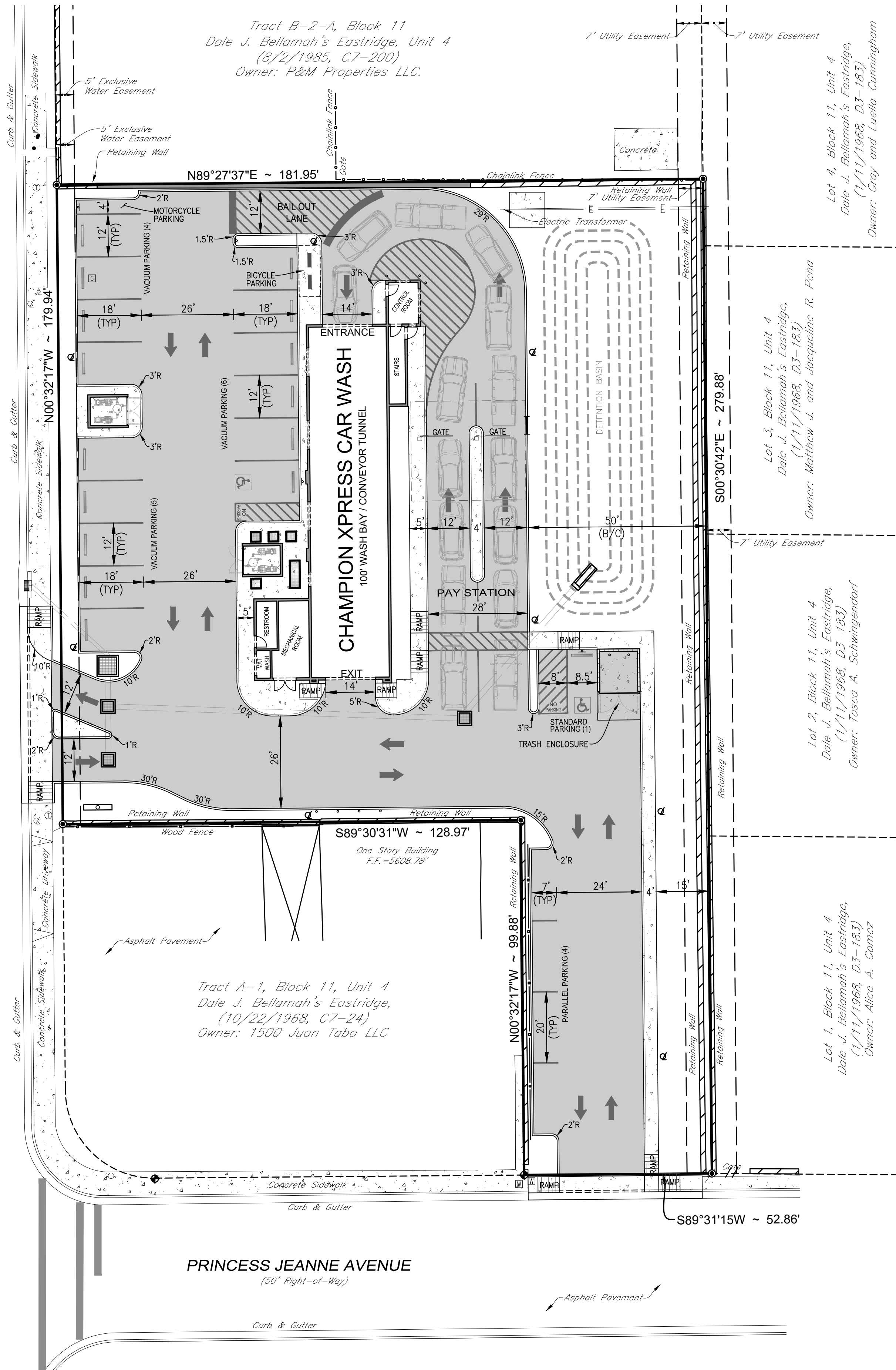


VERTICAL & HORIZONTAL CONTROL:

BM#1: Description: Chiseled 'X' in Sidewalk
Elevation: 5605.91'
BM#2: Description: Chiseled 'X' in Sidewalk
Elevation: 5610.51'



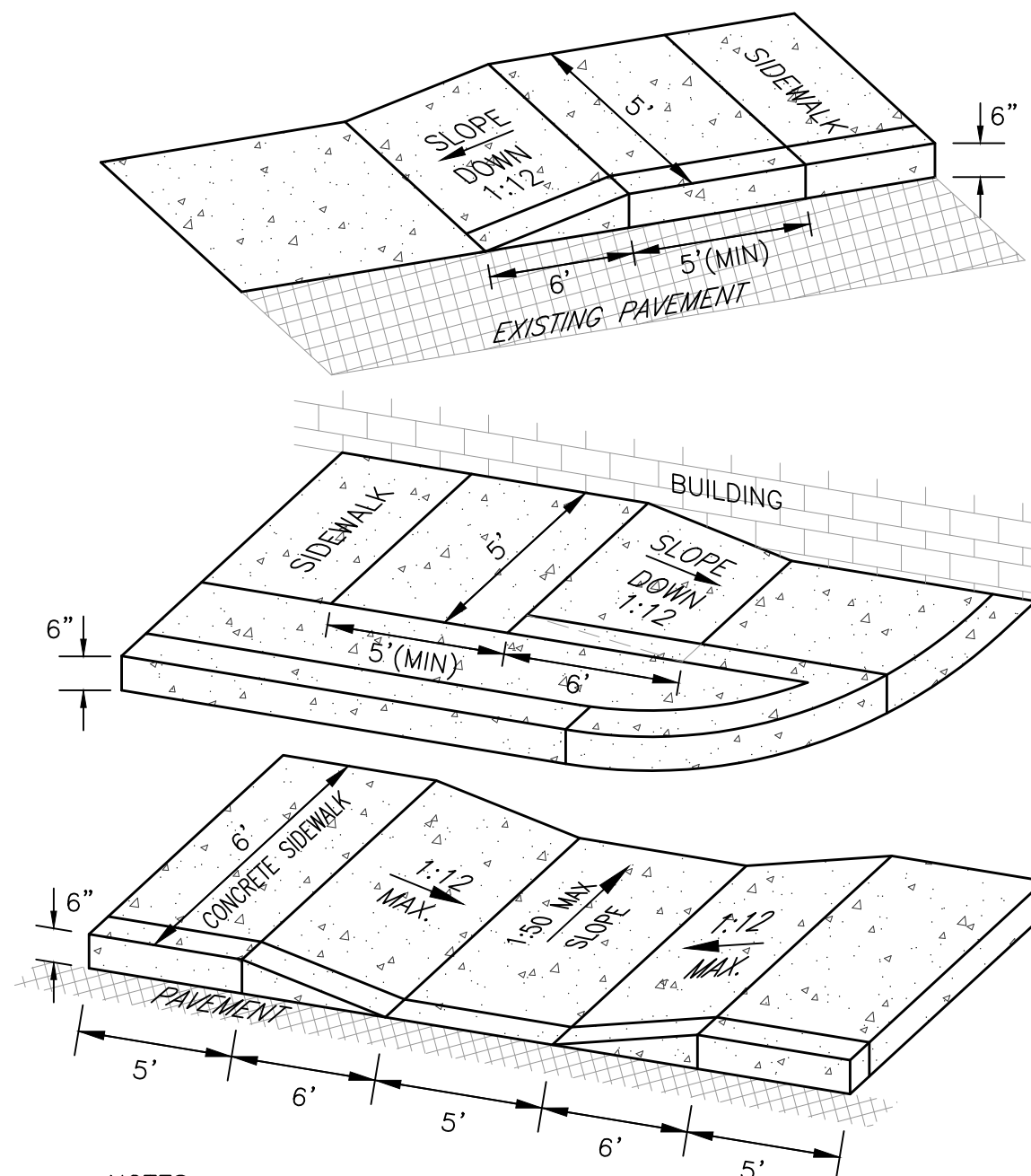
TAKE CAUTION DURING EXCAVATION:
THERE ARE UNDERGROUND UTILITY MAINS IN THE CONSTRUCTION AREA WHICH MAY NOT HAVE BEEN LOCATED ACCURATELY BY THE SURVEYOR/UTILITY OWNERS. NOTIFY "811" IN ADVANCE OF DIGGING TO HAVE LINES MARKED.



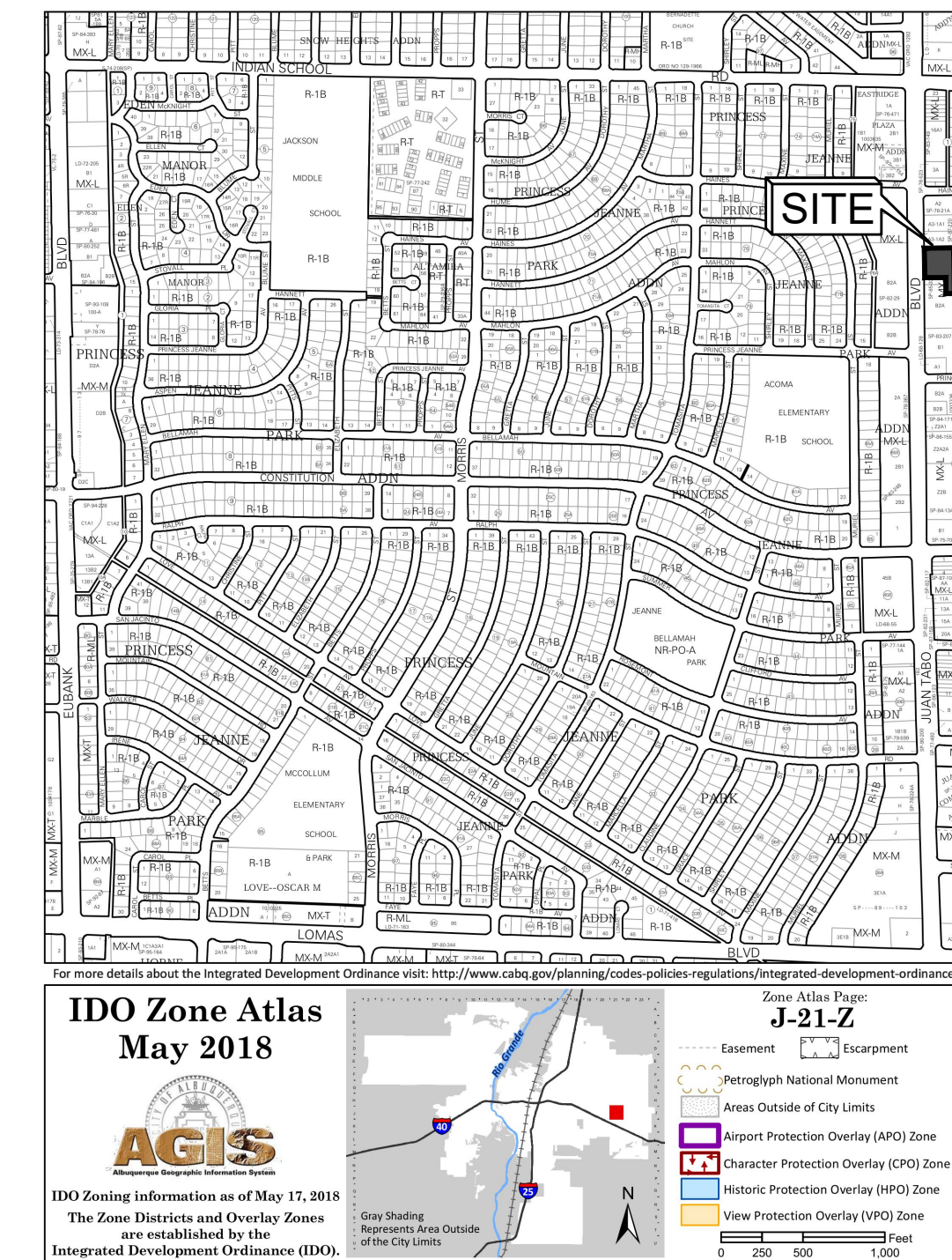
ACCESSIBLE PARKING SYMBOL & MARKING NOTES
A paved accessible parking space must include:
- The International Symbol of Access conspicuously on the surface in a color that contrasts the pavement.
- The words "NO PARKING" painted on any access aisle adjacent to the parking space.
Words must be painted in all capital letters with a letter height of at least twelve inches, a stroke width of at least two inches, and centered within each access aisle adjacent to the parking space.

WORK WITHIN PUBLIC RIGHT-OF-WAY
REQUIRES DRC-APPROVED PLANS.

Additional site elements are necessary to service the auto wash such as gates, floor mat cleaners, vending machines, vacuum equipment enclosures, vacuums, canopies, signage, etc. which may not be shown on this plan. Locations and details of these elements can be provided by the owner at the request of the contractor or Universal City.



NOTES:
1. HANDICAP RAMPS TO BE INSTALLED PER ADA REQUIREMENTS.
ADA ACCESSIBLE RAMP DETAILS
NOT TO SCALE



PROJECT SUMMARY

Project will include the demolition and removal of existing structures, utilities, vegetation, pavement, etc. as necessary to construct a new Champions Xpress Car Wash and its associated pavement, parking facilities, utilities, landscaping, signage and any other proposed improvements which are needed to service the facility.

PROPERTY INFORMATION

Address: 1520 Juan Tabo Blvd. NE, Albuquerque, NM 87112
Legal Description: Tract lettered B-1, Block 11 Dale J. Bellamah's Eastridge Unit 4, City of Albuquerque, Bernalillo County, New Mexico.
Area: 0.8730 Acres
Zoning: MX-L, Mixed-Use-Low Intensity Zone District
Flood Zone Designation: FIRM # 35001C0357H, effective date: August 16, 2012
Zone "X": Areas determined to be outside the 0.2% annual chance floodplain

SITE AND PAVEMENT LEGEND

- CONCRETE WHEEL STOP
- ADA PARKING SYMBOL
- PROPOSED LIGHT POLE
- DIRECTIONAL PARKING LOT ARROW
- 5' WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- ASPHALT PAVEMENT



SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS
CAR WASH
1520 JUAN TABO BLVD NE
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO



Design: AFD Proj: 21.215
Draw: AFD Dwg: 21.215.dwg
Check: RJM Tab: C2.0-SP
Scale: 1" = 20'
Date: 11.03.2021

Sheet:
TRAFFIC
CIRCULATION
LAYOUT PLAN

Sheet No.:

C-2.0